<u>Agenda</u>

ANC 6A Transportation & Public Space Committee Meeting Monday, May 15, 2023 at 7:00 pm Virtual Meeting via Zoom

For those attending via Zoom: use this link: https://us06web.zoom.us/j/82707725713

Call-in Number: 1 301 715 8592

Webinar ID (access code): 827 0772 5713

One tap mobile: +13017158592,,82707725713#

Public Meeting – All are welcome

Community comment welcome; may be limited to two minutes to provide opportunity for all to speak. Community comment time will be opened after each Old and New Business item.

- I. Call meeting to order.
- II. Introductions & Announcements.
- III. Old Business
 - A. DDOT update on H Street Priority Bus Lanes Zack Gambetti-Mendez, AICP, Transportation Planner, Bus Priority Program, DDOT
 - B. 11th Street Traffic Calming: request for a comprehensive safety study and additional input for selected and pending Traffic Safety Investigations (TSIs) Commissioners Shapiro, Gove, Velazquez, Chatterjee, Moilanen
- IV. New Business
 - A. Vision Zero Hardening at 13th Street/Constitution Avenue NE and 11th/East Capitol Streets DDOT speaker TBC
 - B. Public Space Applications on H Street NE
 - i. #419662 at 1101 H Street NE (Paving: Driveway(s) Close Existing, Paving: Driveway(s) New- Commercial, Paving: Sidewalk(s), Projections: Bay Window(s), Projections: Marquee)
 - C. Metro's Better Bus Network Redesign Project
 - i. Overview and ways to provide comment
- V. Additional community comment (time permitting).
- VI. Adjourn meeting.



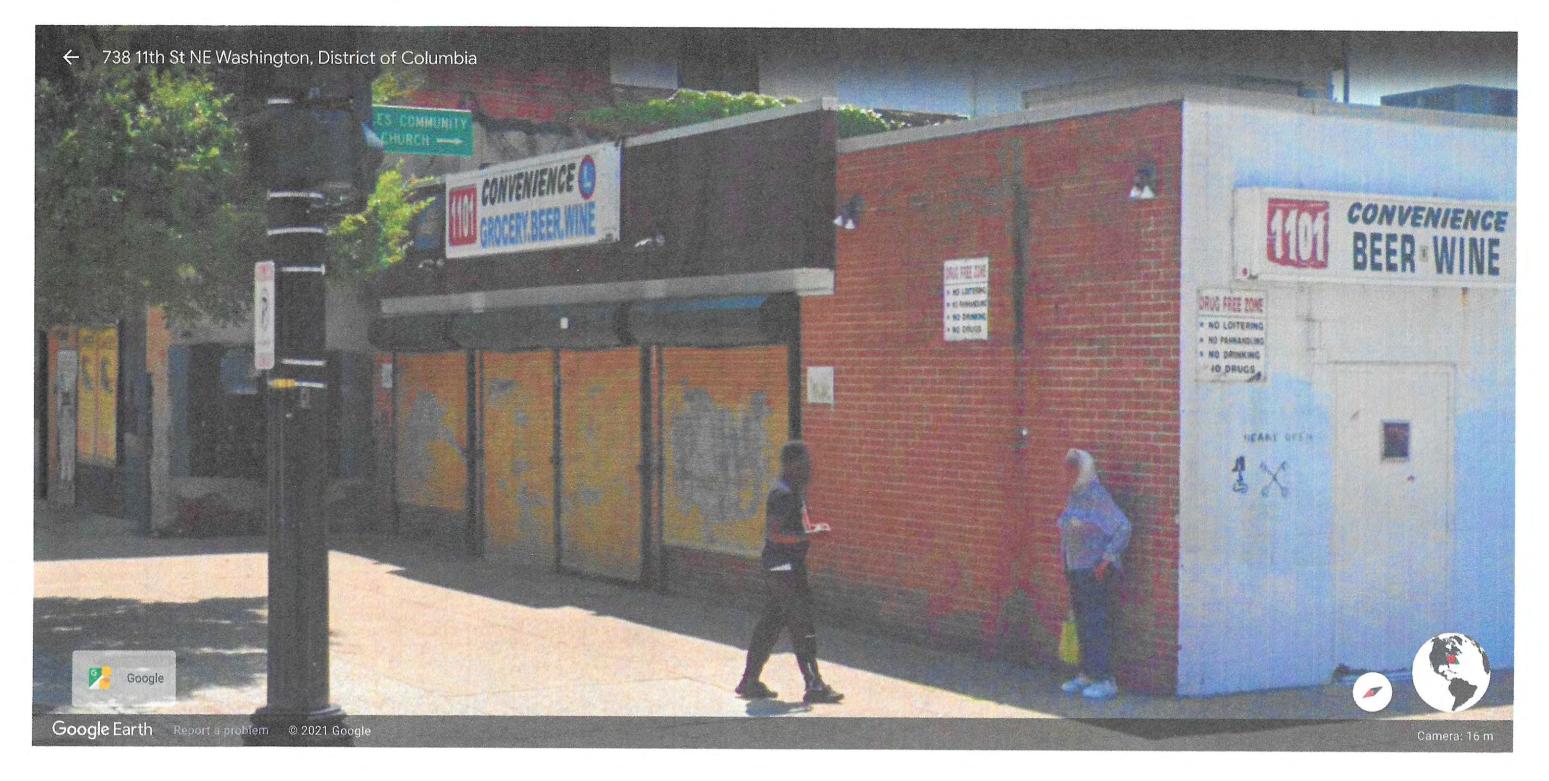
1101 H STREET NE / PUBLIC SPACE PERMIT #380565 FEBRUARY 24, 2022

The following Architectural drawings dated 02.03.22 and submitted to DCRA under building permit #B2109279 are provided to address the open comments for public space permit #380565. Additional dimensions and notes have been added for clarity per the comments below, but no changes to the drainage, projections, overhangs, etc. have been made to the building permit drawings.

Reviewer	Description	Sheet References
Stormwater Provide drainage information, including grading, drainage areas, inlets, and downspout locations to demonstrate that no impervious areas drain to the public space.		A102 – 2 nd – 6 th Floor Plan shows dimensions for the projecting bays. 2 ND Floor indicates terrace drainage is internal to property and no impervious areas spill to public way.
		A104 – Penthouse & Penthouse Roof Plan indicates roof drainage is internal to property and no impervious areas spill to public way. Downspouts from Penthouse roof to penthouse interior drains are indicated.
		A501 – Exterior Sections indicate impervious canopy drainage is directed to interior of building rather than public way.
OP – Urban Design	Provide additional floor plans that show parking locations and access route, so that OP can fully review the location and design of the proposed curb cut. Curb returns for the driveway must remain within the lot line extended to the curb. Curb returns may not cross over into the public space that is in front of an adjacent property.	003 – Site Plan indicates dimensions from curb to projecting bay at H Street NE provided as 12'-0 3/8" minimum, and 24'-10 1/8" at 11 th Street NE. note: Curb cut at driveway extends past the lot line when extended to the curb due to existing site constraints and is under review with DDOT.
	Please submit elevations, sections, and other relevant details regarding the proposed building projections and overhangs. Per the DCMR Title 12A Section 3202.7.1.1, building projections must maintain a minimum of 12' offset from streets with a right-of-way width of 90', such as H Street NE. Please reduce projecting distance of the proposed bay windows on H Street to maintain a minimum 12' from the curb line. OP	 A101 – 1st Floor and Cellar Plan shows parking locations and access route. A102 – 2nd – 6th Floor Plan shows dimensions for the projecting bays. 2ND Floor indicates terrace drainage is

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	can support the proposed bay window projection on 11 th Street NE.	internal to property and no impervious areas spill to public way.
		A104 – Penthouse & Penthouse Roof Plan indicates roof drainage is internal to property and no impervious areas spill to public way. Downspouts from Penthouse roof to penthouse interior drains are indicated.
		A201 – Building Elevations indicate extent of projecting bays.
		A204 – Building Section indicates extent of projecting bays.
		A208 - Building Section indicates extent of projecting bays.
		A501 – Exterior Sections indicate impervious canopy drainage is directed to interior of building rather than public way.
Planning and Sustainability Division	Please revise site plan to provide (8) short term bicycle spaces (only 6 spaces are shown). Please submit the Architectural plans to confirm the building projection dimensions in public space.	003 – Site Plan indicates (4) short term bike spaces on H Street and (4) short term bike spaces on 11 th Street. Street. Dimensions from curb to projecting bay at H Street NE provided as 12'-0 3/8" minimum, and 24'-10 1/8" at 11 th Street NE.



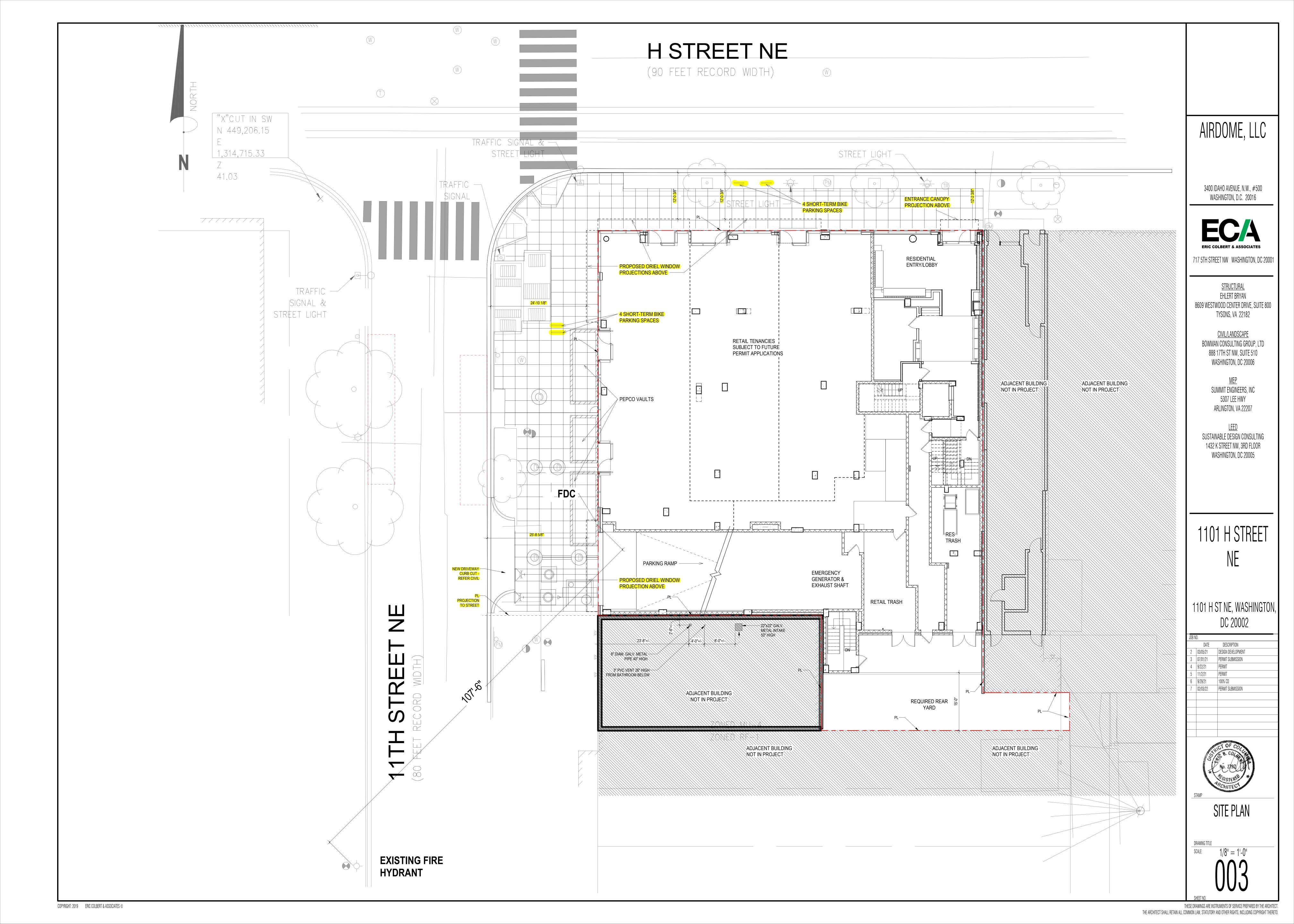
North Elevation of 1101 H Street.

