

AGENDA

Joint Meeting of ANC 6A Economic Development & Zoning Committee &
Transportation and Public Space Committee
Wednesday April 15, 2008, 7-9:00 PM
Sherwood Recreation Center (640 10th St, NE)
2nd Floor Community Room

7:00 pm **Call to order**

7:01 **Community Comments**

7:05 **Ongoing Status Reports:**

1. 1400 Maryland Ave. BZA Case #17825 (Rich Luna) (2 min)
2. H Street Survey (Drew Ronneberg) (2 min)
3. Zoning Code Rewrite (Cody Rice) (2 min)
4. Vacant Properties (Barbara Halleck) (2 min)
5. 1305-1311 H St NE Nomination for Historic Landmark (Drew Ronneberg) (2 min)

7:15 **Old Business - None**

7:15 **New Business**

1. 1400 MD. NE – BZA #17825. BZA and Public Space Application of 1400 MD Ave Ltd Empire Leasing to construct a gas station at 1400 MD Avenue. The BZA application seeks a special exception to establish a gasoline service station with convenience store under section 743 (706 and 2302), in the C-3-A District at premises 1400 Maryland Avenue, N.E. (Square 1049, Lot 803). The public space application seeks curbcuts from 14th St and Maryland Ave. This case will be heard in a joint meeting of the ED&Z committee and the T&PS committee because it is both a zoning case and a case about the use of public space and car access to the facility. (1 hour)
2. 722 12th St NE. The property owner would like to discuss conceptual plans to build a two-story garage at the rear of his property. A two-story garage requires the BZA to grant a special exception. (10 minutes)
3. BZA 17842 (901-903 D St NE.) Commissioner Holmes has asked the ED&Z Committee to look over the final plans for this case. DC Teacher's Federal Credit Union is seeking a variance to allow the continued use of the former Edmonds public school for general office use under section 330.5, in the R-4 District at premises 901- 903 D Street, N.E. (Square 938, Lot 809) (10 minutes)

8:55 **Additional Community Comment (time permitting)**

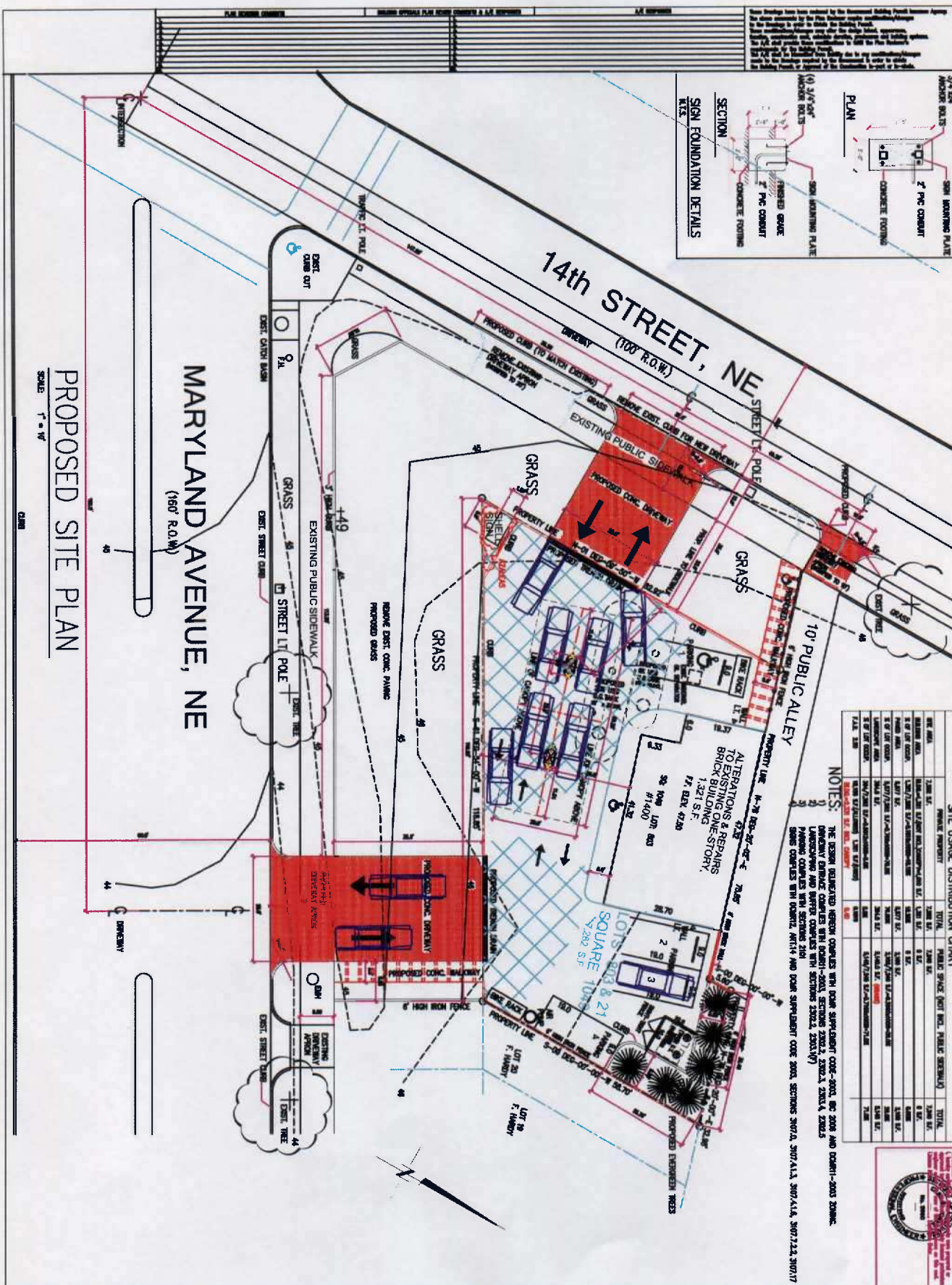
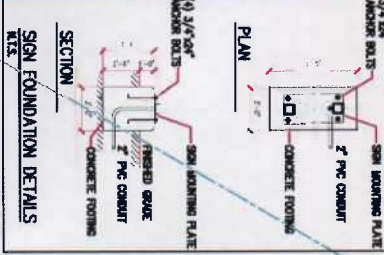
Everyone is welcome! Call Drew Ronneberg with questions at 202 431-4305.

Visit our website at <http://www.anc6a.org/>

Sign up for automated meeting reminders and community listserv at

<http://groups.yahoo.com/group/anc-6a/>

1/4" = 1' PLAN
 1/8" = 1' SECTION
 SIGN FOUNDATION DETAILS



SITE USAGE DISTRIBUTION CHART

USE	AREA (SQ. FT.)	PERCENT (%)	TOTAL
RESIDENTIAL	1,321	100	1,321
GRASS	1,321	100	1,321
DRIVEWAY	1,321	100	1,321
CONCRETE	1,321	100	1,321
TOTAL	1,321	100	1,321

NOTES: THE ABOVE INDICATED DRIVEWAY COMPARES WITH LOCAL ORDINANCE CODE 2002.01, 2002.02, 2002.03, 2002.04, 2002.05, 2002.06, 2002.07, 2002.08, 2002.09, 2002.10, 2002.11, 2002.12, 2002.13, 2002.14, 2002.15, 2002.16, 2002.17, 2002.18, 2002.19, 2002.20, 2002.21, 2002.22, 2002.23, 2002.24, 2002.25, 2002.26, 2002.27, 2002.28, 2002.29, 2002.30, 2002.31, 2002.32, 2002.33, 2002.34, 2002.35, 2002.36, 2002.37, 2002.38, 2002.39, 2002.40, 2002.41, 2002.42, 2002.43, 2002.44, 2002.45, 2002.46, 2002.47, 2002.48, 2002.49, 2002.50, 2002.51, 2002.52, 2002.53, 2002.54, 2002.55, 2002.56, 2002.57, 2002.58, 2002.59, 2002.60, 2002.61, 2002.62, 2002.63, 2002.64, 2002.65, 2002.66, 2002.67, 2002.68, 2002.69, 2002.70, 2002.71, 2002.72, 2002.73, 2002.74, 2002.75, 2002.76, 2002.77, 2002.78, 2002.79, 2002.80, 2002.81, 2002.82, 2002.83, 2002.84, 2002.85, 2002.86, 2002.87, 2002.88, 2002.89, 2002.90, 2002.91, 2002.92, 2002.93, 2002.94, 2002.95, 2002.96, 2002.97, 2002.98, 2002.99, 2003.00.

MARYLAND AVENUE, NE
 (160' R.O.W.)

PROPOSED SITE PLAN

SCALE: 1" = 10'

MARYLAND AVENUE SHELL
 1400 MARYLAND AVENUE, NE
 WASHINGTON, D.C. 20002

LOT 20: 1.75 ACRES
 LOT 21: 1.20 ACRES
 LOT 22: 1.20 ACRES

ZONING DESIGNATION: CS-1
 APPLICABLE CODE: RESC20
 USE GROUP: RESC20
 CONSTRUCTION TYPE: 2A

MAIDEN AND ASSOCIATES
 Architects / Engineers / Planners
 4830 WISCONSIN AVENUE, NW
 WASHINGTON, D.C. 20016
 (202) 244-2800 OFFICE
 (202) 244-2800 HOME
 FAX: (202) 244-2800
 E-MAIL: MAIDEN@MAIDENAE.COM
 WWW: WWW.MAIDENAE.COM

DAG PETROLIUM
 MONTY BERGMAN
 6820-B COMMERCIAL DRIVE
 SPRINGFIELD, VA 22151
 (703) 750-8810

Project Name / Address:
MARYLAND AVENUE SHELL
 1400 MARYLAND AVENUE, NE
 WASHINGTON, D.C. 20002

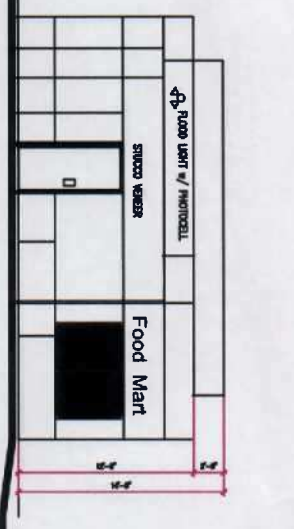
Client Name / Address:
DAG PETROLIUM
 MONTY BERGMAN
 6820-B COMMERCIAL DRIVE
 SPRINGFIELD, VA 22151
 (703) 750-8810

Scale:
 1" = 10'

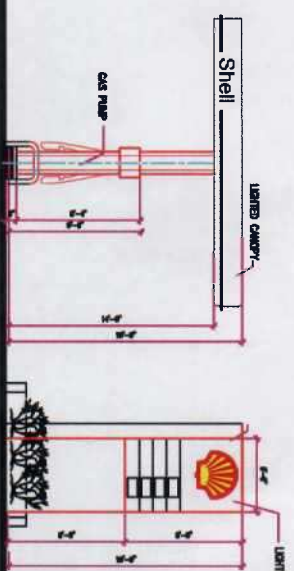
Date:
 11/15/06

Sheet:
 C2

These drawings have been prepared by the Environmental Stability District Services Agency for the client's use only. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The client is also responsible for ensuring that the drawings are used in accordance with the terms and conditions of the contract. The client is not to be held liable for any errors or omissions in these drawings. The client is also responsible for ensuring that the drawings are used in accordance with the terms and conditions of the contract. The client is not to be held liable for any errors or omissions in these drawings.



LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



FRONT ELEVATION
SCALE 1/8" = 1'-0"



MAIDEN AND ASSOCIATES
Architects / Engineers / Planners
4590 WISCONSIN AVENUE, NW
WASHINGTON, D.C. 20016
(202) 244-2800 OFFICE
E-MAIL: MAIDEN@MAIDEN.COM
WWW.SITE: MAIDENARCHITECTS.COM

DAG PETROLEUM
MONTY BERRANE
6820-9 COMMERCIAL DRIVE
SPRINGFIELD, VA 22151
(703) 756-8910

Project Name / Address



MARTLAND AVENUE SHELL
1400 MARTLAND AVENUE, NE
WASHINGTON, D.C. 20002

LOT: 803 & 21
LOT AREA: 2,280 SF
ZONING RESERVATION: C-1-A
APPLICABLE CODE: RESIDENTIAL
USE GROUP: 102
CONSTRUCTION TYPE: 2A

REVISION	SYMBOL	DATE	DESCRIPTION
1		12/15/10	SHELL & CANOPY
2		1/22/10	GREEN ROOF PLANTS
3			LEFT SIDE ELEVATION

MAIDEN AND ASSOCIATES
ARCHITECTURAL
1400 MARTLAND AVENUE, NE
WASHINGTON, D.C. 20002
TEL: (202) 244-2800
FAX: (202) 244-2801
WWW: MAIDENARCHITECTS.COM

DATE: 1/22/10
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8" = 1'-0"

A3



MEMORANDUM

TO: Juan Amaya
Public Space Manager

DATE: April 1, 2009

FROM: Richard L. Aguglia *RLA*

FILE: 56149.000003

Application for a public space permit

Please find the following for filing today:

- Application for a public space permit at 1400 Maryland Avenue, N.E., which includes landscaping, curb construction/repair, repaving of driveway access to the proposed gas station/convenience mart, driveway apron, and new sidewalks (original plus 15 copies)
- Pictures of subject property (15 copies)
- Existing and proposed site plans (15 sets of reduced and full size plans)
- Covenant for maintenance of public space (1 original with exhibits, including metes and bounds description of all public space items)
- Traffic report (15 copies)

Accordingly, please schedule our public space hearing on May 28, 2009.

R.L.A.

cc: Monty Berhane
Joe Mamo
Dag Petroleum

William J. Maiden

Erwin Andres

ANC 6A

Application

d.

**DEPARTMENT OF TRANSPORTATION
PUBLIC SPACE MANAGEMENT ADMINISTRATION
APPLICATION FOR PUBLIC SPACE PERMITS**
(PRINT IN INK OR TYPE; DO NOT WRITE IN SHADED AREAS)



(A) ALL APPLICANTS MUST COMPLETE ITEMS 1 THRU 18

2. Address of Premise for which Public Space Work is Proposed: 1400 MD Ave NE					3. Lot: 803221	4. Square: 1049	5. Type of Application: <input checked="" type="checkbox"/> New <input type="checkbox"/> Renewal	1. Date of Application: 4/1/09	6. Previous Permit Number If Renewal:
7. Owner of the Premise: 1400 MD Ave LTD Empire Leasing INC			8. Owner's Address: 1705 Desales St NW WASH DC 20036		9. Phone: 202 429 3737				
10. Authorized Agent (if applicable): Richard L. Aguglia		11. Firm's Name: Huntton & Williams LLP		12. Address: Suite 1200 1400 K ST NW / 20006		13. Phone: 202 955 1634			

14. Check all proposed work; indicate the specific street of work and the names of boundary streets; and specify the length and width of the work area. **ALL LOCATIONS IN NE Washington**

Check	Proposed Work	Located on the following Street (or Alley)	Between (Street Name)	And (Street Name)	Length of Work (ft)	Width of Work (ft)
	A. Temporary Use for:					
	1. Crane					
	2. Truck: <input type="checkbox"/> Dump <input type="checkbox"/> Concrete <input type="checkbox"/> Construction Equipment					
	3. Dumpster					
	4. Hoists/Scaffolds					
	5. Use of Sidewalk for:					
	6. Use of Roadway for:					
	B. Excavation for:					
	C. Sheeting and Shoring					
<input checked="" type="checkbox"/>	D. Driveway Construction/Apex	MD Ave / 14th St	14th / MD	15th / H St		
<input checked="" type="checkbox"/>	E. Sidewalk Construction	MD Ave / 14th St	14th / MD	15th / H St		
<input checked="" type="checkbox"/>	F. Curb and Gutter Construction	14th St / MD Ave	MD / 14th	H St / 15th		
	G. Alley Construction					
<input checked="" type="checkbox"/>	H. Grading <input type="checkbox"/> Street <input type="checkbox"/> Alley DRIVEWAY ACCESS	MD Ave / 14th St	14th / MD	15th / H St		
<input checked="" type="checkbox"/>	I. <input type="checkbox"/> Trees <input type="checkbox"/> Planter Boxes <input checked="" type="checkbox"/> Hedges / SHRUBS	MD Ave / 14th St	14th / MD	15th / H St		
	J. <input type="checkbox"/> Fence <input type="checkbox"/> Wall					
	K. Other (specify):					
	L. Parking Meter <input type="checkbox"/> Yes <input type="checkbox"/> No					

15. Description of Proposed Work: See Attachment	16. Start Date: PENDING ZONING HEARING 6/16/09
	17. End Date: est 9/16/09

18. APPLICANT'S SIGNATURE: I have read and I understand the conditions set forth on this application. I further understand that penalties are provided for furnishing false information.

AGENT'S SIGNATURE: Richard L. Aguglia DATE: 4/1/09

OWNER'S SIGNATURE: _____ DATE: _____

H.P.A. No.:	O.G. No.:	S.L. No.:
-------------	-----------	-----------

(DO NOT WRITE IN SHADED AREAS)

(B) TREES (COMPLETE ITEMS 19 THRU 22)

19. Type of Work: <input type="checkbox"/> New Building <input type="checkbox"/> Driveway <input type="checkbox"/> Trimming <input checked="" type="checkbox"/> Removal <input checked="" type="checkbox"/> Planting	20. Number of Trees: SHRUBS 35 + GROUND COVER	21. Type of Trees: <input checked="" type="checkbox"/> Curb <input type="checkbox"/> Parking	22. Name of Trees: SHRUBS Black-eyed Susan, ROSA RUGOSA, Ilex, Ilex h. amlii
---	---	--	---

(C) RENTAL OF PUBLIC SPACE, SIDEWALK CAFE, PARKING LOT, FUEL OIL TANK (COMPLETE ITEMS 23 THRU 29)

23. Insurance Company's Name:	24. Policy or Certificate Number:	25. Expiration Date:
26. Type of Sidewalk Cafe: <input type="checkbox"/> Enclosed <input type="checkbox"/> Unenclosed	27. Length of Rental Period:	28. Hours of Weekday Use: from _____ to _____
		29. Hours of Weekend Use: from _____ to _____

(D) APPROVALS (OFFICIAL USE ONLY)

<input type="checkbox"/> PERMIT CONTROL				DDOT - PUBLIC SPACE WIDTHS/RESTRICTIONS			
<input type="checkbox"/> 1. Fine Arts by: _____	Date: _____			Street Name: _____			
<input type="checkbox"/> 2. Land Mark by: _____	Date: _____			Street Width: _____			
<input type="checkbox"/> 3. PADC by: _____	Date: _____			Road Width: _____			
<input type="checkbox"/> 4. WMATA by: _____	Date: _____			Sidewalk Width: _____			
<input type="checkbox"/> 5. Control by: _____	Date: _____			Parking: _____			
<input type="checkbox"/> WASA - WATER/SEWER		<input type="checkbox"/> ZONING		<input type="checkbox"/> STREETSCAPE			
Approved by: _____	Date: _____	District: _____	By: _____	Date: _____	Approved by: _____	Date: _____	

Restrictions of Permit:	PUBLIC SPACE APPROVAL STAMP	
	Deposit Number: _____	

(E) FINAL APPROVAL FOR PERMIT ISSUANCE (OFFICIAL USE ONLY)

Permit Type	Approved by:	Approval Date	Deposit Amount (\$)	FEE (\$)	Permit Number	Expiration Date
1. Temporary Occupancy						
2. Excavation, Sheet piling and Shoring						
3. Construct Sidewalks, Curb/Gutter, Alley						
4. Walls, Fences, Copings, Leads/Steps, Plant Hedges, Paved Parking						
5. Trees						
6. Driveway Construction						
7. Sidewalk Cafe						
8. Other						

Attachment

15. Description of Proposed Work

D. Driveway Construction/Apron

1. Install one (1) driveway apron (25' wide) on Maryland Avenue, N.E.
2. Install one (1) driveway apron (25' wide) on 14th Street, N.E.
3. Remove existing driveway apron (modified to 10') on 14th Street, N.E.

E. Sidewalk Construction

1. Install concrete walkway on Maryland Avenue, N.E. (5' wide x 20' long) with 6" high curb as buffer between cars and pedestrians.
2. Install concrete walkway on 14th Street, N.E. along but not on public alley (5' wide x 26' long) of which approximately 16.5' is on public space

F. Curb and Gutter Construction

1. 6" high curb on Maryland Avenue, N.E. approximately 20' long as buffer for pedestrians from in-coming traffic.
2. Remove existing driveway apron on 14th Street, N.E. and install curb to match existing curb.
3. Install curb on 14th Street, N.E. near public alley for pedestrian safety.

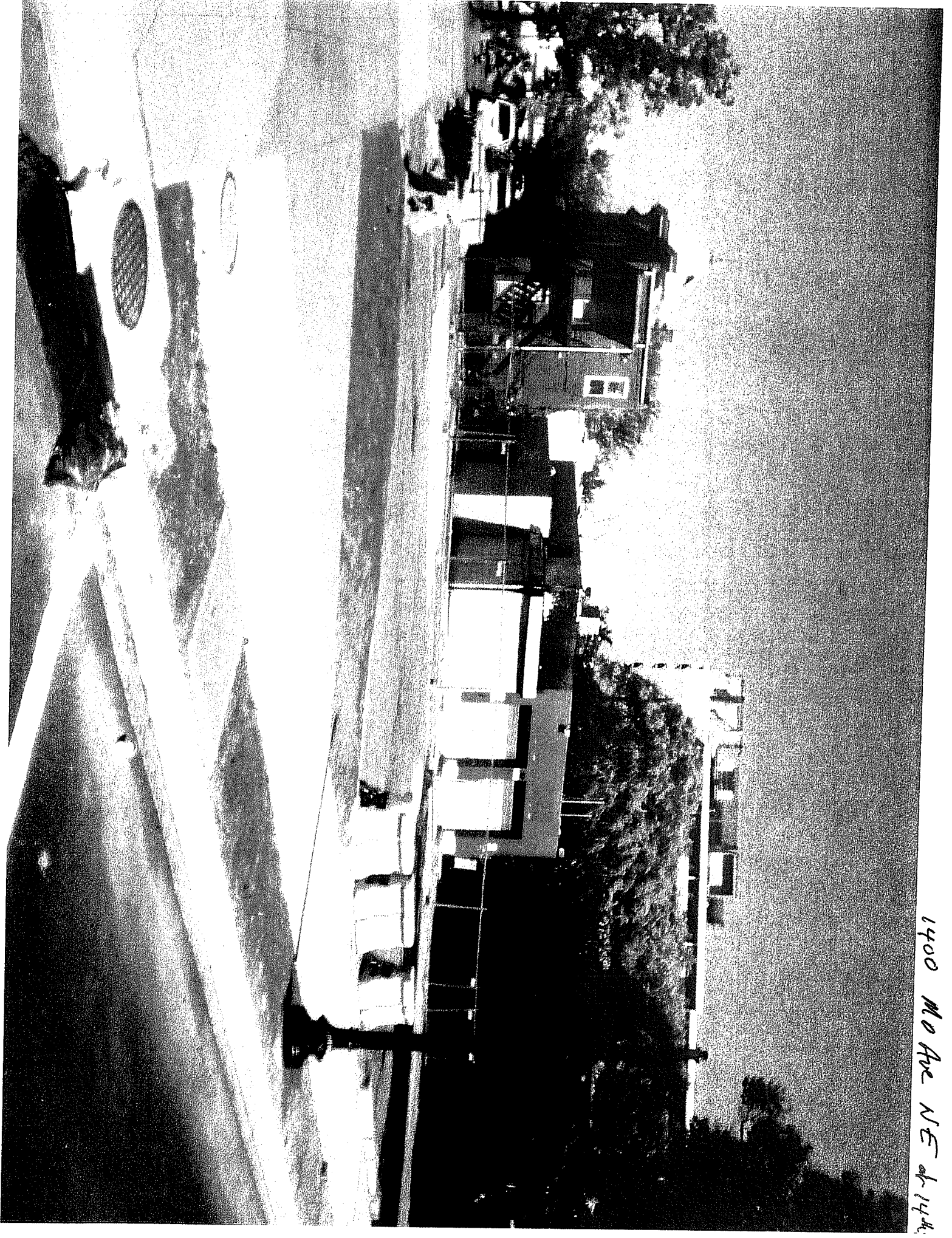
G. Grading

Repave public space driveway access to site on Maryland Avenue, N.E. and 14th Street, N.E.

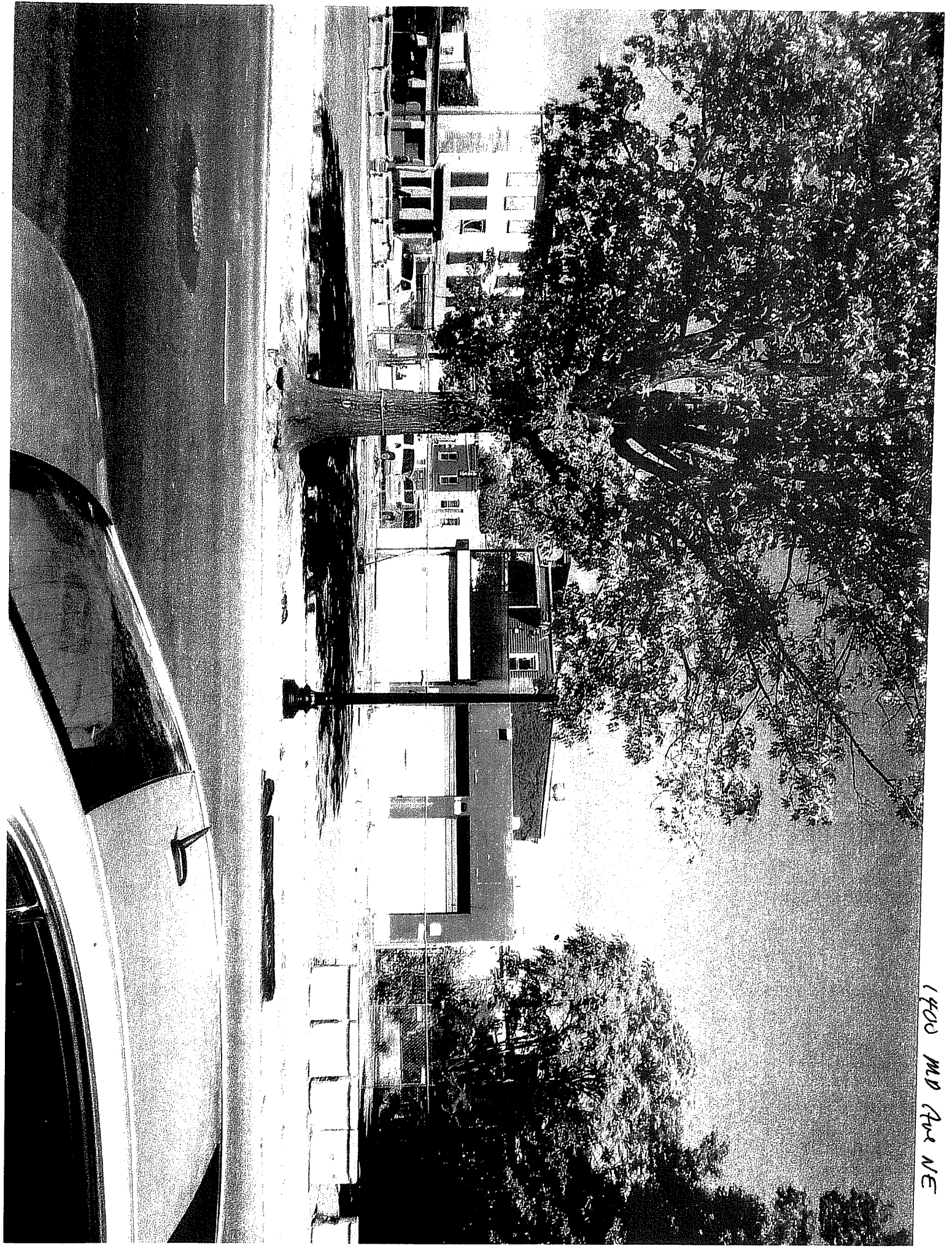
H. Trees, Planter Boxes, Hedges (Shrubs)

Plant liriop or hamlin, 23 Blackeyed Susan and 12 Rosa Rugosa shrubs on public space around perimeter of privately owned lots as shown on proposed site plan.