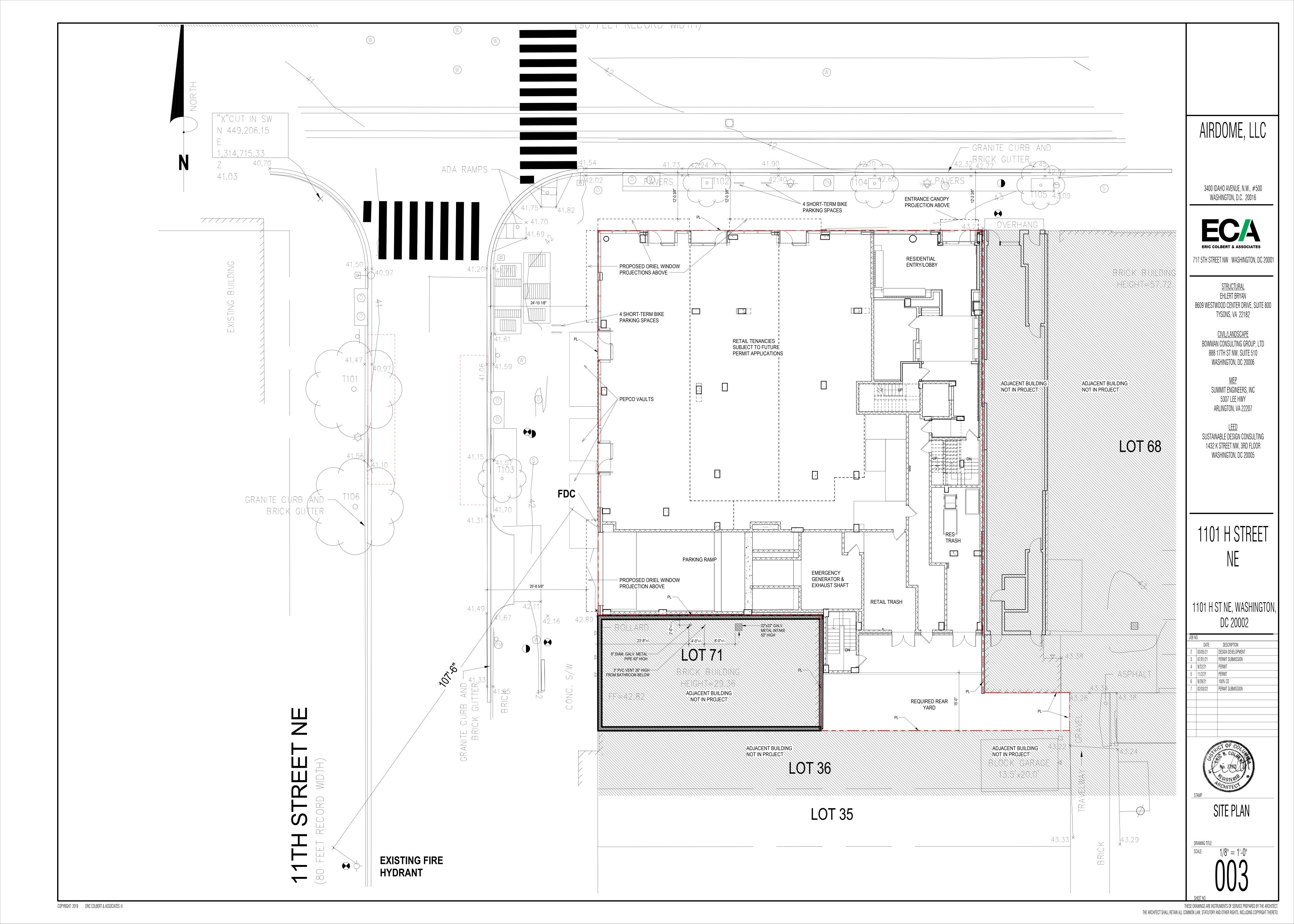


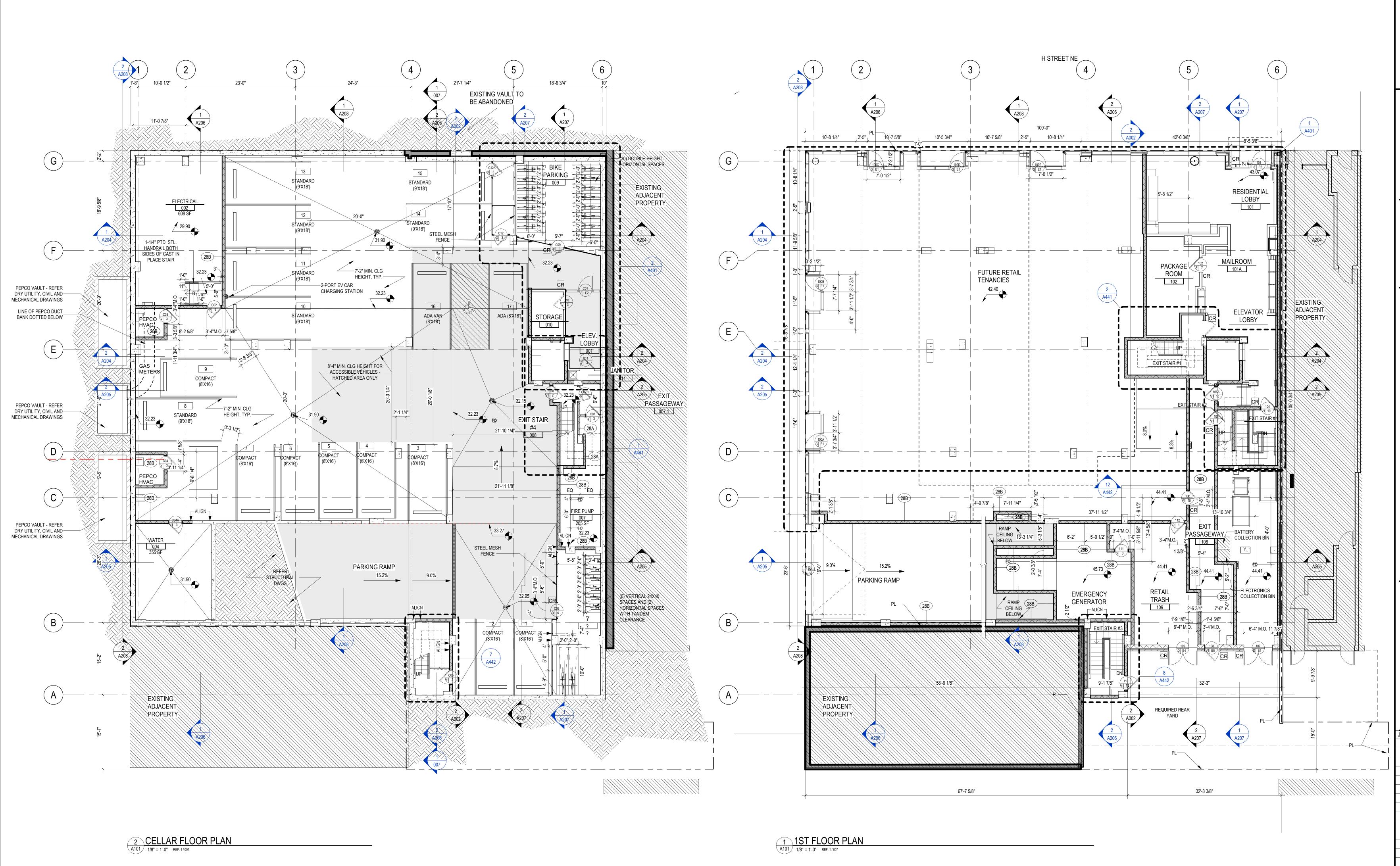
West Elevation 1101 H Street, NE.



South Elevation of 1101 H Street, NE







PLAN NOTES 1. REFER TO SHEET 005 FOR GENERAL NOTES AND CODE SUMMARY 2. REFER TO STRUCTURAL DRAWINGS FOR ALLOWED FLOOR PENETRATIONS

3. MISCELLANEOUS SMALL FLOOR PENETRATIONS ARE TO BE 2 HOUR RATED AS FOLLOWS (REFER LISTED UL DESIGN FOR FULL TYPE I CONSTRUCTION:

UL C0AJ-1556: MULTIPLE 3" MAX STEEL OR IRON PIP OR CONDUIT, 1" COPPER PIPE OR TUBE, 2" FLEXIBLE STEEL GAS PIPING IN A SLAB OPENING MAX 32 SQ IN.

UL C-AJ-3140: MULTIPLE ELECTRIC CABLES IN 8" DIA MAX SLAB OPENING

UL F-A-2026" SINGLE 6" OR SMALLER DIA PVC OR uPVC PIPE IN MAXIMUM 7" DIA SLAB PENETRATION TYPE III CONSTRUCTION:

LARGER/OTHER OPENINGS: REFER FLOOR NOTES, WALL TYPE TAGS AND DOOR SCHEDULE, MEP DRAWINGS FOR FIRE AND SMOKE DAMPERS, OR OTHERWISE MAINTAIN THE INTEGRITY OF REQUIRED FIRE AND SMOKE SEPARATIONS INDICATED ON THE CODE

SUMMARY/AS REQUIRED.

4. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER DC BC 2406.3. LABEL SAFETY GLAZING PER DC BC SECTION 2406. 5. ANSI A UNITS ARE IDENTIFIED AS ANSI A. IF A UNIT IS NOT TAGGED ANSI A, THEN THE UNIT IS ANSI B. REFER DRAWING 005 FOR ADDITIONAL ACCESSIBILITY NOTES.

6. REFER TO 4 SERIES DRAWINGS FOR ENLARGED PLANS AND FRAMING NOTES REGARDING TYPICAL DEMISING PARTITION TYPES AND DOOR LOCATIONS.

7. ROOFING: 2ND FLOOR: CLASS A HOT FLUID APPLIED MEMBRANE SYSTEM INSTALLED ON STRUCTURAL SLAB WITH BALLASTED 7" R35 RIGID INSULATION ABOVE. FOR BALLAST TYPICALLY REFER TO LANDSCAPE DRAWINGS. TYPICAL ROOFING: CLASS A FULLY ADHERED TPO ON 1/2" COVERBOARD ON SLOPED POLYISO INSULATION MECHANICALLY FASTENED TO SHEATHING. PROVIDE ADDITIONAL FINISHES OVER THE MEMBRANE WHERE INDICATED ON ARCHITECTURAL AND LANDSCAPE

8. SHADING INDICATES RATED WALLS. REFER A4 SERIES DRAWINGS FOR INFORMATION REGARDING INTERIOR RATED PARTITIONS. A. STRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #U349 AND UTILIZE FRT WOOD. REFER DETAIL 6/A502. B. STRUCTURAL MASONRY EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #U905. C. NONSTRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 0-HOUR RATING AND UTILIZE FRT WOOD. REFER DETAIL 5/A502.