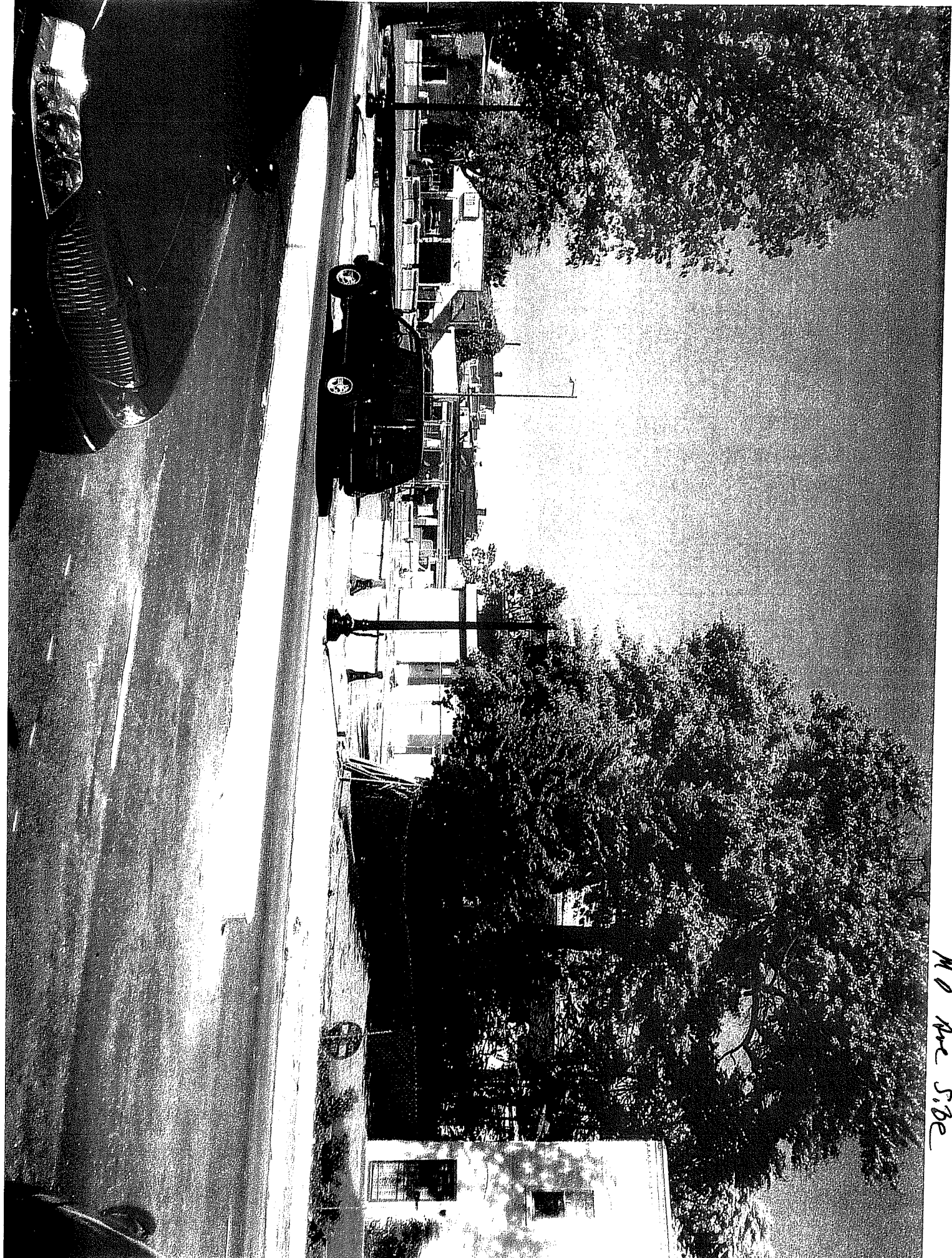
Pictures of Subject Property



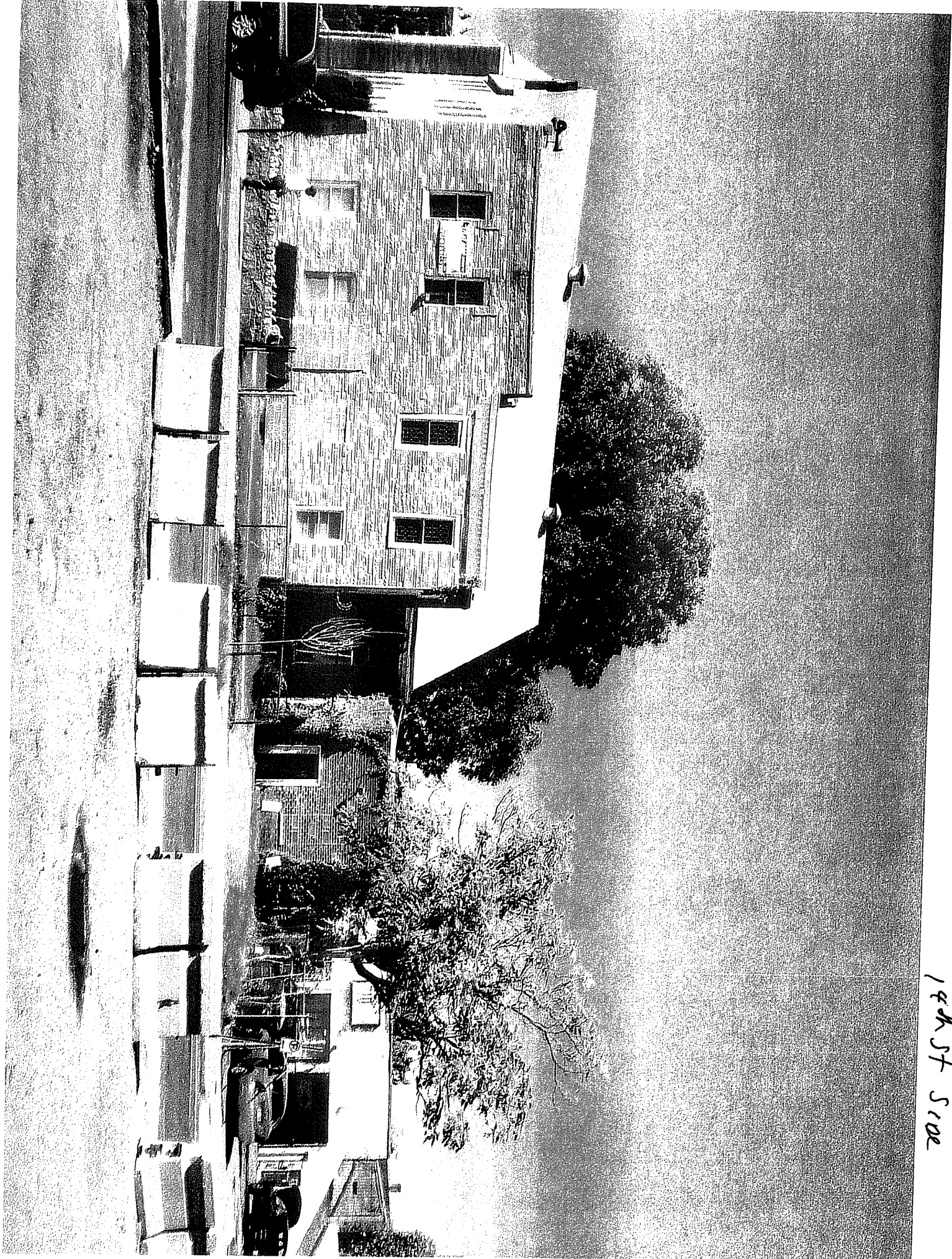
1400 Mo Ave NE of 14th



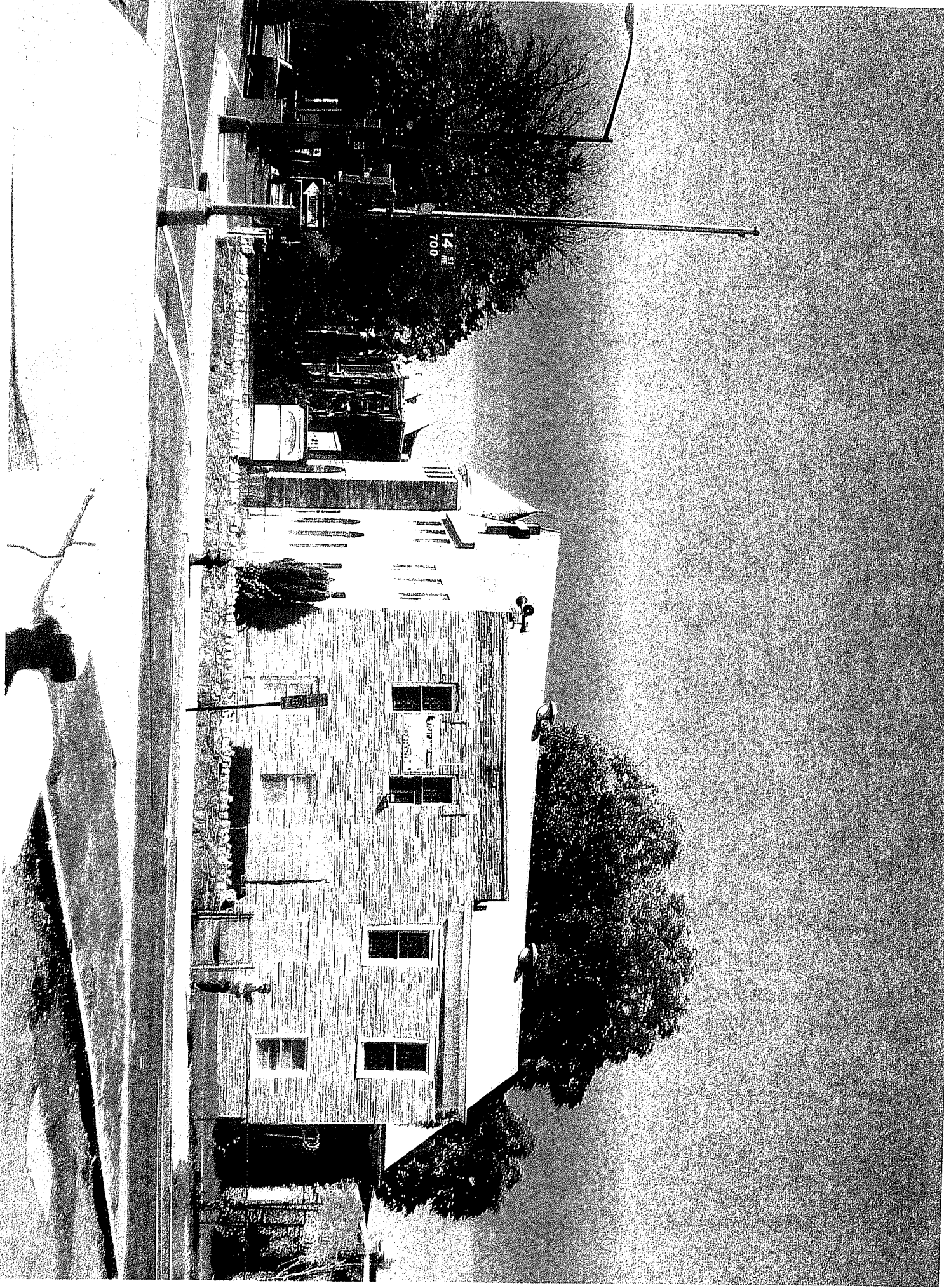
1400 MD Ave NE



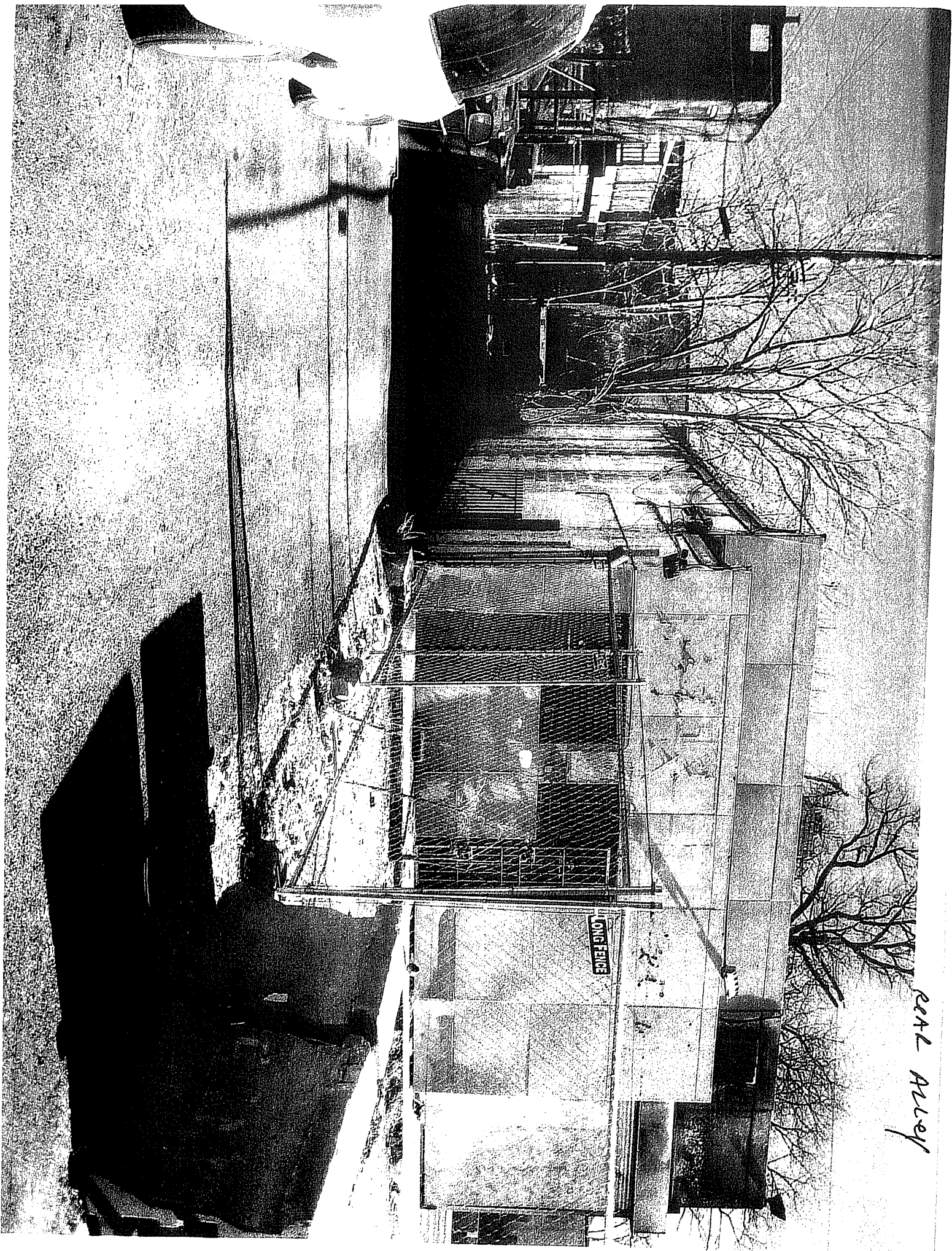
M O Ave S. Be



14th St Side



14th St. S. E.

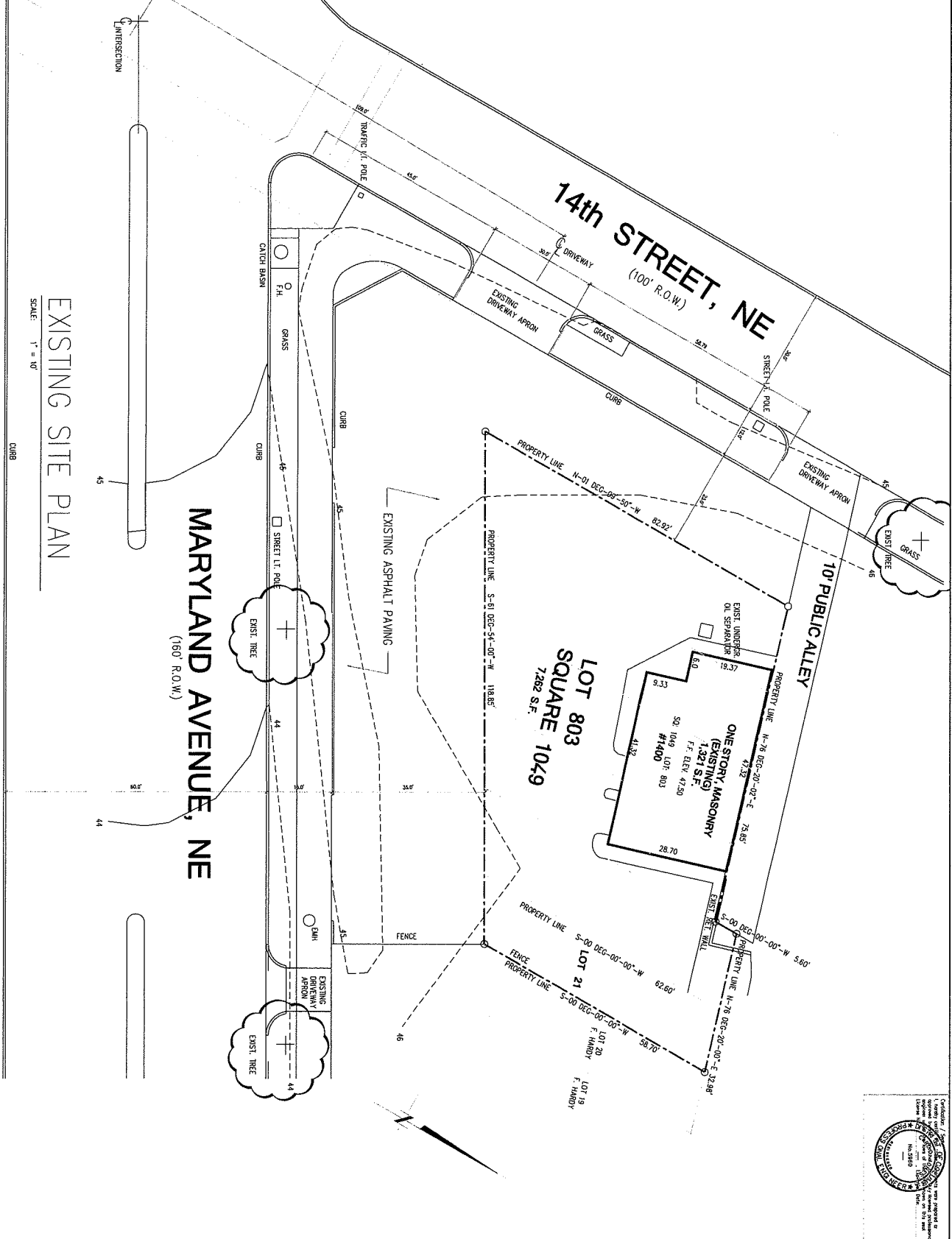


rent Alley

Existing and Proposed Site Plans

These drawings have been reviewed by the Government Building Permit Issuance Agency. The above comments by the Plan Reviewer require modification/changes to the drawings in order to obtain the Building Permit. These modification/changes may affect the design intent, appearance, location, construction mark, schedule duration, resources and building systems. The A/E shall provide these modifications to A/E/D the Plan Reviewer's requirements for the Building Permit. The A/E shall be identified from liability due to any modifications/changes made to the drawings required by the Government in order to obtain the Building Permit, or Approval of the Construction in-part or in-whole.

PLAN REVIEWER COMMENTS	BUILDING OFFICIALS PLAN REVIEW COMMENTS & A/E RESPONSES	A/E RESPONSES



EXISTING SITE PLAN

SCALE: 1" = 10'



MAIDEN AND ASSOCIATES
 Architects / Engineers / Planners
 4200 WASHINGTON AVENUE, NW
 WASHINGTON, DC 20007
 (202) 244-2722 OFFICE
 (202) 244-7733 FAX
 E-MAIL: MAIDEN@AIA.COM
 WWW: WWW.MAIDENARCHITECTS.COM

Owner's Name / Address:
 OAG PETROLEUM
 MONTE BERNADE
 6820-B COMMERCIAL DRIVE
 SPRINGFIELD, VA 22151
 (703) 750-6810

Project Name / Address:
 MARYLAND AVENUE SHELL
 1400 MARYLAND AVENUE NE
 WASHINGTON, D.C. 20002

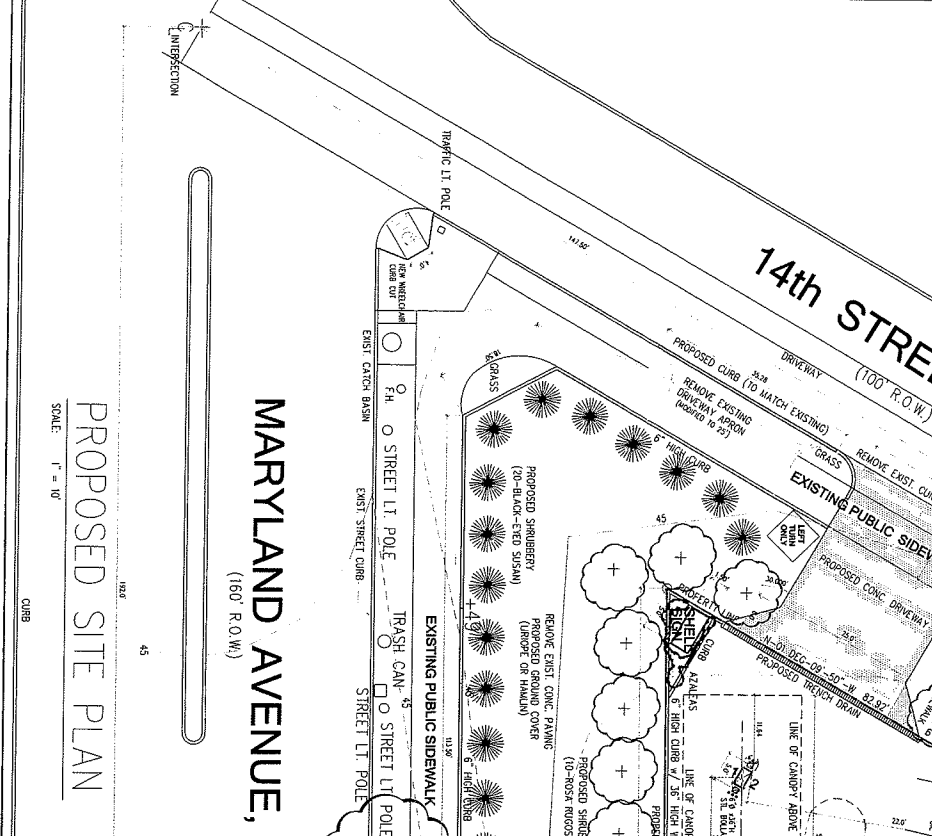
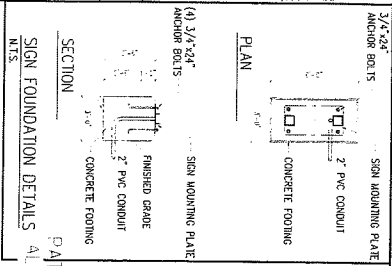
LOT: 803 & 21
SPR. AREA: 7,282 SF
WARD: C-3-A
ZONING DESIGNATION: R-2000
APPLICABLE CODE: 2012 DDMR SUPP
USE GROUP: H2
CONSTRUCTION TYPE: ZA

REVISION	SCHEDULE	DATE
1	GREEN ROOF PLANTS	9/27/08

Drawing Name:
EXISTING SITE PLAN

Sheet: **C1**

This Drawing has been reviewed by the Government Building Permit Issuance Agency. The above comments by the Plan Reviewer require modifications to conform to the Building Code. The above comments by the Plan Reviewer require modifications to conform to the Building Code. The above comments by the Plan Reviewer require modifications to conform to the Building Code.



PROPOSED SITE PLAN

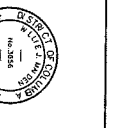
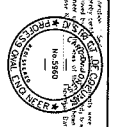
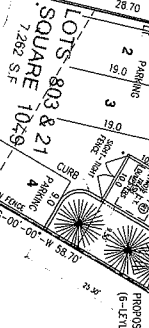
SCALE: 1" = 30'

SITE USAGE DISTRIBUTION CHART

USE AREA	PERCENT PROPORTION	TOTAL	PUBLIC SPACE (NOT INCLUDING PUBLIC SIDEWALKS)	TOTAL
BIODIVERSITY AREA	1.28%	2,282 SF	1,280 SF	7,240 SF
3' X 6' LOT ODDS	1.28%	2,282 SF	1,280 SF	7,240 SF
PAVED AREA	5.07%	9,168 SF	5,070 SF	16,000 SF
3' X 6' LOT ODDS	5.07%	9,168 SF	5,070 SF	16,000 SF
LANDSCAPE AREA	34.73%	62,496 SF	34,730 SF	110,000 SF
3' X 6' LOT ODDS	34.73%	62,496 SF	34,730 SF	110,000 SF
TOTAL	56.35%	101,040 SF	56,350 SF	170,000 SF

- NOTES:
- THE DESIGN ENFORCEMENT REGION COMPLIES WITH DCOR SUPPLEMENT CODE 2001, IBC 2006 AND DCOR 1-2003 ZONING.
 - DRIVEWAY ENFORCEMENT COMPLIES WITH DCOR 1-2003, SECTIONS 2302.2, 2302.3, 2302.4, 2302.5.
 - PUBLIC SPACE COMPLIES WITH DCOR 1-2003, SECTION 2302.2, 2303(1)(F).
 - SIGN COMPLIES WITH DCOR 1-2003, SECTION 2302.2, 2303(1)(F).

ALTERATIONS & REPAIRS TO EXISTING BRICK BUILDING ONE-STORY, 1,327 S.F. F.F. ELEV. 47.50



Outside the District of Columbia, the applicant/owner is advised that the design of the building and the construction of the building shall be in accordance with the applicable building code and the applicable zoning ordinance of the jurisdiction in which the building is located.