3400 IDAHO AVENUE, N.W., #500 WASHINGTON, D.C. 20016



717 5TH STREET NW WASHINGTON, DC 20001

<u>STRUCTURAL</u> EHLERT BRYAN 8609 WESTWOOD CENTER DRIVE, SUITE 800 TYSONS, VA 22182

<u>CIVIL/LANDSCAPE</u> BOWMAN CONSULTING GROUP, LTD 888 17TH ST NW, SUITE 510

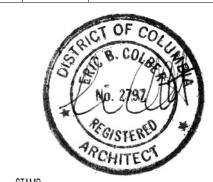
WASHINGTON, DC 20006

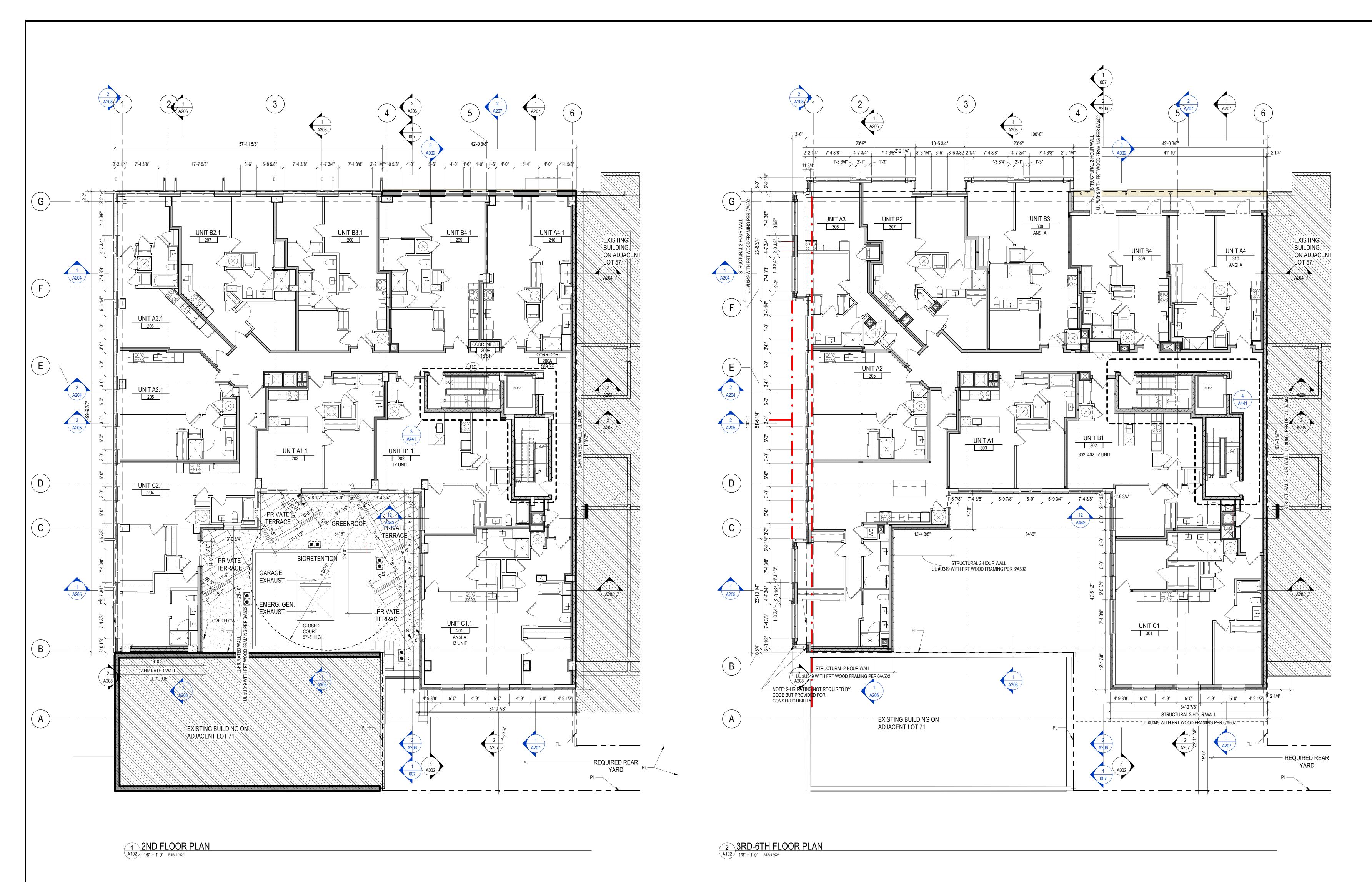
SUMMIT ENGINEERS, INC 5307 LEE HWY ARLINGTON, VA 22207

<u>LEED</u> SUSTAINABLE DESIGN CONSULTING 1432 K STREET NW, 3RD FLOOR WASHINGTON, DC 20005

1101 H ST NE, WASHINGTON, DC 20002

DESCRIPTION DESIGN DEVELOPMENT 03/05/21 PERMIT SUBMISSION 11/2/21 9/29/21 100% CD 02/03/22 PERMIT SUBMISSION





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AIRDOME, LLC

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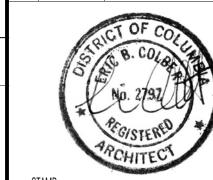
> WASHINGTON, DC 20006 SUMMIT ENGINEERS, INC

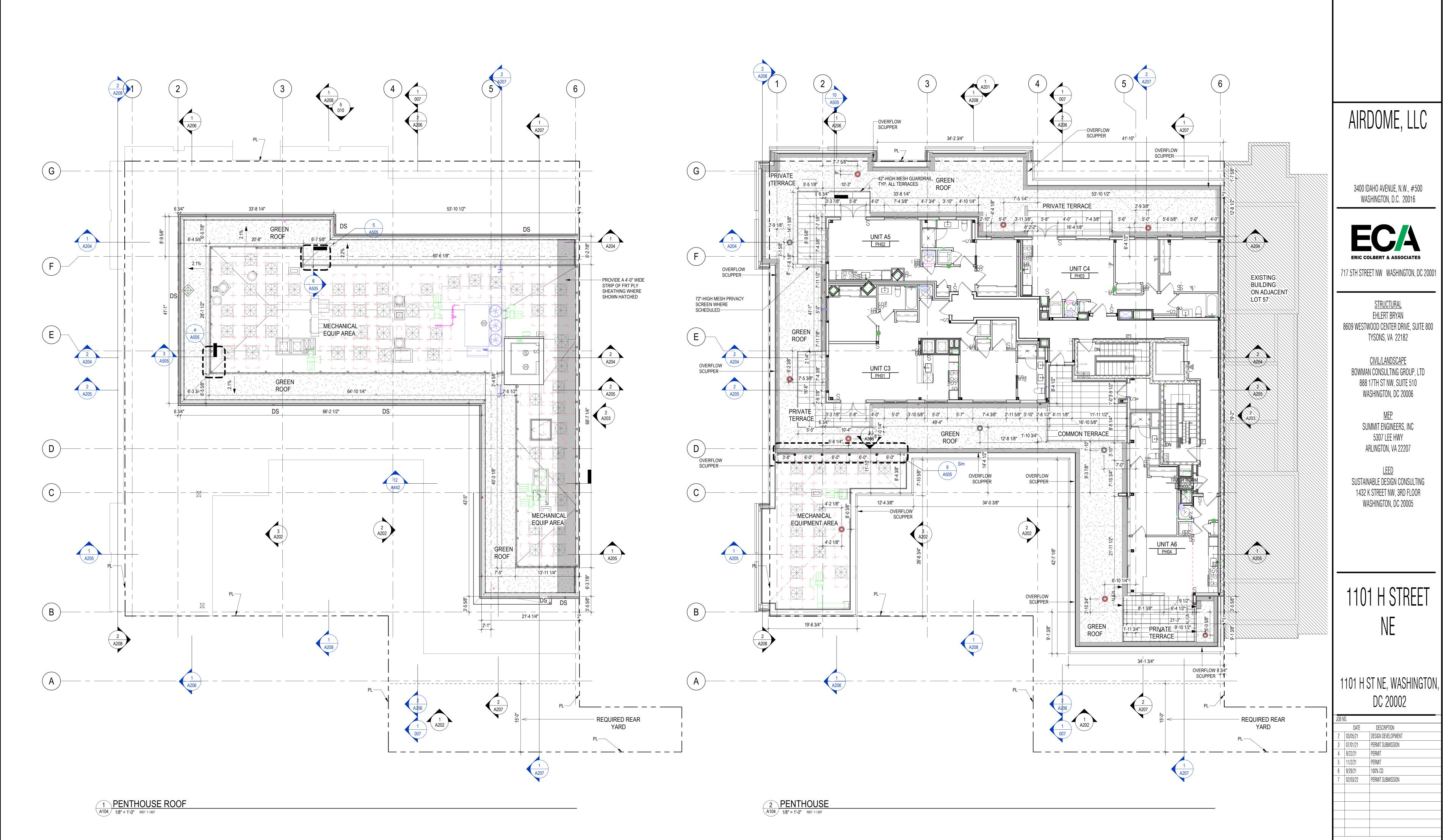
5307 LEE HWY ARLINGTON, VA 22207 <u>LEED</u>

SUSTAINABLE DESIGN CONSULTING 1432 K STREET NW, 3RD FLOOR WASHINGTON, DC 20005

1101 H ST NE, WASHINGTON, DC 20002

JOB N	0.	
	DATE	DESCRIPTION
2	03/05/21	DESIGN DEVELOPMENT
3	07/01/21	PERMIT SUBMISSION
4	9/22/21	PERMIT
5	11/2/21	PERMIT
6	9/29/21	100% CD
7	02/03/22	PERMIT SUBMISSION





ROOF AREAS

MAIN ROOF: 4180 SF VEGETATIVE ROOF (4" MIN. MEDIA) - 2115 SF PEDESTAL PAVER TERRACES - 805 SF FULLY ADHERED TPO - 735 SF PERIMETER BALLAST - 525 SF

PENTHOUSE ROOF: 4245 SF VEGETATIVE ROOF (4" MIN. MEDIA) - 1455 SF

FULLY ADHERED TPO - 2790 SF

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WASHINGTON, D.C. 20016

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TYSONS, VA 22182

<u>CIVIL/LANDSCAPE</u>

888 17TH ST NW, SUITE 510

WASHINGTON, DC 20006

SUMMIT ENGINEERS, INC

5307 LEE HWY

ARLINGTON, VA 22207

<u>LEED</u>

1432 K STREET NW, 3RD FLOOR

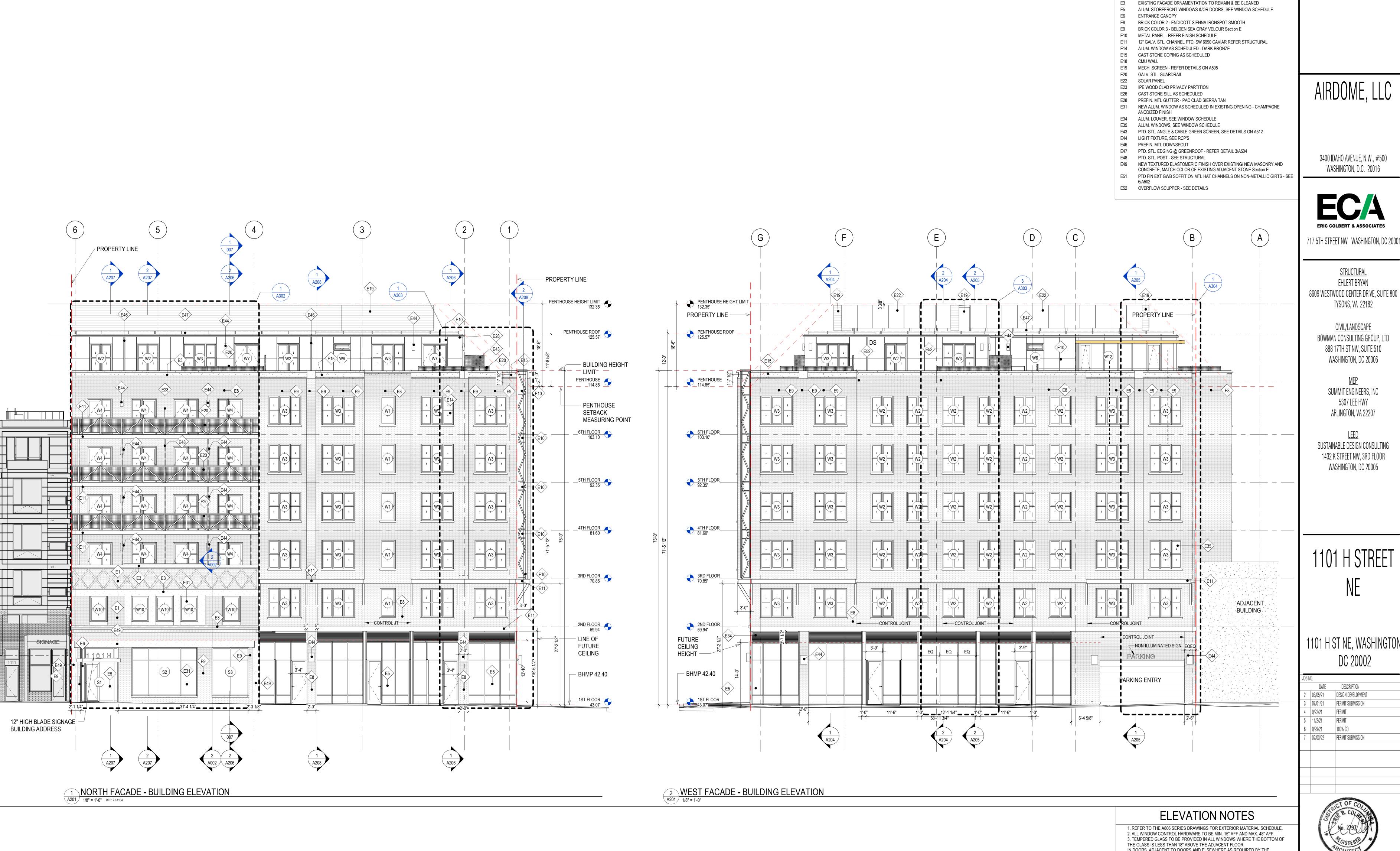
WASHINGTON, DC 20005

DC 20002

DESCRIPTION DESIGN DEVELOPMENT

PERMIT SUBMISSION

100% CD



IN DOORS, ADJACENT TO DOORS AND ELSEWHERE AS REQUIRED BY THE BUILDING CODE. SEE DCBC SEC. 2406 4. PROVIDE LOUVERS WHERE SHOWN. LOUVERS SHALL BE 4" DEEP 50% FREE AREA. PROVIDE INSULATED BLANKING PANELS ON RETAIL FRONTAGE. GARAGE OUTSIDE AIR LOUVERS SHALL BE HAVE INSECT MESH. LOUVERS IN PUNCHED OPENINGS ARE SHOWN IN THE LOUVER SCHEDULE ON DRAWING A8 5. ROOF AND ACCESSORIES SHALL BE ASSEMBLED IN ACCORDANCE WITH SMACNATRB #5-09 AND #1-08 AND THE SMACNA MANUAL TO ES-1 2003 FOR THE WIND UPLIFTLOADS INDICATED ON STRUCTURAL DRAWINGS 6. PROVIDE EXPANSION JOINTS IN BRICKWORK AS FOLLOWS: INTERNAL CORNERS AND AT A MINIMUM OF 20' O.C. VERTICALLY. PROVIDE A VERTICAL EXPANSION JOINT ON AT LEAST ONE SIDE OF WINDOW/DOOR OPENINGS 7. PROVIDE SCREENS AT ALL OPERABLE WINDOW UNITS.