MADDEN AND ASSOCIATES
 Architects / Engineers / Planners
 4800 WISCONSIN AVENUE, NW
 WASHINGTON, DC 20007
 (202) 944-2900 OFFICE
 (202) 244-7725 FAX
 E-MAIL: WMADDEN@AOL.COM
 Web Site: MADDENARCHITECTS.COM

Owner's Name / Address:
 DAC PEROLEUM
 MONDAY BENTHAKE
 6820-B COMMERCIAL DRIVE
 SPRINGFIELD, VA 22151
 (703) 750-6810

Project Name / Address:
 MARYLAND AVENUE SHELL
 1400 MARYLAND AVENUE, NE
 WASHINGTON, D.C. 20002

LOT: 803 & 21
 SQUARE: 7,282 SF
 LOT AREA: 7,282 SF
 WARD: 6
 ZONING DESIGNATION: C3-A
 APPLICABLE CODE: DCOR SUPPLEMENT CODE 2001, IBC 2006 AND DCOR 1-2003 ZONING
 USE GROUP: H2
 CONSTRUCTION TYPE: 2A

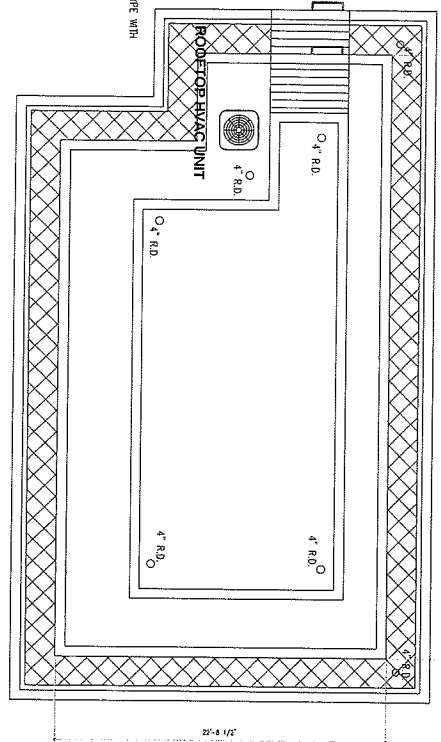
Revision Schedule	Date	Description
1	3/20/09	ISSUE FOR PERMIT
2	3/6/09	REVISIONS TO PERMIT
3	3/6/09	REVISIONS TO PERMIT
4	3/6/09	REVISIONS TO PERMIT

Drawing Name:
PROPOSED SITE PLAN

Scale: 1" = 30'

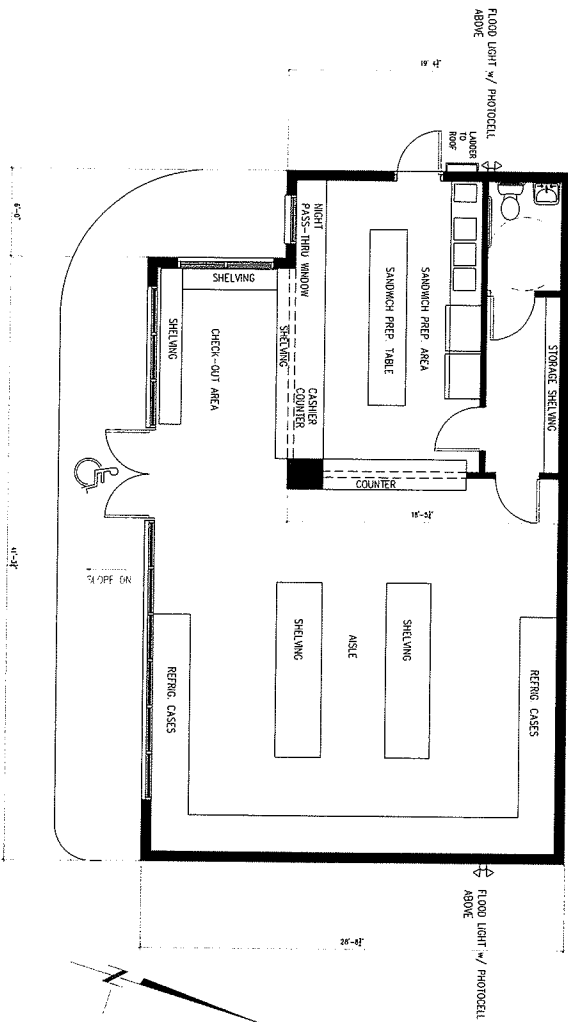
These drawings have been reviewed by the Government Building Permit Issuance Agency. The above comments by the Plan Reviewer require modifications/changes to the drawings in order to obtain the Building Permit. These modifications/changes may alter the design intent, appearance, function, construction cost, schedule, duration, products and building systems. The A/E shall provide these modifications to A/E/Cs for Plan Reviewer requirements for the Building Permit. The A/E shall be responsible for liability due to any modifications/changes made to the drawings required by the Government in order to obtain the Building Permit or approval of the Construction in-part or in-whole.

NOTE:
 THE GREEN ROOF IS DESIGNED TO BE AT LEAST 20" THICK TYPE GREEN ROOF WITH 6" INCHES OF TERSOL AND VEGETATION TYPE WITH A MAXIMUM GROWTH HEIGHT OF 8 INCHES.

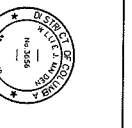
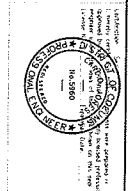


ROOF PLAN
 SCALE: 1/4" = 1'-0"

ROOFTOP HVAC UNIT



FLOOR PLAN
 SCALE: 1/4" = 1'-0"



Outset of the engineering/working drawing shall not be used for any purpose other than that intended by the Engineer without the prior written consent of the Engineer. The use of any drawing, specification or detail without the prior written consent of the Engineer shall constitute an acknowledgment of its accuracy.

MADDEN AND ASSOCIATES
 Architects / Engineers / Planners
 4008 WISCONSIN AVENUE, NW
 SUITE 2000
 SPRINGFIELD, VA 22151
 (202) 244-2200 OFFICE
 (202) 244-7725 FAX
 E-MAIL: WMADDEN@AOL.COM
 Web Site: MADDENARCHITECTS.COM

Owner's Name / Address:
 DAC PETROLEUM
 MONTHY BERTHANE
 6820-B COMMERCIAL DRIVE
 SPRINGFIELD, VA 22151
 (703) 750-6910

Project Name / Address:
 MARYLAND AVENUE SHELL
 1400 MARYLAND AVENUE, NE
 WASHINGTON, D.C. 20002

LOT:	603 & 21
SOILS:	3-1
LOT AREA:	7,262 SF
WARD:	6
ZONING DESIGNATION:	C1-A
APPLICABLE CODE:	REC2000
USE GROUP:	H2
CONSTRUCTION TYPE:	2A

Number	Date	Description
1	01/15/08	SIGN & CANOPY
2	9/22/08	GREEN ROOF PLANTS

Revision Schedule:
 Drawing Name: FOOD MART-CONVENIENCE STORE
 Drawing Scale: AS SHOWN
 Project Name: FOOD MART-CONVENIENCE STORE

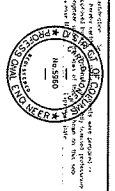
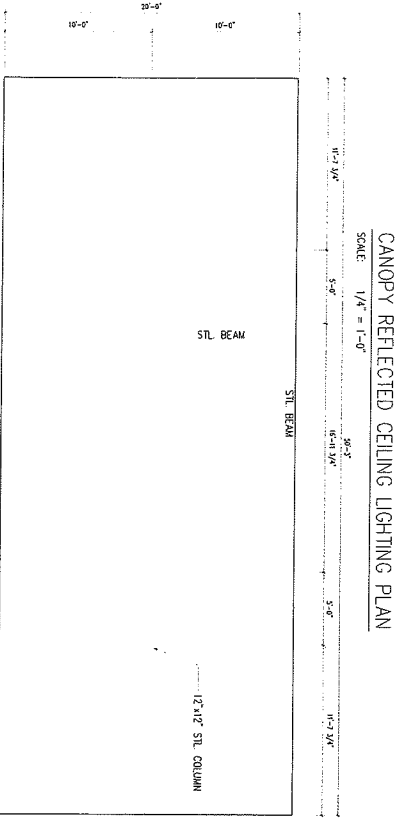
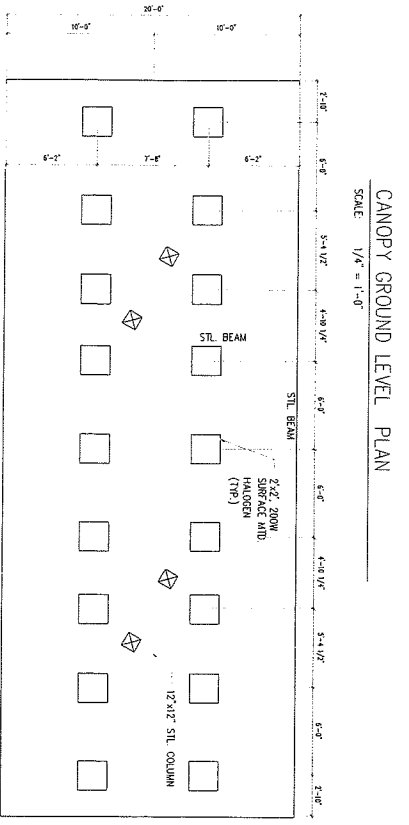
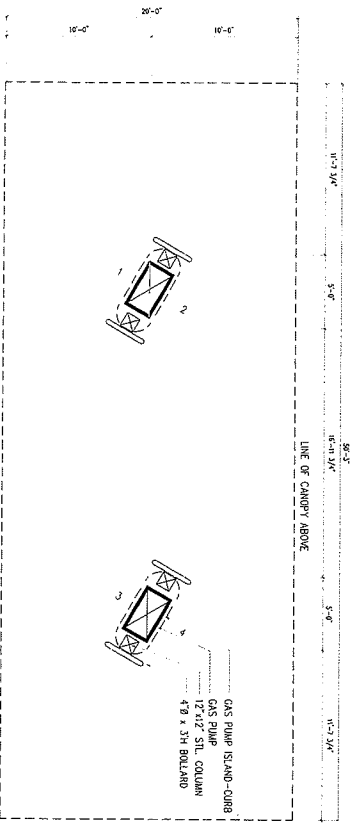
Project No.	71708
Client	DAC PETROLEUM
Location	1400 MARYLAND AVENUE, NE WASHINGTON, D.C. 20002
Scale	AS SHOWN
Sheet	A1

PLAN REVISER COMMENTS

BUILDING OFFICIALS PLAN REVIEW COMMENTS & A/E RESPONSES

A/E RESPONSES

These drawings have been reviewed by the Government Building Permit Issuance Agency. The above comments by the Plan Reviewer require modification/changes to the drawings in order to obtain the Building Permit. These modifications/changes may affect the design, safety, appearance, function, construction cost, schedule duration, processes and building systems. The A/E shall provide these modifications to satisfy the Plan Reviewer's requirements for the Building Permit. The A/E shall be responsible for notifying the Agency of any modifications/changes made to the drawings required by the Government in order to obtain the Building Permit or Approval of the Construction in-part or in-whole.



Condition:
 The sheet is for general reference only and shall not be used for construction purposes without the approval of the architect or engineer of record. Any modification to the sheet shall be made in pencil or light ink. The architect or engineer of record shall be responsible for the accuracy of the information on this sheet. The information on this sheet is not to be used for any other purpose without the written consent of the architect or engineer of record.

MADEN AND ASSOCIATES
 Architects / Engineers / Planners
 4800 WISCONSIN AVENUE, NW
 WASHINGTON, D.C. 20016
 (202) 244-2800 OFFICE
 (202) 244-7732 FAX
 E-MAIL: WARDEN@AOL.COM
 Web Site: MADENARCHITECTS.COM

Owner's Name / Address:
 DAG PETROLEUM
 MONY BERRANE
 6820-B COMMERCIAL DRIVE
 SPRINGFIELD, VA 22151
 (703) 750-6810

Project Name / Address:
 MARTLAND AVENUE SHELL
 1400 MARTLAND AVENUE, NE
 WASHINGTON, D.C. 20002

LOT: 803 & 21
 SQUARE: 1049
 LOT AREA: 7,282 SF
 ZONING DESIGNATION: C-1-A
 APPLICABLE CODE: IRC2000
 USE GROUP: 2002 COMM SUPP
 CONSTRUCTION TYPE: 2A

Name	Date
SOIL & CANOPY	01/15/09
GREEN ROOF PLANTS	9/22/08

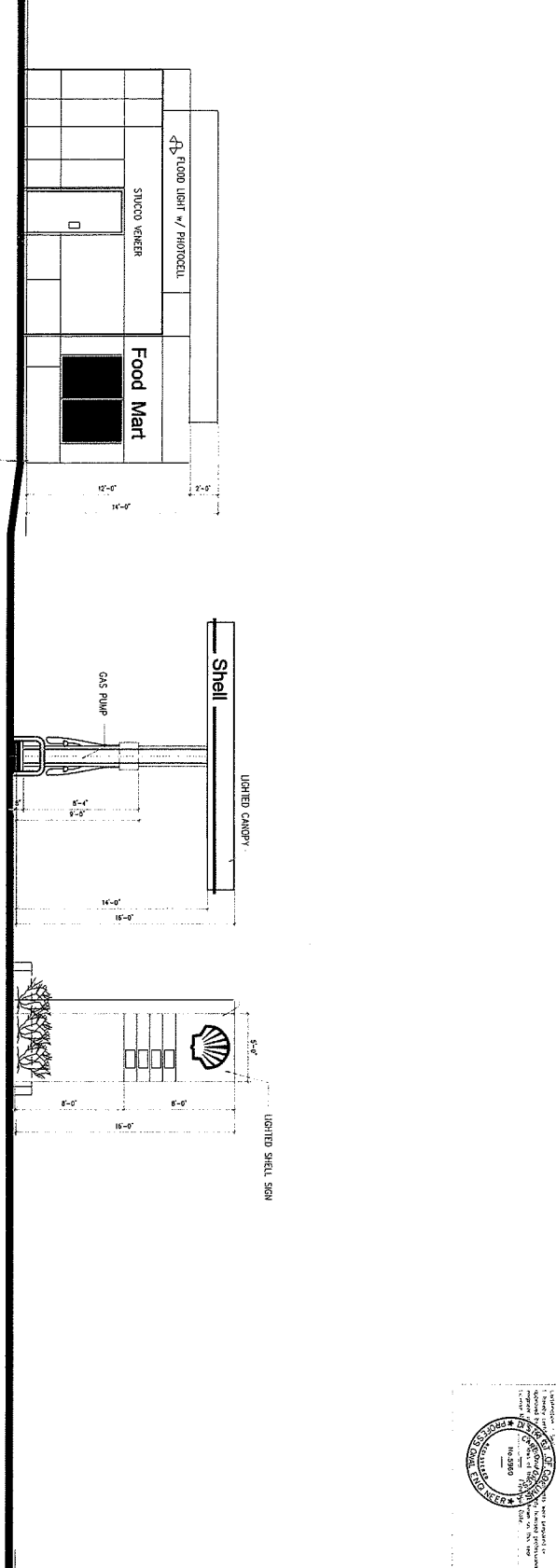
Drawing Name:
 CANOPY GROUND LEVEL PLAN
 CANOPY ROOF PLAN

Scale: 1/4" = 1'-0"

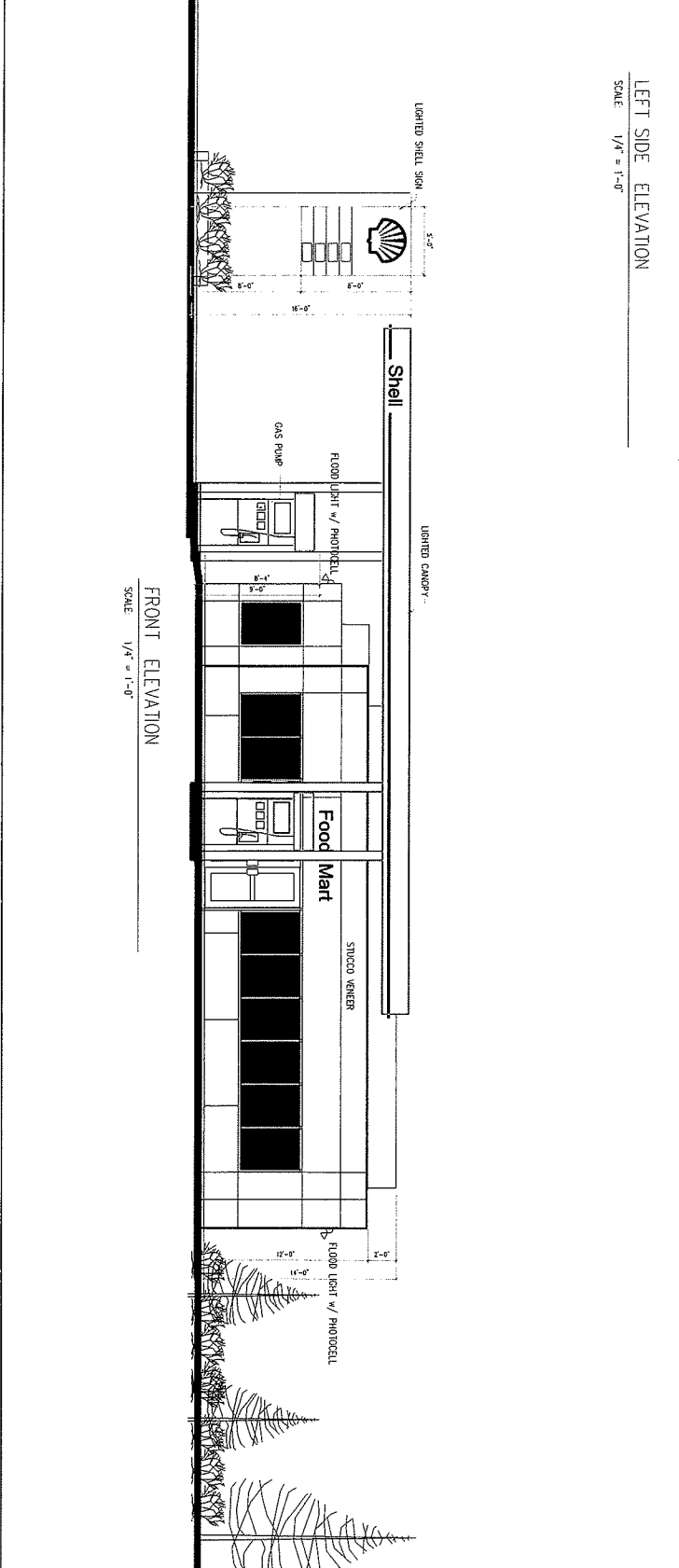
Revision	Description
7/7/08	7/7/08

Architectural
 A2

These drawings have been reviewed by the Government Building Permit Issuance Agency. The above comments by the Plan Reviewer require modifications/changes to the drawings in order to obtain the Building Permit. These modifications/changes may affect the design intent, appearance, function, construction cost, schedule duration, and building systems. The A/E must provide these modifications to satisfy the Plan Reviewer's requirements for the Building Permit. The A/E shall be responsible from liability due to any modifications/changes made to the drawings required by the Comment(s) in order to obtain the Building Permit or Approval of the Construction Permit in whole.



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



Confirmation: The holder of this design/permit, registered herein, shall be responsible for the design and construction of the project. Any construction shall conform to the approved drawings and specifications, and shall be subject to the inspection and approval of the Building Official.

MAIDEN AND ASSOCIATES
4803 WISCONSIN AVENUE, NW
WASHINGTON, D.C. 20016
(202) 244-2880 OFFICE
(202) 244-7732 FAX
E-MAIL: WMAIDEN@AOL.COM
Web Site: MAIDENARCHITECTS.COM

Owner's Name / Address:
D&C PETROLEUM
MONY BERRANE
6820-B COMMERCIAL DRIVE
SPRINGFIELD, VA 22151
(703) 750-6810

Project Name / Address:



MARYLAND AVENUE SHELL
1400 MARYLAND AVENUE, NE
WASHINGTON, D.C. 20002
LOT: 803 & 21
SQUARE: 1048
LOT AREA: 7,282 SF
WARD: 6
ZONING DESIGNATION: C-2-A
APPLICABLE CODE: 2002
USE GROUP: H2
CONSTRUCTION TYPE: 2A

DATE	DESCRIPTION	BY	CHK
01/15/09 <td>SIGN & CANOPY <td></td> <td></td> </td>	SIGN & CANOPY <td></td> <td></td>		
9/27/08 <td>GREEN ROOF PLANS <td></td> <td></td> </td>	GREEN ROOF PLANS <td></td> <td></td>		

DESIGNED BY: RETSON SCHEDULE
DRAWN BY: RETSON SCHEDULE
LEFT SIDE ELEVATION

Spec. Owner/Architect:
ARCHITECTURAL
© Copyright 2008
All rights reserved. No part of this drawing may be reproduced without written permission from the Architectural Firm.
Drawing No. 77708
Scale: A3
Sheet: 41

Covenant

**GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF TRANSPORTATION
WASHINGTON, D.C.**

**COVENANT FOR MAINTENANCE OF SIDEWALK, CONCRETE DRIVEWAY,
CURB, LANDSCAPING, AND DRIVEWAY APRON ON PUBLIC SPACE**

KNOW ALL PERSONS BY THESE PRESENTS:

WHEREAS, 1400 Maryland Avenue Ltd. Empire Leasing, Inc. is the Owner of the following described property in Washington, D.C., located at the following street address: 1400 Maryland Avenue, N.E. Lot 0803 and 21, Square 1049 hereafter referred to as "said property"; and

WHEREAS, the Owner of said property has applied to the District for the issuance of a public space permit in accordance with the provisions of 24 DCMR Chapter 1 100.1 et seq. (1985) as amended; and

WHEREAS, the Owner of said property has requested that the District authorize sidewalks, concrete driveway, curb, landscaping, and driveway apron on public space, hereinafter referred to as "abutting public space", as described in Exhibit A and shown on Exhibit B attached hereto; and

WHEREAS, the Owner of said property has submitted a site plan and application, hereinafter referred to as "the proposal" attached hereto as Exhibit C, for the use of said abutting public space; and

WHEREAS, the rules and regulations of the District of Columbia authorize the Mayor, or his agent, designee, or representative to impose such conditions on the issuance of said permit as the Mayor may require, 24 DCMR Chapter 1, §100 et seq. (1985), as amended; and

WHEREAS, the District has reviewed and accepted said proposal (as amended); and

WHEREAS, the Owner of said property desires to meet the conditions and requests of the District by complying with all of the terms and conditions of said permit.

NOW, THEREFORE, in consideration of the foregoing and in consideration of the issuance of the permit for construction, the Owner, for themselves, their heirs, successors and assigns does hereby declare that said property shall be held, transferred, sold and conveyed subject to the restrictions herein set forth to wit:

1. That no right, title, or interest of the public is thereby acquired waived or abridged.
2. That the Owner shall repair, construct, landscape and pave public space in accordance with the requirements set forth in the permit conditions and in accordance with the proposal attached hereto as Exhibit C.
3. That the District has the legal right to authorize work and/or issue permits for cuts to be made in the said paving and will do so without the permission of, or notice to, the property owner.
4. That, without prior notice from the District of Columbia, the Owner shall maintain and repair the abutting public space until such time, and

- upon such conditions as the District may require to extinguish said covenant;
5. That the Owner shall maintain and keep abutting public space in a clean and safe condition at all times, without the need for prior notice by the District.
 6. That repair(s) of aforesaid public space undertaken by the Owner shall be made pursuant to a permit issued by the District of Columbia. Repairs shall be made by and at the expense and risk of the Owner.
 7. That whenever the Mayor finds that said landscaping and/or paving is in such condition as to be imminently dangerous to persons or property, upon notice so to do, the Owner will make the landscaping and/or pavement safe and secure within 72 hours of the date said notice is served. That in a case where the public safety requires immediate action, the Mayor may use such materials, equipment, workmen and assistants as may be necessary, to make the paving safe and secure.
 8. That the Owner agrees to stockpile the original material at a minimum of ten percent of the total paved area and to retain this percentage of stockpiled materials on site or supply such materials within 72 hours of the District's request. Therefore, for all future repairs.
 9. That if the District must authorize or perform excavations in said public space for the purpose of maintaining, repairing, or installing utilities in said abutting public space, or for any other public purpose, the Owner agrees to supply the District with such quantities of stockpiled materials as are needed to complete repairs. The Owner shall supply said stockpiled materials within 72 hours of the District's request therefore.
 10. That the Owner hereby relieves the District of all duty to repair or maintain said abutting public space in a safe condition, or upon the failure of the Owner to supply stockpiled materials for utility cut repairs or for any other purpose as noted in section (9), the District has the right to cause temporary or permanent repairs using standard materials.
 11. That the Owner shall reimburse the District for any expense the District incurs in making any repairs to the abutting public space.
 12. That the Owner shall indemnify and save harmless the District and all of its officers, agents, and servants against any and all claims or liability from whatever source whatsoever, arising from, based on or, as a result of any act, omission, or default of the Owner in designing, constructing, paving, maintaining, installing or repairing said abutting public space.
 13. That the District shall have the right, after reasonable prior written notice to the Owner, to extinguish this Covenant at any time, and repair the paving using District standard materials or remove the pavement at the District's sole discretion.
 14. That the written consent of the District shall be required prior to the extinguishment of any of the covenants described herein in a document recordable at the office of the Recorder of Deeds for the District of Columbia and recorded at no expense to the District. Such

consent to extinguishment shall be given at such time as the District shall issue a permit enabling the Owner to replace any nonstandard materials with District standard materials. The cost of replacement of said abutting public space with standard District materials shall be borne by the Owner.

15. That the covenants contained herein shall be deemed real covenants and shall run with the land and shall bind the Owner and their heirs, successors and assigns.
16. That the District shall have the right to specifically enforce this Declaration.

**[SIGNATURES ON FOLLOWING
PAGE]**

[SIGNATURE PAGE - Individual Owner(s)]

IN WITNESS WHEREOF, the undersigned owner(s) of Lot 803 and 21 in Square 1049 has (have) caused these presents to be executed.

WITNESS:

Frank Gittleson
FRANK GITTLESON

1400 Maryland Avenue Ltd.
Empire Leasing, Inc.

By: [Signature]
Name: Dave Schaeffer
Title: Managing Member

DISTRICT OF COLUMBIA, ss:

I, _____, a Notary Public, in and for the District of Columbia, do hereby certify that Dave Schaeffer as managing member of 1400 Maryland Ave Ltd. Empire Leasing, Inc., party(ies) to the foregoing attached being personally well-known to me as the owner(s) of Lot 803 and 21 in Square 1049 appeared before me and acknowledged said Declaration to be (his) (her) or (their) act and deed.

Given under my hand and seal this _____ day of _____ 20_____.

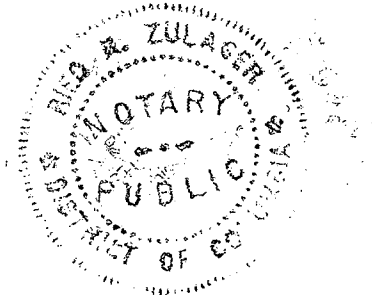
Notary Public

My Commission expires _____

Washington, District of Columbia
Subscribed and sworn to before me, in my presence,
this 30th day of MARCH, 2009
by DAVID SCHAEFFER
[Signature] Notary Public
My commission expires 12/14/2012

My Commission Expires December 14, 2012

RIED R. ZULAGER
NOTARY PUBLIC
DISTRICT OF COLUMBIA
My Commission Expires 12/14/2012