ELEVATION KEYNOTES

EXISTING BRICK FACADE TO REMAIN; CLEAN & REPAIR AS NECESSARY

EXISTING BRICK SILL TO REMAIN

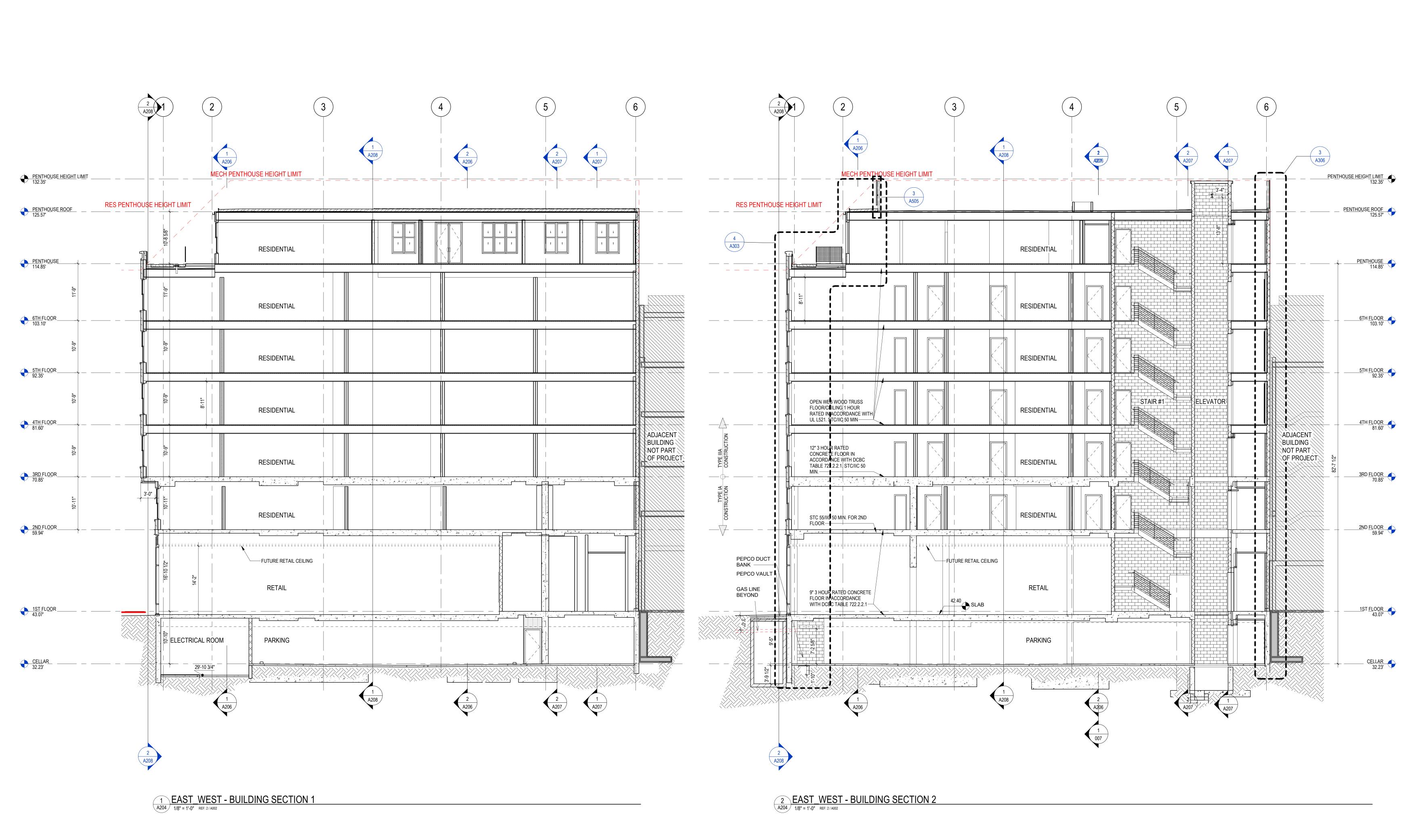
3400 IDAHO AVENUE, N.W., #500



717 5TH STREET NW WASHINGTON, DC 20001

1101 H ST NE, WASHINGTON,





Construction Narrative:

Fully adhered 0.60 TPO roofing on 1/2" Densdeck Prime on tapered rigid insulation on plywood sheathing. Wood trusses per structural drawings. Fill roof cavity with mineral wool insulation in accordance with NFPA requirements for combustible voids. Install Certainteed Membrain smart vapor barrier above ceiling GWB and seal at perimeter and penetrations (eg ligth fixtures and electrical devices). Concrete pavers on adjustable pedestals where shown at occupied terraces. Green Roof areas: extensive green roofing systems installed over the roof membrane per the GAR drawings. Mechanical areas: install TPO maintenance strips\ where required for mechanical equipment maintenance.

Lower Roofs (Concrete slab); Concrete Pavers on pedestals or intensive green roof ballast over R35 rigid insulation over Hot Fluid Applied roofing membrane (eg Henry 791 system) installed on concrete slab.

JamesHardie Reveal2.0 Panel Vertical Siding with countersunk screws on 1/16" EPDM over 2" vertical non-metallic Z-girts over fluid applied vapor permeable air-weather barrier (eg Henry Air-Bloc 33MR with Blueskin Breather transition flashings) sheathing on FRT wood framing per structural drawings. Install 1" continuous mineral wool insulation in cavity. Fill wall framing cavity with R21 high density fiberglass batt insulation. Line interior with 5/8" GWB paint finished; two layers of GWB required at rated exerior walls.

Upper building walls (wood framing): Brick on sst brick ties. Approx. 3" cavity with 1" continuous mineral wool insulation; fluid applied vapor permeable air-weather barrier (eg Henry Air-Bloc 33MR with Blueskin Breather transition flashings) on reinforced gypsum sheathing over sheathing over sheathing on FRT wood framing per structural drawings. Fill wall framing cavity with R21 highh density fiberglass batt insulation. Line interior with 5/8" GWB paint finished (structural/fire rated walls will require two layers). Window opening headers galv. loose lintels with lipped brick

Lower building walls (light gauge steel framing): Brick on sst brick ties, supported by galv shelf angles attached to concrete structure. Galv loose lintel headers at openings with lipped brick. Approx. 3" cavity with 1" continuous mineral wool insulation, fluid applied vapor permeable air-weather barrier (eg Henry Air-Bloc 33MR with Blueskin Breather transition flashings) on reinforced gypsum sheathing

over sheathing on light guage framing per structural drawings. Fill wall framing cavity with R21 high density fiberglass batt insulation. Line interior with 5/8" GWB paint finished. Bay Projection soffits: Paint finished exterior GWB **Windows:** thermally broken commercial powder coated aluminum single-hung windows with nailing fin.

Retail tenancies: Cold dark shell. Powder coated glazed thermally broken curtain wall installed between brick veneer as described in 'Lower Building Walls' or existing openings. Metal panel cladding at first floor existing building where original brick has been removed.

Upper Building Floor/Ceiling systems (wood truss floor framing):

1 hour rated 50STC/IIC Minimum. Floor finish (engineered wood typically, ceramic tile at bathrooms) over 1" Gypcrete over 3/8" SRM on span-rated 3/4" ply sheathing over engineered wood truss system per structural drawings. Fill cavity with mineral wool insulation in accordance with NFPA 13 requirements for combustible voids. Paint finished 5/8" type X GWB ceiling on resilient channels at 12" o.c. Lower Building floor/Ceiling systems for residential areas (concrete slab floors):

3 hour rated STC/IIC 50 minimum. Floor/ceiling between First Floor retail tenancies and residential units shall be STC 55 and field tested to STC 50. Engineered wood and underlay finish with delta IIC rating of 25; ceramic tile installation system with delta IIC of 20. Lowered gwb ceilings with paint finish on suspended light gauge ceiling framing system where indicated, exposed concrete ceilings skim coated and paint finished.

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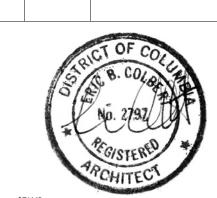
BOWMAN CONSULTING GROUP, LTD 888 17TH ST NW, SUITE 510 WASHINGTON, DC 20006

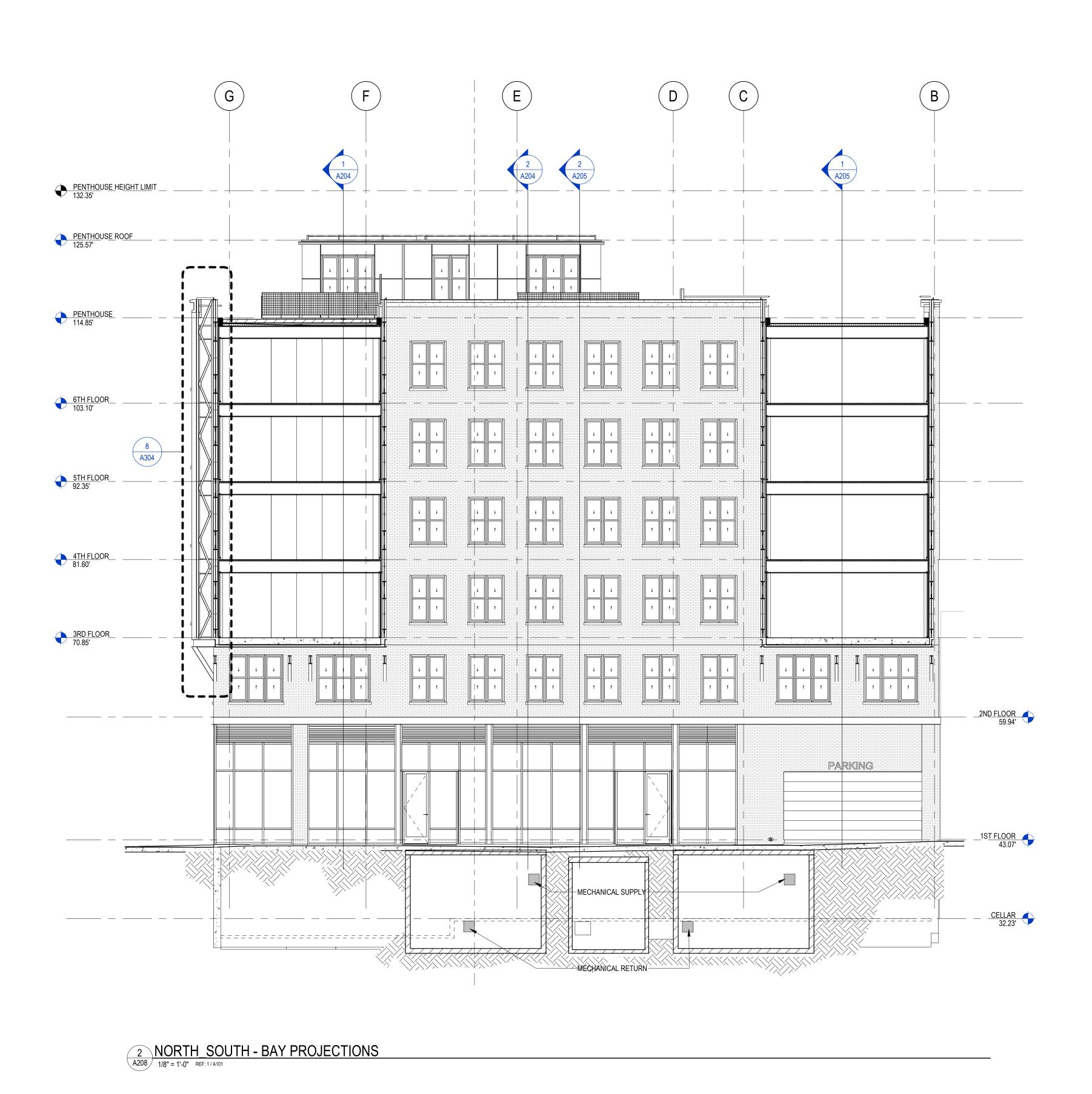
SUMMIT ENGINEERS, INC 5307 LEE HWY ARLINGTON, VA 22207