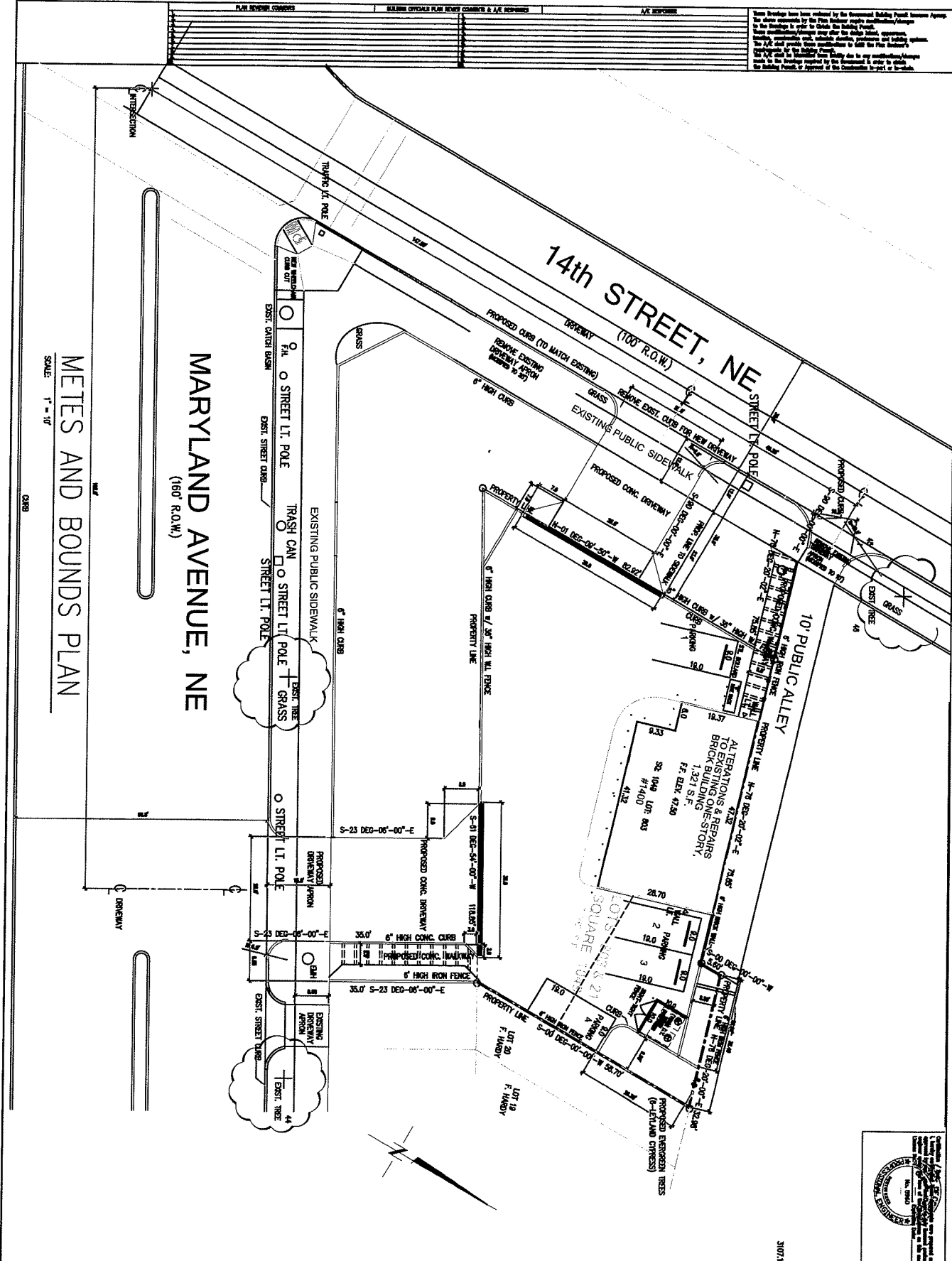
PUBLIC SPACE COVENANT

Table of Exhibits

1. Exhibit A – Metes and bounds description of the areas to be used for sidewalk, concrete driveway, curb, landscaping, and driveway apron on public space.
2. Exhibit B – Survey showing location of the areas to be used for sidewalk, concrete driveway, curb, landscaping, and driveway apron on public space.
3. Exhibit C – Site Plan showing location of the areas to be used for sidewalk, concrete driveway, curb, landscaping, and driveway apron on public space and total sq. footage stamped and approved by the Public Space Management Administration, District Department of Transportation .

Exhibit A

These drawings have been prepared by the Government of the State of Maryland, Department of Transportation, for the purpose of providing information to the public. The drawings are not to be used for any other purpose without the express written consent of the Department of Transportation. The Department of Transportation is not responsible for any errors or omissions in these drawings or for any consequences arising therefrom. The Department of Transportation is not liable for any damages, including consequential damages, arising from the use of these drawings. The Department of Transportation is not responsible for any changes or modifications to these drawings. The Department of Transportation is not responsible for any delays or interruptions in the construction of the project. The Department of Transportation is not responsible for any costs or expenses incurred by the contractor. The Department of Transportation is not responsible for any claims or liabilities arising from the construction of the project. The Department of Transportation is not responsible for any claims or liabilities arising from the use of these drawings.



MARYLAND AVENUE, NE
(160' R.O.W.)

METES AND BOUNDS PLAN
SCALE: 1" = 10'



MAIDEN AND ASSOCIATES
Architects / Engineers / Planners
4630 WISCONSIN AVENUE, NW
WASHINGTON, D.C. 20016
(202) 244-8800 OFFICE
E-MAIL: MAIDEN@MAIDENARCHITECTS.COM
WEB SITE: MAIDENARCHITECTS.COM

DAVE PETROLEUM
MONTY BERRHANE
6820-B COMMERCIAL DRIVE
SPRINGFIELD, VA 22151
(703) 750-6910

MARYLAND AVENUE SHELL
1400 MARYLAND AVENUE NE
WASHINGTON, D.C. 20002

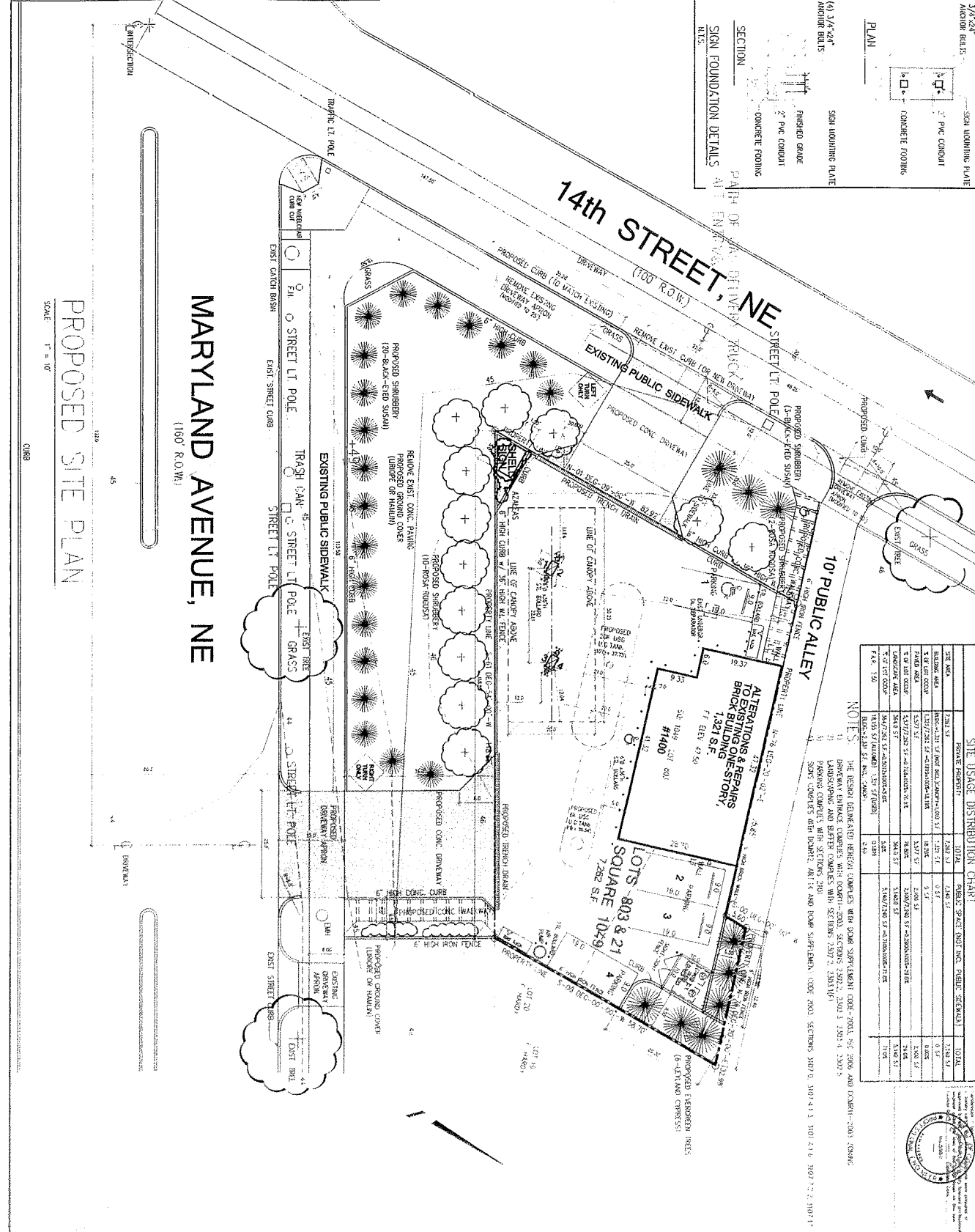
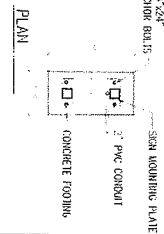
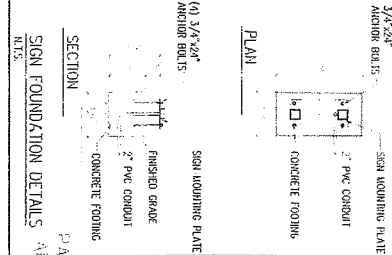
LOT 19
LOT 20
LOT 21
TOTAL SQUARE FEET
TOTAL ACRES
ZONING DESIGNATION
ARTICLE CODE
USE GROUP
CONSTRUCTION TYPE

No.	Description	Date
1	REVISION	
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

DATE: 04/20/2018
DRAWN BY: [Signature]
CHECKED BY: [Signature]

Exhibit B

These drawings have been reviewed by the Government Safety Permit Issuing Agency. The above contents by the Plan Reviewer require modifications/changes to be drawn in order to allow the Building Permit. These modifications/changes are after the design value, approvals, conditions, construction cost, similar building features and safety systems. The A/E and permit holder shall be responsible to submit the Plan Reviewer's comments to the Building Permit Issuing Agency. The A/E and permit holder shall be responsible to submit the modifications/changes to the Government in order to obtain the Building Permit. As Approved at the Construction Office or Equivalent.



PROPOSED SITE PLAN

SCALE: 1" = 10'

MARYLAND AVENUE, NE

(1100' R.O.W.)

SITE USAGE DISTRIBUTION CHART

USE	PERCENT	AREA	PROG. SPACE UNIT NO.	PERM. HEIGHT	100%
OFFICE	100%	10,000	100	100'	100%
RESIDENTIAL	0%	0	0	0'	0%
RETAIL	0%	0	0	0'	0%
INDUSTRIAL	0%	0	0	0'	0%
RECREATION	0%	0	0	0'	0%
COMMERCIAL	0%	0	0	0'	0%
AGRICULTURE	0%	0	0	0'	0%
UNDEVELOPED	0%	0	0	0'	0%
TOTAL	100%	10,000	100	100'	100%

NOTES: THE DESIGNATED HEREIN COMPASS WITH SHOWN SUPERSEDES CODE 2004, 2006, AND COUNTY 2004. DESIGN. DESIGNER'S COMPASS WITH COUNTY 2004, SECTIONS 2002.2, 2003.1, 2003.4, 2003.5, 2003.6, 2003.7, 2003.8, 2003.9, 2003.10, 2003.11, 2003.12, 2003.13, 2003.14, 2003.15, 2003.16, 2003.17, 2003.18, 2003.19, 2003.20, 2003.21, 2003.22, 2003.23, 2003.24, 2003.25, 2003.26, 2003.27, 2003.28, 2003.29, 2003.30, 2003.31, 2003.32, 2003.33, 2003.34, 2003.35, 2003.36, 2003.37, 2003.38, 2003.39, 2003.40, 2003.41, 2003.42, 2003.43, 2003.44, 2003.45, 2003.46, 2003.47, 2003.48, 2003.49, 2003.50, 2003.51, 2003.52, 2003.53, 2003.54, 2003.55, 2003.56, 2003.57, 2003.58, 2003.59, 2003.60, 2003.61, 2003.62, 2003.63, 2003.64, 2003.65, 2003.66, 2003.67, 2003.68, 2003.69, 2003.70, 2003.71, 2003.72, 2003.73, 2003.74, 2003.75, 2003.76, 2003.77, 2003.78, 2003.79, 2003.80, 2003.81, 2003.82, 2003.83, 2003.84, 2003.85, 2003.86, 2003.87, 2003.88, 2003.89, 2003.90, 2003.91, 2003.92, 2003.93, 2003.94, 2003.95, 2003.96, 2003.97, 2003.98, 2003.99, 2004.00.

ALTERATIONS & REPAIRS TO EXISTING BRICK BUILDING 1,321 S.F. #1400

LOTS 803 & 21 SQUARE 10-9

MADDEN AND ASSOCIATES
ARCHITECTS / ENGINEERS / PLANNERS
4000 WASHINGTON AVENUE, NW
WASHINGTON, D.C. 20016
(202) 744-8000 OFFICE
(202) 344-7722 FAX
E-MAIL: WMADDEN@AIA.COM
WEB: WWW.MADDENARCHITECTS.COM

DATE: 11/23/11
PROJECT: MARYLAND AVENUE, NE
SHEET: 10-9
DRAWN BY: [Name]
CHECKED BY: [Name]

APPROVED BY: [Signature]
DATE: 11/23/11

PROPOSED SITE PLAN

SCALE: 1" = 10'

DATE: 11/23/11

Exhibit C

Traffic Report



MEMORANDUM

TO: Monty Berhane Dag Petroleum Suppliers, Inc.

CC: Richard Aguglia, Esq. Hunton & Williams LLP

FROM: Pooja Mishra, P.E.
Erwin N. Andres, P.E.

DATE: March 31, 2009

SUBJECT: 1400 Maryland Avenue NE Gas Station Redevelopment Traffic Assessment

INTRODUCTION

This memorandum summarizes the traffic impacts associated with the redevelopment of the site located at the northeast corner of Maryland Avenue and 14th Street in northeast Washington, DC. The redevelopment consists of a gasoline station with 4 fueling positions and a convenience mart. The site is located along the north side of Maryland Avenue NE, which is an east-west minor arterial roadway in the vicinity of the site that runs to US 50 to the east. Figure 1 shows the location of the site and the intersection studied to assess the impact. Figure 2 presents an aerial photograph of the site.

In the vicinity of the site, Maryland Avenue NE is a median-divided roadway providing two lanes in each direction with a posted speed limit of 25 mph. Based on the 2008 District Department of Transportation (DDOT) Traffic Volume Map, the Annual Average Daily Traffic (AADT) along Maryland Avenue west of 14th Street is approximately 11,200 vehicles. The AADT along Maryland Avenue NE east of 14th Street NE is approximately 7,000 vehicles. In the vicinity of the site, 14th Street NE is a one-way southbound collector roadway providing one travel lane and a bicycle lane with a posted speed limit along this roadway of 25 mph. The AADT along 14th Street south of Maryland Avenue NE is approximately 2,900 vehicles.

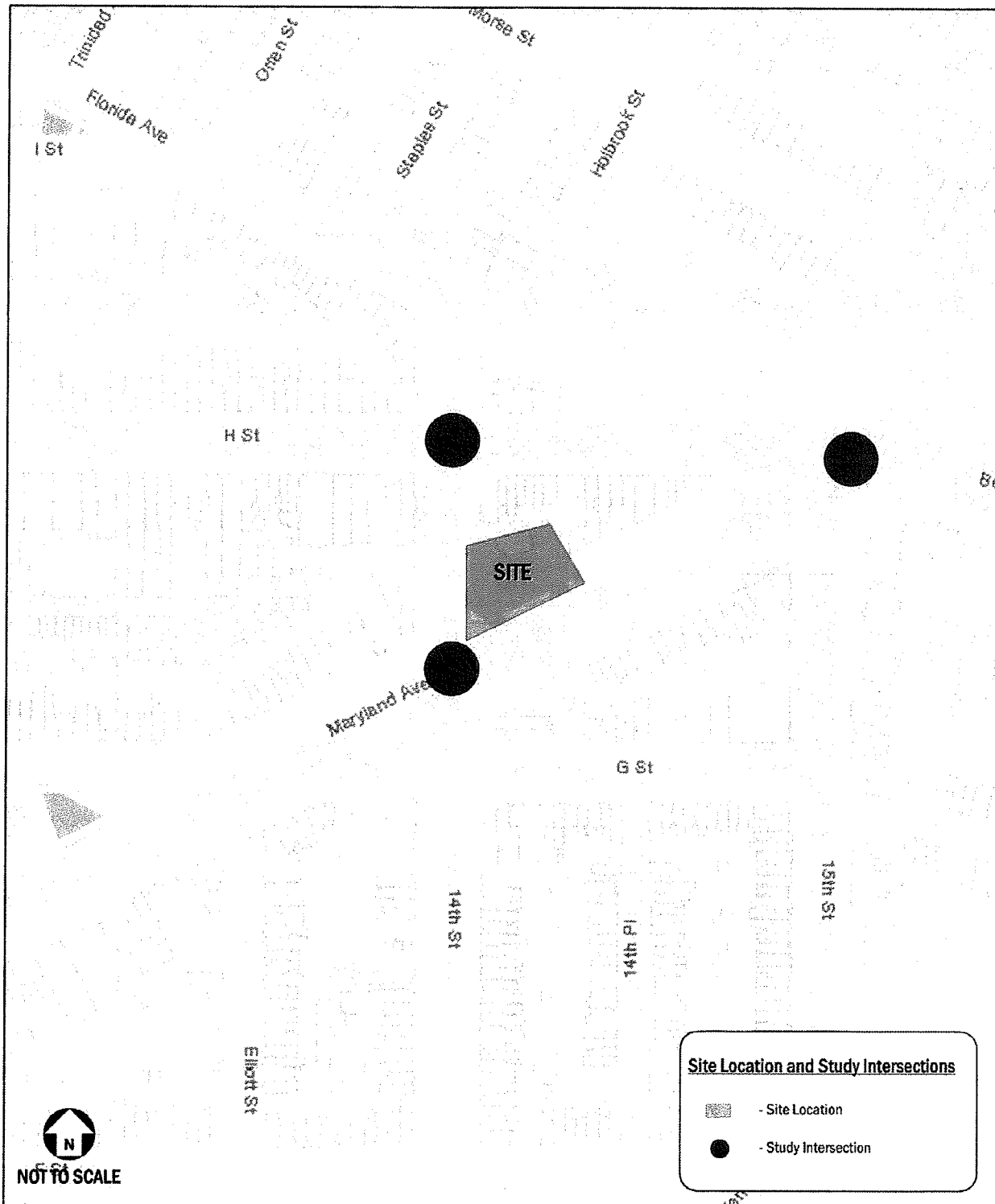


Figure 1
Local Roadway Network and Site Location

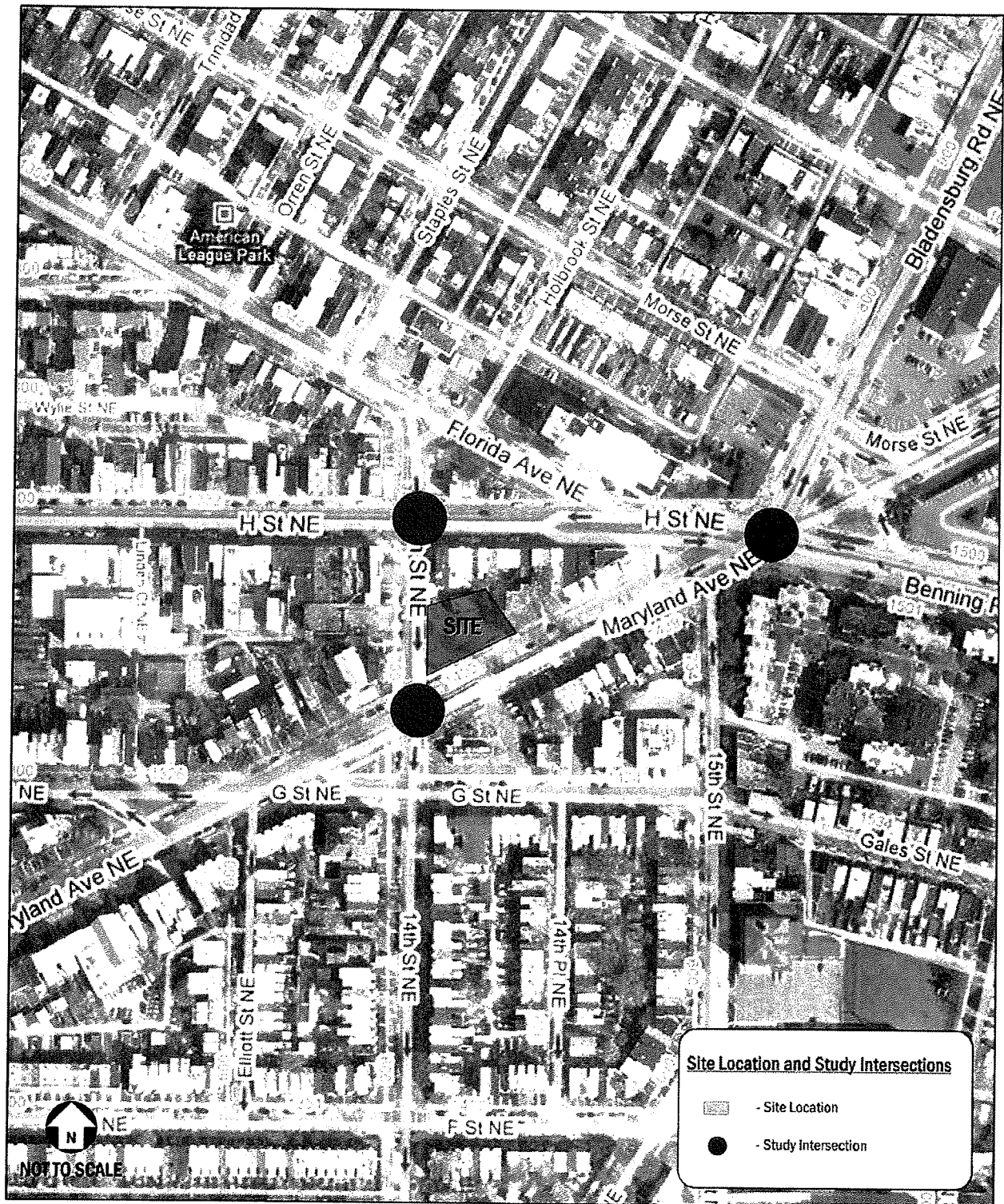


Figure 2
Aerial Photograph of Subject Property at 1400 Maryland Avenue, NE

Site Access and Circulation

The site currently has two site driveways located along 14th Street. Because 14th Street NE is one-way southbound, only left turns into and out of the 14th site driveways are permitted. As part of the development plan, the southern 14th Street curb cut will be maintained and the northern 14th Street curb cut will be closed. Access to the public alley on 14th Street adjacent to the site will also be maintained. Prior to this year, the subject property had two curb cuts on Maryland Avenue. DDOT subsequently closed those driveways, one of which Dag Petroleum is proposing to reopen. The proposed reopened Maryland Avenue curb cut is proposed to be right-turn in and right-turn out only to address DDOT concerns. The circulation within the site allows for two-way circulation in order to facilitate vehicles coming from either 14th Street NE or Maryland Avenue NE to access the fueling dispensers or the convenience mart.

The proposed development consists of a new gas station providing 4 fueling positions and a convenience mart. The site driveways are proposed to minimize the unnecessary circulation that patrons would need to perform in order to access the site. The driveway on 14th Street NE is geared to serve patrons coming south from the H Street NE corridor. This driveway also provides access to a traffic signal at Maryland Avenue to allow for patrons exiting the site to head either east or west on Maryland Avenue NE. The Maryland Avenue driveway is geared to draw patrons from the westbound direction along Maryland Avenue NE. Figure 3 presents the proposed site plan and confirms the adequacy of fueling trucks entering the site, as well as personal vehicles at the fueling positions.

One of the pre-existing uses for the subject site was a gas station use. Based on the January 21, 1977 Certificate of Occupancy (C of O) issued by DCRA for the subject property, the gas station was permitted to provide service for 6 fueling positions. In supporting that for the previous use, 2 curb cuts on Maryland Avenue and 2 curb cuts on 14th Street were provided. The proposed access plan is only providing for one curb cut along Maryland Avenue and one on 14th Street.

Based on the site plan, all 4 of the 4 proposed fueling stations will be accommodated on private property. All of the underground storage tanks (USTs) and the convenience mart is also located on private property. Public space will be required to provide access to and from the subject property.

Given the configuration of the existing and proposed driveways serving the site and the location of the underground storage tanks (USTs), the fueling trucks will enter from Maryland Avenue, unload the fuel, and exit from the 14th Street driveway.

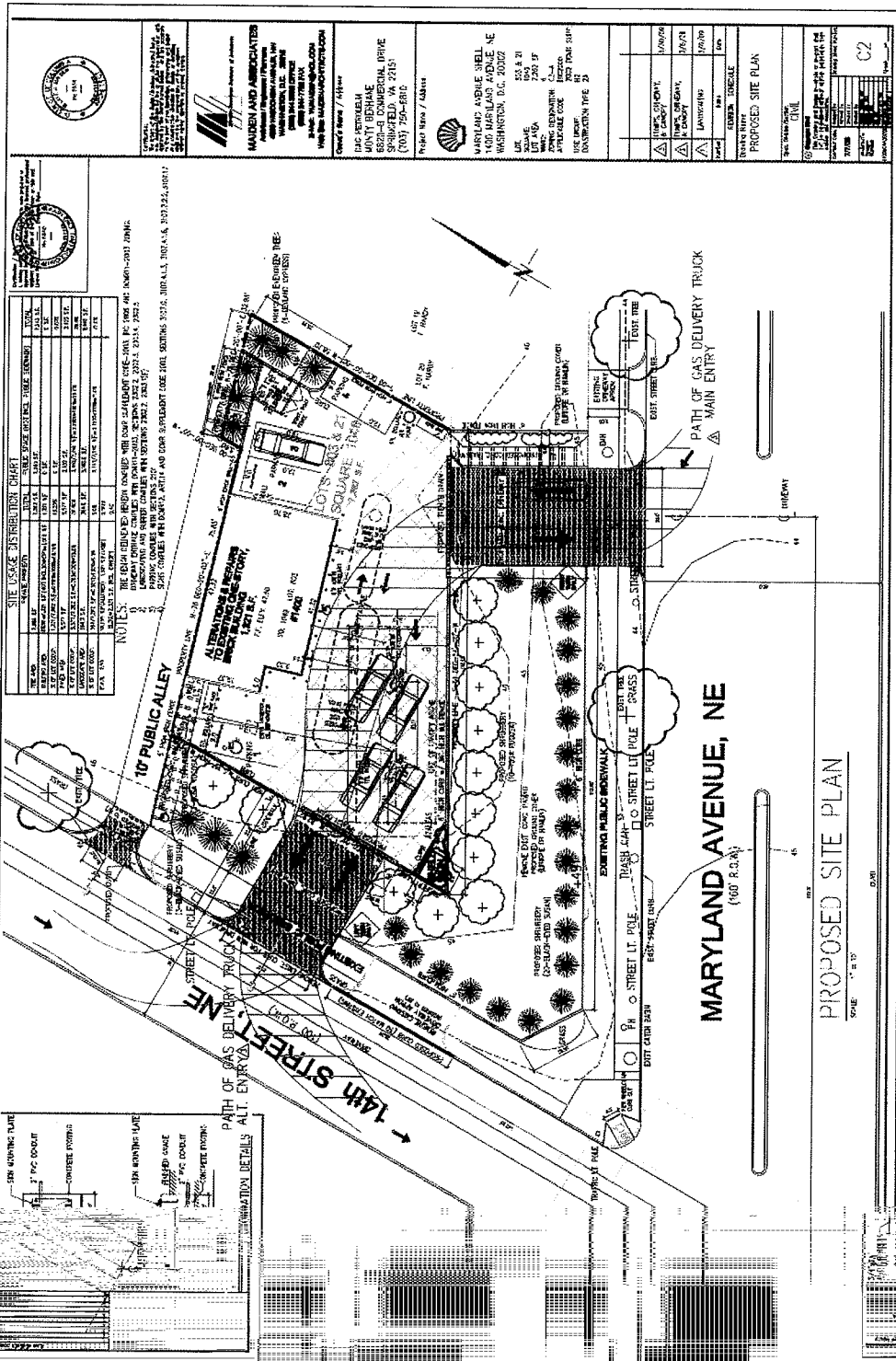


Figure 3

Site Plan for Proposed Gas Station Redevelopment

ERROR: ioerror
OFFENDING COMMAND: %image_file_continue

STACK:

-mark-
-savelevel-