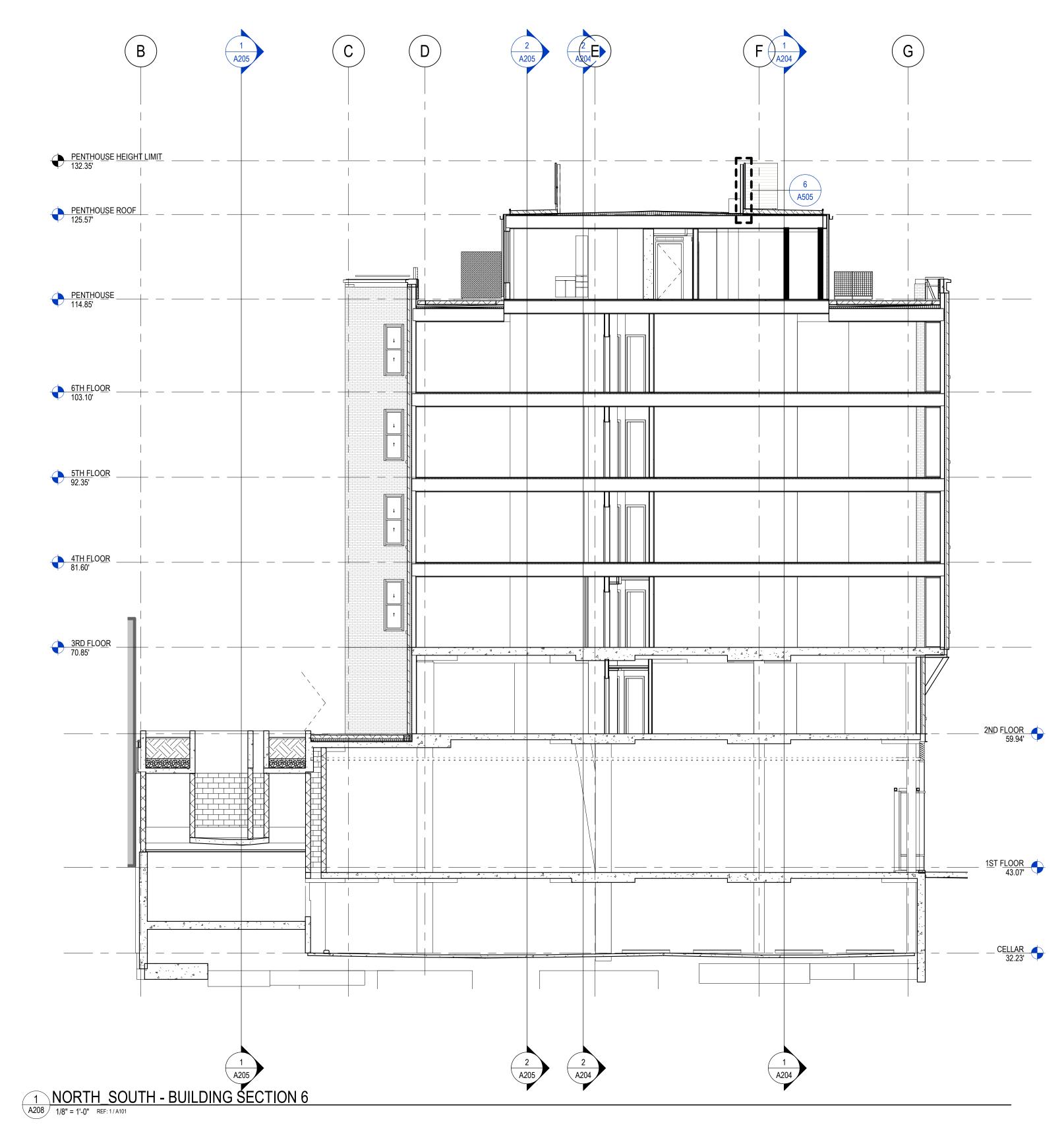
<u>LEED</u> SUSTAINABLE DESIGN CONSULTING 1432 K STREET NW, 3RD FLOOR WASHINGTON, DC 20005

1101 H ST NE, WASHINGTON, DC 20002

DATE DESCRIPTION DESIGN DEVELOPMENT 07/01/21 PERMIT SUBMISSION 9/22/21 11/2/21 9/29/21 100% CD 02/03/22 PERMIT SUBMISSION







AIRDOME, LLC

3400 IDAHO AVENUE, N.W., #500 WASHINGTON, D.C. 20016



717 5TH STREET NW WASHINGTON, DC 20001

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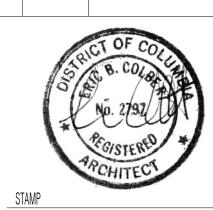
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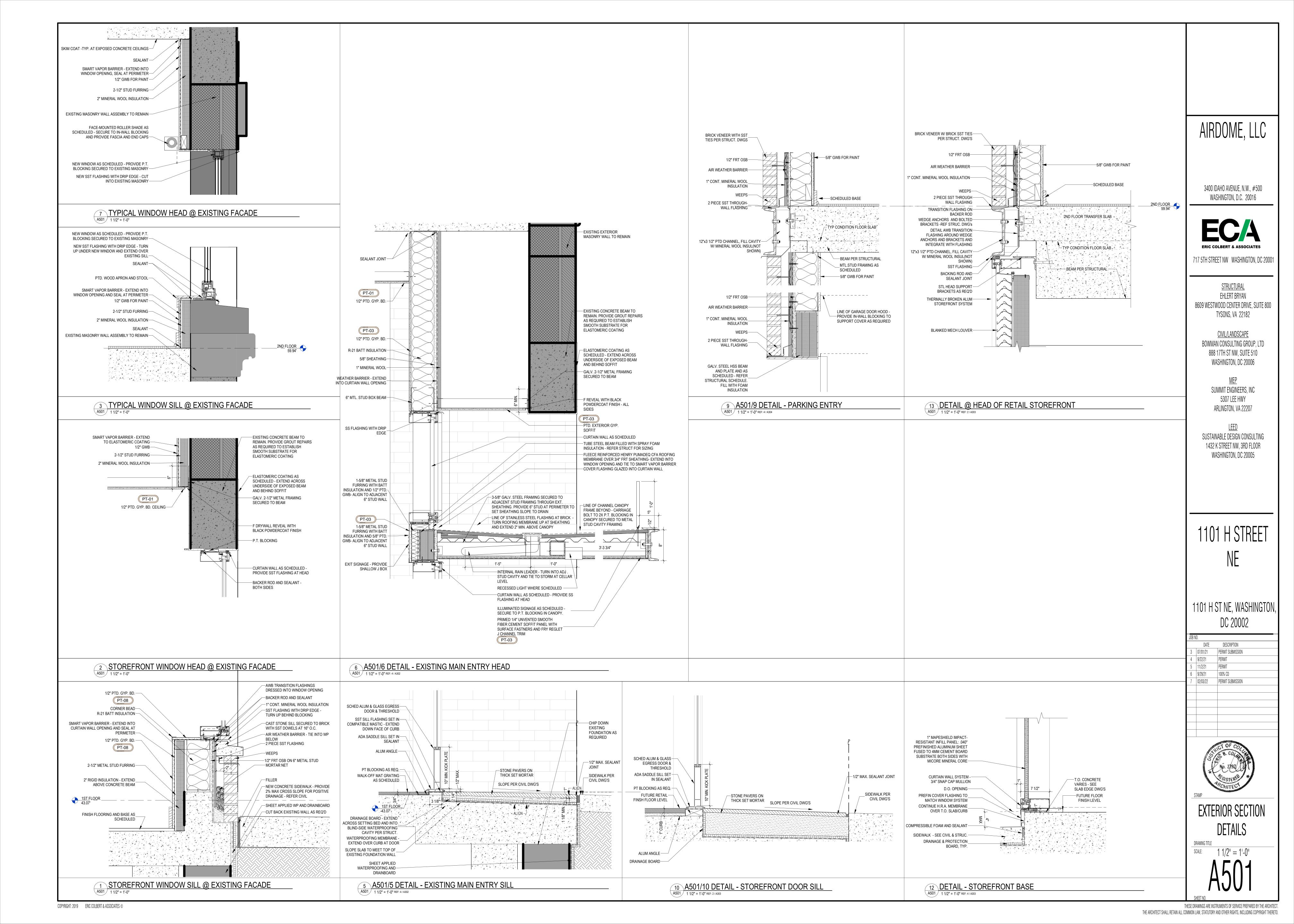
<u>LEED</u> SUSTAINABLE DESIGN CONSULTING 1432 K STREET NW, 3RD FLOOR WASHINGTON, DC 20005

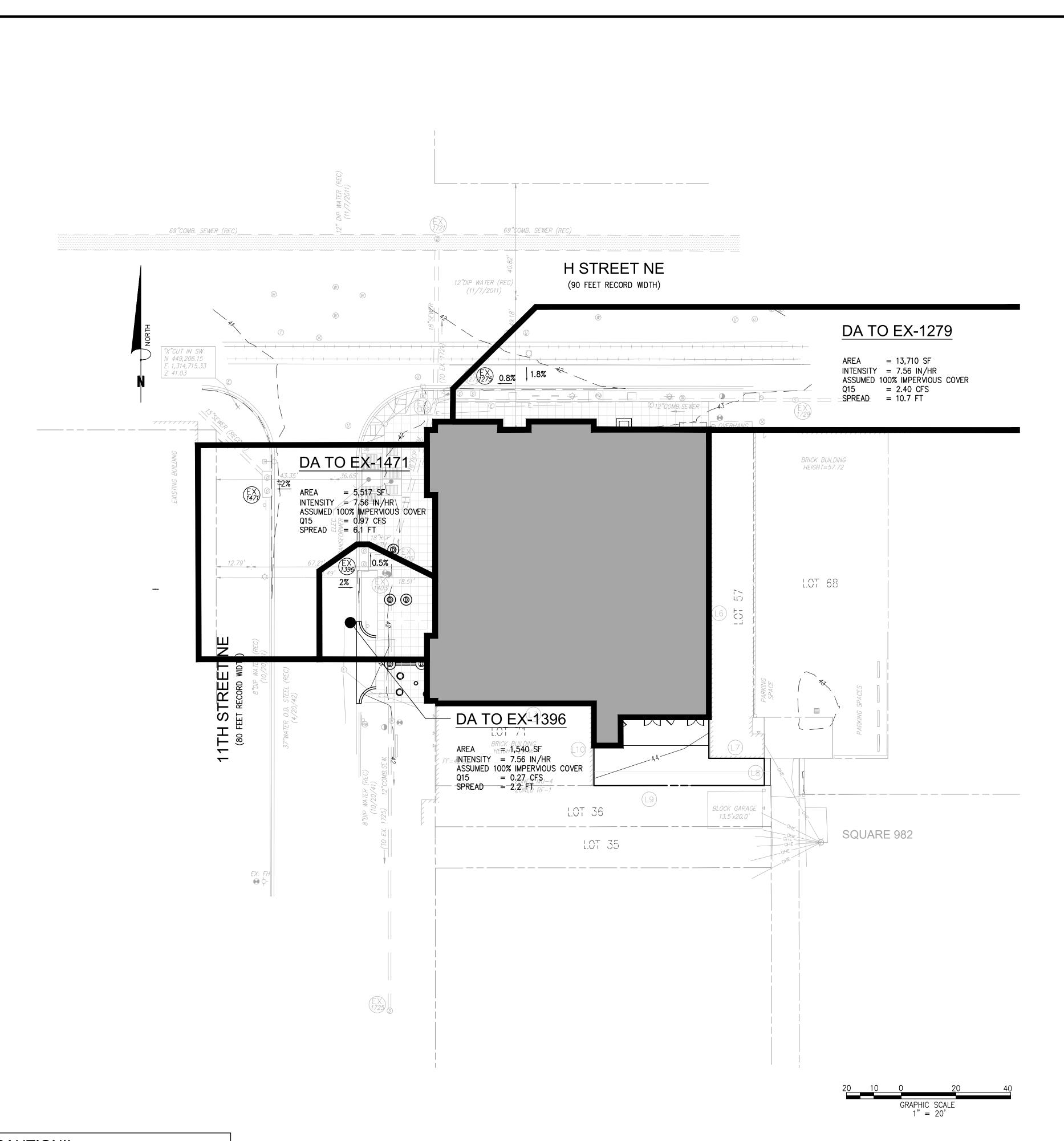
1101 H STREET

1101 H ST NE, WASHINGTON, DC 20002

JOB N	0.	
	DATE	DESCRIPTION
4	9/22/21	PERMIT
5	11/2/21	PERMIT
6	9/29/21	100% CD
7	02/03/22	PERMIT SUBMISSION







DRAINAGE AREAS:

SELF-CONTAINED WITHIN PRIVATE PROPERTY

EX-1471 Gutter Total Depression 0.8 90.00 2.2

		EX-139	6 & EX-12	79	
Label	Solve For	Efficiency (%)	Curb Opening Length (ft)	Local Depression (in)	Local Depression Width (in)
EX-1396	Efficiency	99.99	8.0	0.0	0.0
EX-1279	Efficiency	64.74	8.0	0.0	0.0
Discharge (cfs)	Slope (ft/ft)	Gutter Width (ft)	Gutter Cross Slope (ft/ft)	Road Cross Slope (ft/ft)	Manning Coefficient
0.27	0.050	1.00	0.083	0.020	0.015
2.40	0.008	1.00	0.083	0.018	0.015
Intercepted Flow (cfs)	Bypass Flow (cfs)	Spread (ft)	Depth (in)	Flow Area (ft²)	Gutter Depression (in)
0.27	0.00	2.2	1.3	0.1	0.8
1.55	0.85	10.7	3.1	1.1	0.8
Total Depression (in)	Velocity (ft/s)	Equivalent Cross Slope (ft/ft)	Length Factor	Total Interception Length (ft)	Notes
0.8	3.41	0.079	0.993	8.1	
0.8	2.25	0.036	0.440	18.2	
Messages					

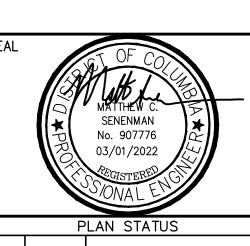
Bentley Systems, Inc. Haestad Methods Solution Center 27 Siemon Company Drive Suite 200 W Watertown, CT 06795 USA +1-203-755-1666 [10.03.00.03]

NOTE

PUBLIC STORM DRAIN EXISTS WITHIN H STREET NE AND 11TH STREET NE. THERE IS NO PUBLIC STORM DRAIN SYSTEM WITHIN THE PRIVATE ALLEY IN THE REAR.

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		03/01/2022	
		SONAL EN	
		PLAN STATUS	<u> </u>
2	9/22/21	PERMIT	
1	2/24/21	DESIGN DEVEL	OPMENT
NO.	DATE	DESCRIPTION	٧
٨	1CS	JNC	MCS
DE	SIGN	DRAWN	CHKD
SCAL	-E		AS SHOWN
JOB	No.	1301	33-01-001
DATE		SEPTE	MBER, 2021
FILE	No.		
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SHEE.	l	<u> </u>	v 0200

CAUTION!!

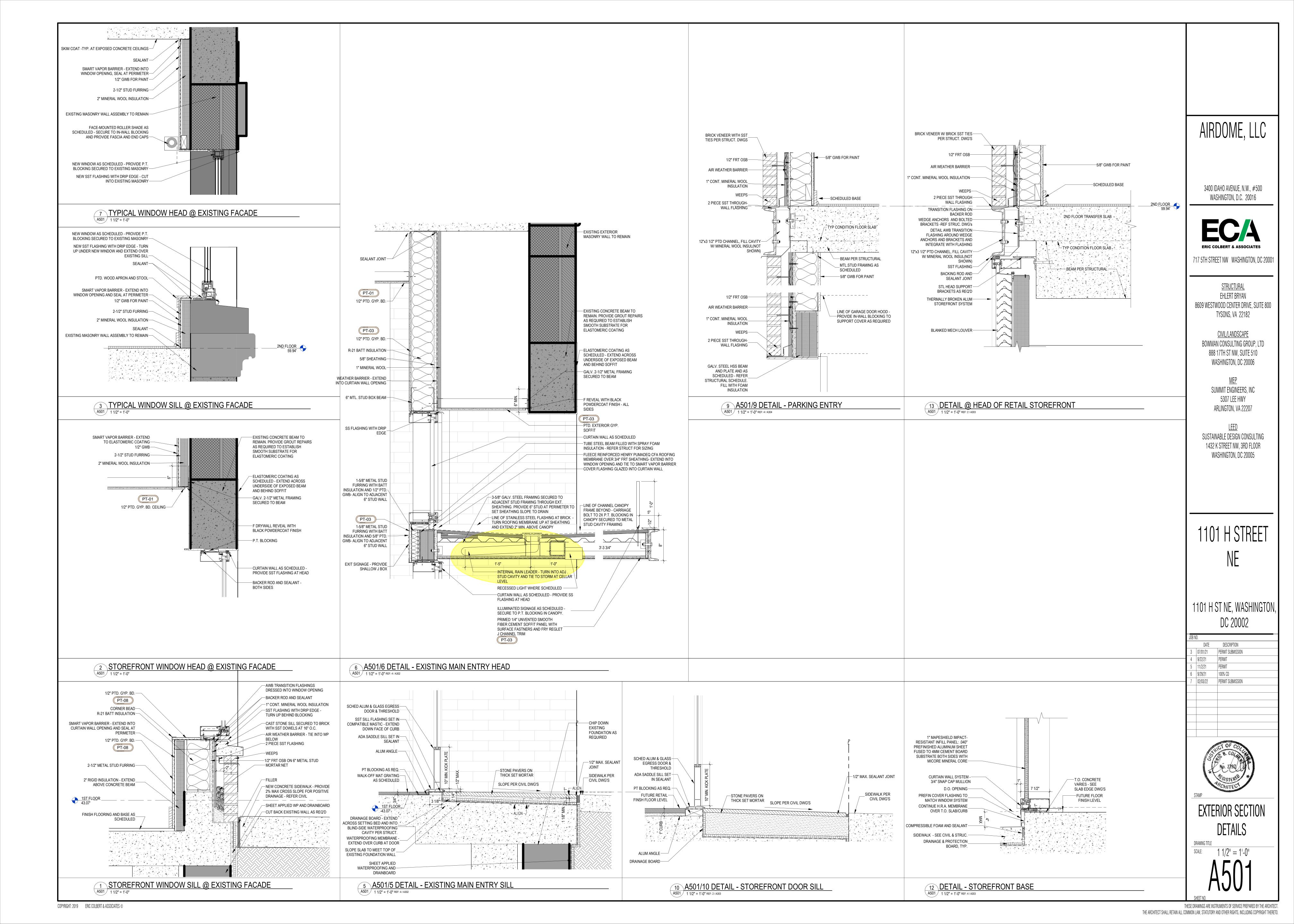
THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS)

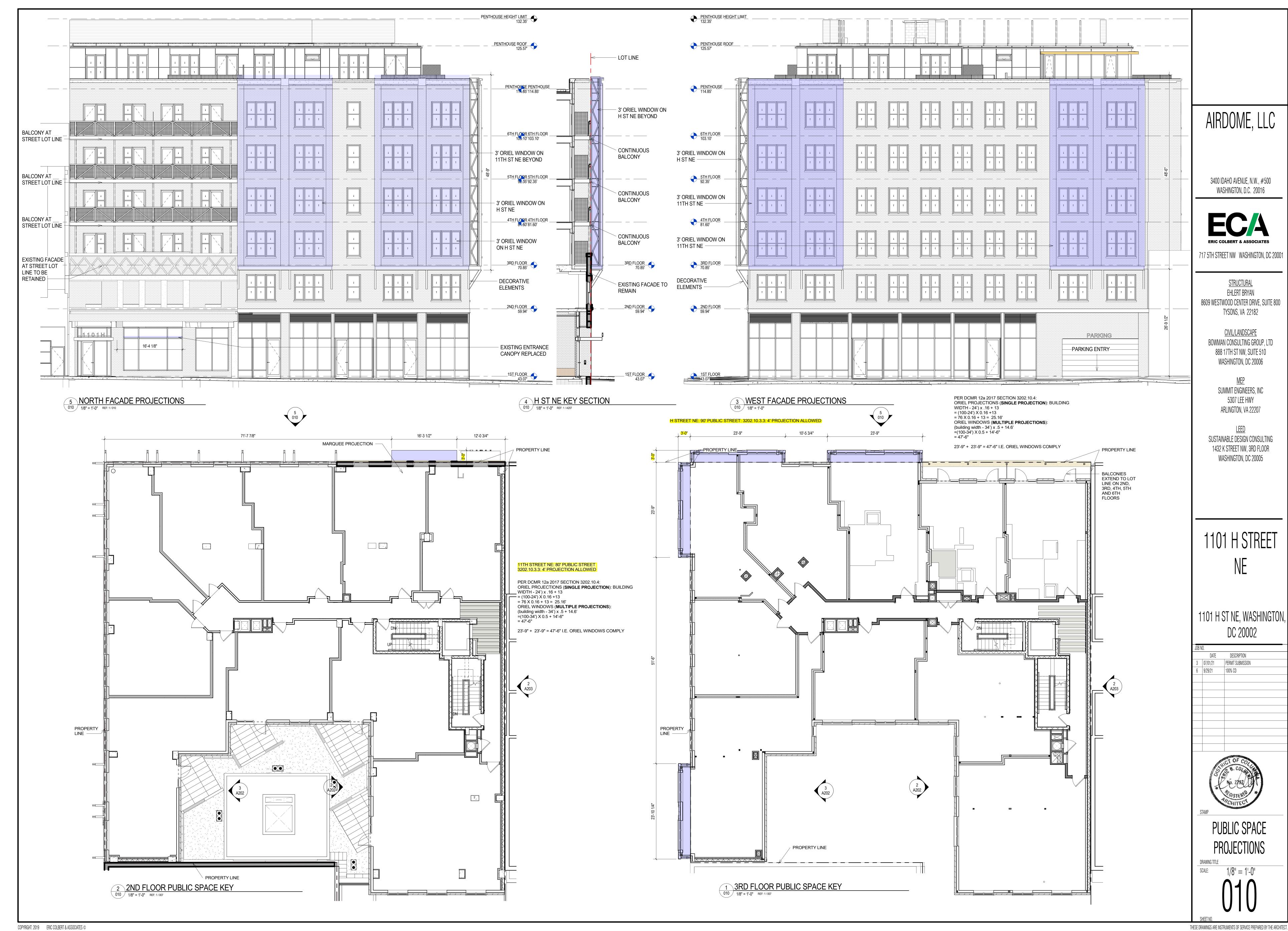
CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF

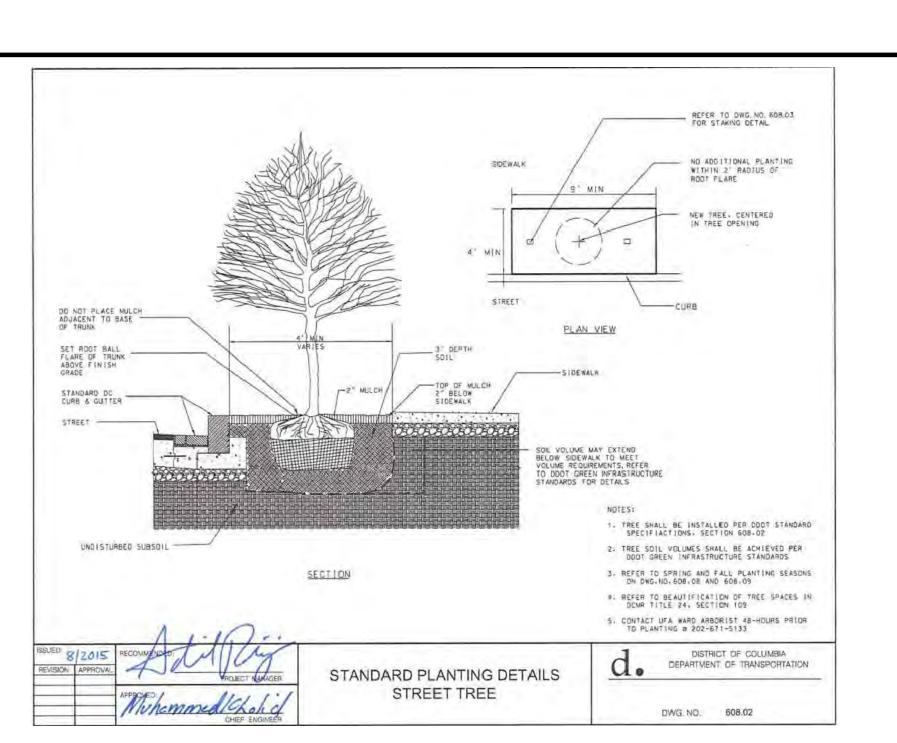
MISS UTILITY

ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

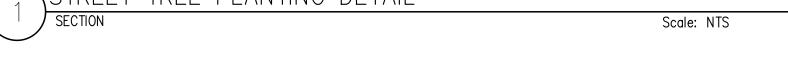
COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS. COLUMBIA CODES AND REGULATIONS.

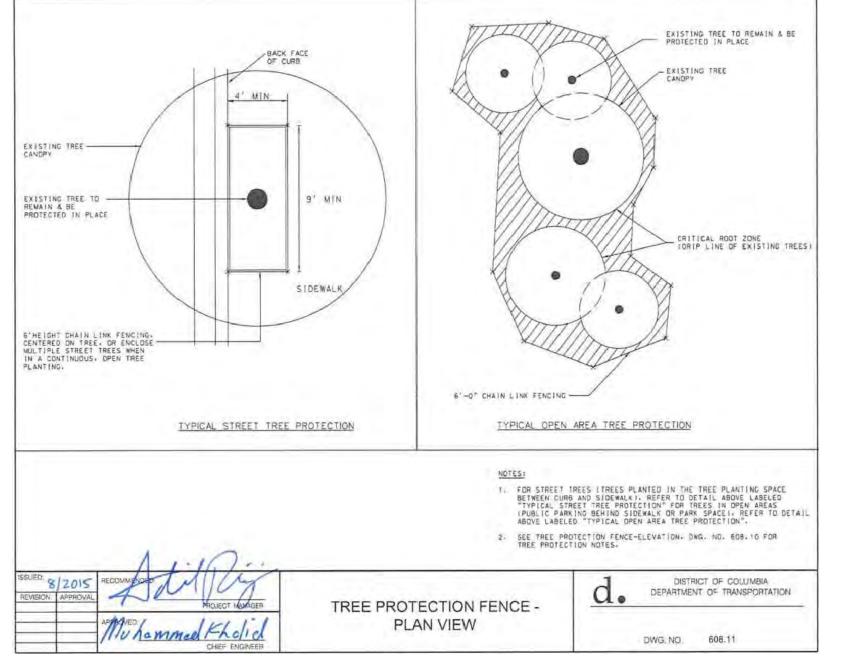








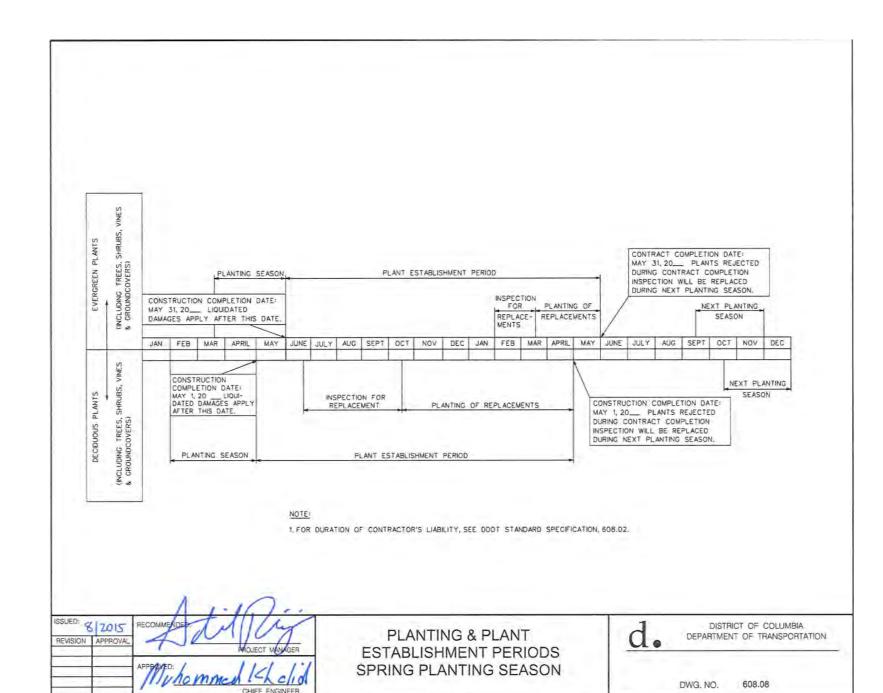




NTS

Scale: NTS



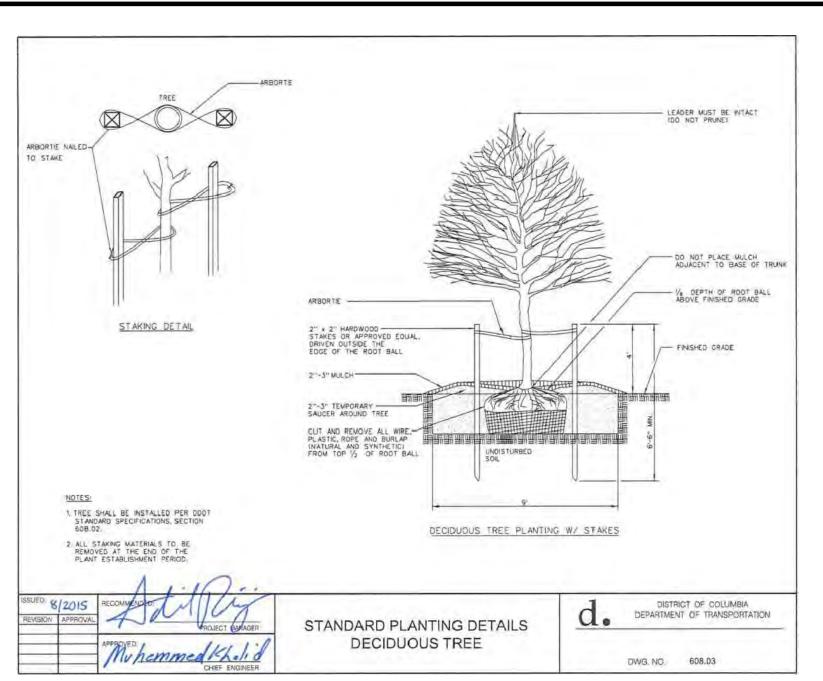


SPRING PLANTING SEASON DETAIL

CAUTION!!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF

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ECIDUOUS TREE PLANTING DETAIL

TREE PROTECTION

2. ROOT PROTECTION MATTING SHALL BE INSTALLED BY A CERTIFIED ARBORIST,

3. TO BE USED FOR DESIGNATED TEMPORARY CONSTRUCTION ACCESS AND STOCKPILE AREAS.

4. MATTING SHALL BE PLACED ON 6' WOOD CHIP MULCH UNLESS OTHERWISE DIRECTED. 5. FOR HEAVY TRAFFIC AREAS, MATTING SHALL BE COVERED WITH STEEL PLATES.

TREE ROOT PROTECTION

W/SILT FENCE

- EXISTING GRADE

Scale: NTS

TREE PROTECTION FENCE ISEE DWG NO. 608.10)

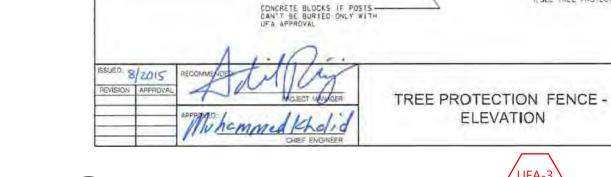
— SILT FENCE TO BE INSTALLED ON GRADE WITH NO TRENCH MATTING TO BE INSTALLED OVER SILT FABRIC AND ANCHORED BY MINIMUM 12" LANDSCAPE NALS 912' OC. SECOND LAYER OF SILT FABRIC TO BE INSTALLED ON TOP OF MATTING.

DISTRICT OF COLUMBIA
DEPARTMENT OF TRANSPORTATION

DWG..NO: 608.12

5" WOOD CHIP WULCH







TREE PROTECTION NOTES

FOOT TALL CHAIN LINK FENCING ON ALL SIDES.
FENCING PRIOR TO AND MAINTAIN THROUGHOUT CONSTRUCTION, REMOVING ONLY
END OF THE PROJECT.

AT THE END OF THE PROJECT.

FENDING SHALL PROFICET AN AREA NO SMALLER THAN FOUR (A) FEET BY NIME 19) FEET.

CENTERED ON THE THEE, OR ENCLOSE MULTIPLE STREET TREES WHEN IN A CONTINUOUS,

OPEN TREE PLANTING SPACE AND SITE ACCESS ALLOWS.

FENCING SHALL HAVE VERTICAL AND HORIZONTAL SUPPORT RAILINGS TO

DECREASE FLEXIBILITY AND PREVENT SAGGING.

FENCE POSTS SHALL BE ANCHORED IN THE DROUND TO PREVENT MOVEMENT

AND PROVIDE A SECURE BARRIER.

A MINIMUM OF TWO (2) DODITUFA STANDARD TREE PRESERVATION SIGNS SHALL BE

MOUNTED ON THE FENCE OF EACH ENCLOSED TREE PROTECTION AREA.

3. EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CASE BY USE OF HAND TOOLS. THE DRIPLINE IS DEFINED AS THE GROUND AREA UNDER THE CANDRY OF THE TREE. 4, NO ROOTS LARGER THAN TWO (2) INCHES IN DIAMETER ARE TO BE OUT WITHOUT UFA

S. EXPOSED ROOTS TWO (2) INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BURLAP OR OTHER APPROVED MATERIAL AND KEPT MOIST AT ALL TIMES.

7. SECTION 608.07 + TREE PROTECTION AND 608.08 + TREE ROOT PRIDECTION OF THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES WILL APPLY SHOULD ANY DAMAGE OCCUR TO THE EXISTING STREET TREES.

6 TREES THAT ARE PROTECTED ARE TO BE WATERED EVERY TEN (10) DAYS FROM APRIL THROUGH SEPTEMBER.

B ANY FINES RELATED TO DAMAGE TO A STREET TREE ON & JOB SITE SHALL BE THE RESPONSIBILITY OF THE PERMIT HOLDER. 9. FOR MYY QUESTIONS, CALL DOOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133.

I, SEE TREE PROTECTION FENCE - PLAN, DWG. NO. 508.11

DWG NO 608.10

DISTRICT OF COLUMBIA
DEPARTMENT OF TRANSPORTATION

PLANT ESTABLISHMENT PERIOD CONSTRUCTION COMPLETION DATE: NOV. 30, 20 LIQUIDATED DAMAGES APPLY AFTER THIS DATE. AUG SEPT OCT NOV DEC JAN FEB MAR APRIL MAY JUNE JULY AUG SEPT OCT NOV DEC JAN FEB MAR APRIL MAY JUNE CONTRACT COMPLETION DATE:
DEC. 31, 20 PLANTS REJECTED
DURING CONTRACT COMPLETION
INSPECTION WILL BE REPLACED
DURING NEXT PLANTING SEASON. CONSTRUCTION COMPLETION DATE: DEC. 31, 20 ___ LIQUIDATED DAMAGES APPLY AFTER THIS DATE. PLANTING SEASON PLANT ESTABLISHMENT PERIOD

1. FOR DURATION OF CONTRACTOR'S LIABILITY, SEE DOOT STANDARD SPECIFICATION, 608.02.

DISTRICT OF COLUMBIA PLANTING & PLANT ESTABLISHMENT PERIODS FALL PLANTING SEASON

DEPARTMENT OF TRANSPORTATION DWG, NO, 608.09

FALL PLANTING SEASON DETAIL

SCHEDULE

Scale: NTS

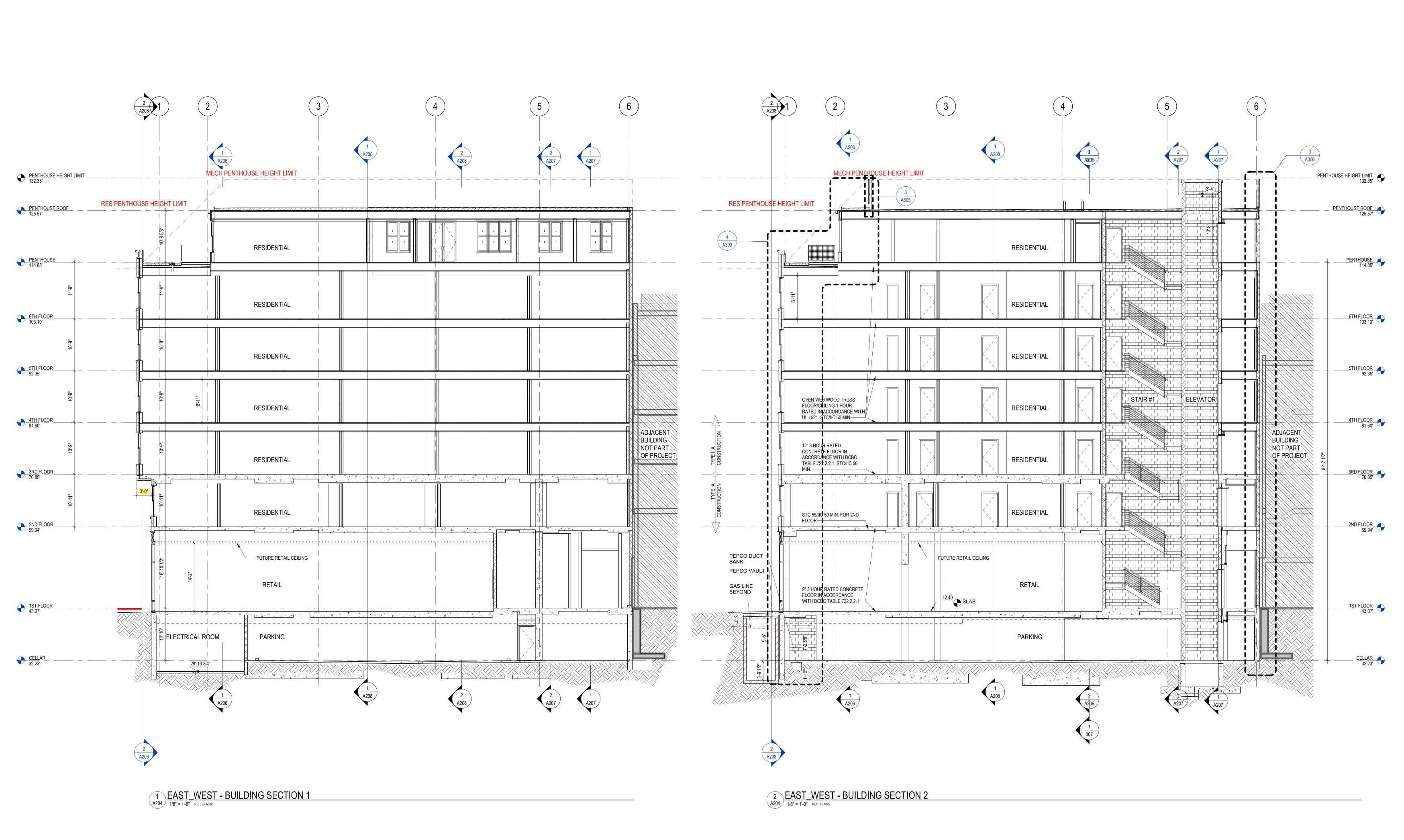
DESIGNS INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA" I HAVE PERSONALLY PREPARED. OR DIRECTLY

SUPERVISED THE DEVELOPMENT OF THE ENGINEERING DESIGN INCLUDED IN THIS APPLICATION. PLAN STATUS 6/15/21 DOEE 1ST SUBMISSION
10/15/21 DOEE 2ND SUBMISSION

NO. DATE DESCRIPTION BGH/GDE DESIGN DRAWN CHKD 130133-01-00

OCTOBER, 202 L0420

THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION. COLUMBIA CODES AND REGULATIONS. Cad file name: V: \130133 - 1101-1107 H Street NE\130133-01-001 (ENG) - 1101-1107 H Street NE\Engineering\Engineering\Engineering Plans\GAR set\130133-L0400.dwg 10/15/2021



Construction Narrative:

Fully adhered 0.60 TPO roofing on 1/2" Densdeck Prime on tapered rigid insulation on plywood sheathing. Wood trusses per structural drawings. Fill roof cavity with mineral wool insulation in accordance with NFPA requirements for combustible voids. Install Certainteed Membrain smart vapor barrier above ceiling GWB and seal at perimeter and penetrations (eg ligth fixtures and electrical devices). Concrete pavers on adjustable pedestals where shown at occupied terraces. Green Roof areas: extensive green roofing systems installed over the roof membrane per the GAR drawings. Mechanical areas: install TPO maintenance strips\ where required for mechanical equipment maintenance.

Lower Roofs (Concrete slab); Concrete Pavers on pedestals or intensive green roof ballast over R35 rigid insulation over Hot Fluid Applied roofing membrane (eg Henry 791 system) installed on concrete slab.

JamesHardie Reveal2.0 Panel Vertical Siding with countersunk screws on 1/16" EPDM over 2" vertical non-metallic Z-girts over fluid applied vapor permeable air-weather barrier (eg Henry Air-Bloc 33MR with Blueskin Breather transition flashings) sheathing on FRT wood framing per structural drawings. Install 1" continuous mineral wool insulation in cavity. Fill wall framing cavity with R21 high density fiberglass batt insulation. Line interior with 5/8" GWB paint finished; two layers of GWB required at rated exerior walls.

Upper building walls (wood framing): Brick on sst brick ties. Approx. 3" cavity with 1" continuous mineral wool insulation; fluid applied vapor permeable air-weather barrier (eg Henry Air-Bloc 33MR with Blueskin Breather transition flashings) on reinforced gypsum sheathing over sheathing over sheathing on FRT wood framing per structural drawings. Fill wall framing cavity with R21 highh density fiberglass batt insulation. Line interior with 5/8" GWB paint finished (structural/fire rated walls will require two layers). Window opening headers galv. loose lintels with lipped brick

Lower building walls (light gauge steel framing): Brick on sst brick ties, supported by galv shelf angles attached to concrete structure. Galv loose lintel headers at openings with lipped brick. Approx. 3" cavity with 1" continuous mineral wool insulation, fluid applied vapor permeable air-weather barrier (eg Henry Air-Bloc 33MR with Blueskin Breather transition flashings) on reinforced gypsum sheathing over sheathing on light guage framing per structural drawings. Fill wall framing cavity with R21 high density fiberglass batt insulation. Line interior with 5/8" GWB paint finished. Bay Projection soffits: Paint finished exterior GWB

Windows: thermally broken commercial powder coated aluminum single-hung windows with nailing fin.

Retail tenancies: Cold dark shell. Powder coated glazed thermally broken curtain wall installed between brick veneer as described in 'Lower Building Walls' or existing openings. Metal panel cladding at first floor existing building where original brick has been removed.

Upper Building Floor/Ceiling systems (wood truss floor framing):

where indicated, exposed concrete ceilings skim coated and paint finished.

1 hour rated 50STC/IIC Minimum. Floor finish (engineered wood typically, ceramic tile at bathrooms) over 1" Gypcrete over 3/8" SRM on span-rated 3/4" ply sheathing over engineered wood truss system per structural drawings. Fill cavity with mineral wool insulation in accordance with NFPA 13 requirements for combustible voids. Paint finished 5/8" type X GWB ceiling on resilient channels at 12" o.c.

Lower Building floor/Ceiling systems for residential areas (concrete slab floors): 3 hour rated STC/IIC 50 minimum. Floor/ceiling between First Floor retail tenancies and residential units shall be STC 55 and field tested to STC 50. Engineered wood and underlay finish with delta IIC rating of 25; ceramic tile installation system with delta IIC of 20. Lowered gwb ceilings with paint finish on suspended light gauge ceiling framing system

AIRDOME, LLC

3400 IDAHO AVENUE, N.W., #500 WASHINGTON, D.C. 20016



717 5TH STREET NW WASHINGTON, DC 20001

<u>STRUCTURAL</u> EHLERT BRYAN 8609 WESTWOOD CENTER DRIVE, SUITE 800

TYSONS, VA 22182 <u>CIVIL/LANDSCAPE</u> BOWMAN CONSULTING GROUP, LTD 888 17TH ST NW, SUITE 510

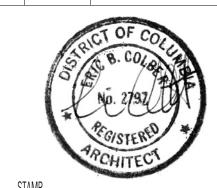
WASHINGTON, DC 20006 SUMMIT ENGINEERS, INC 5307 LEE HWY

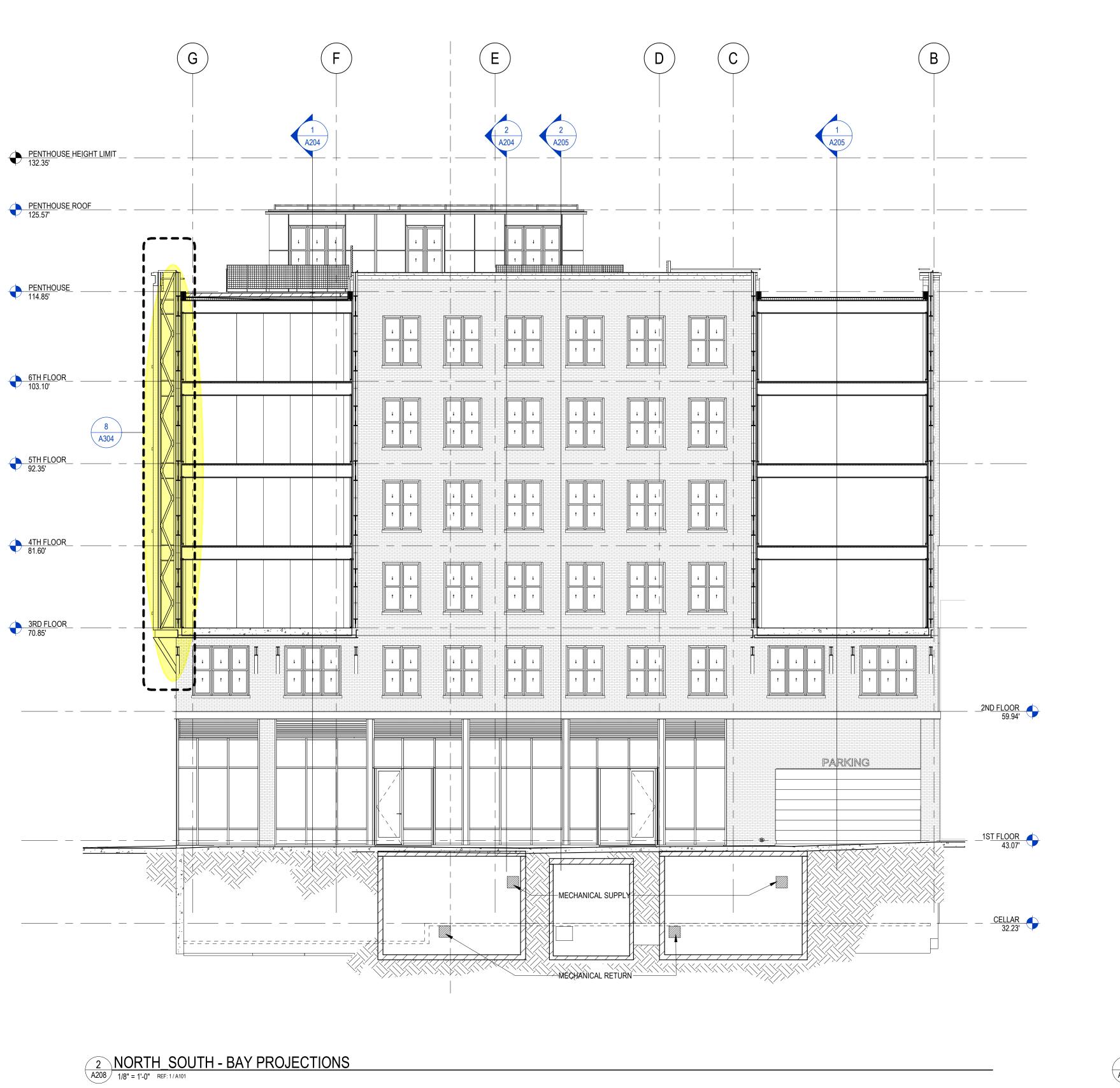
ARLINGTON, VA 22207

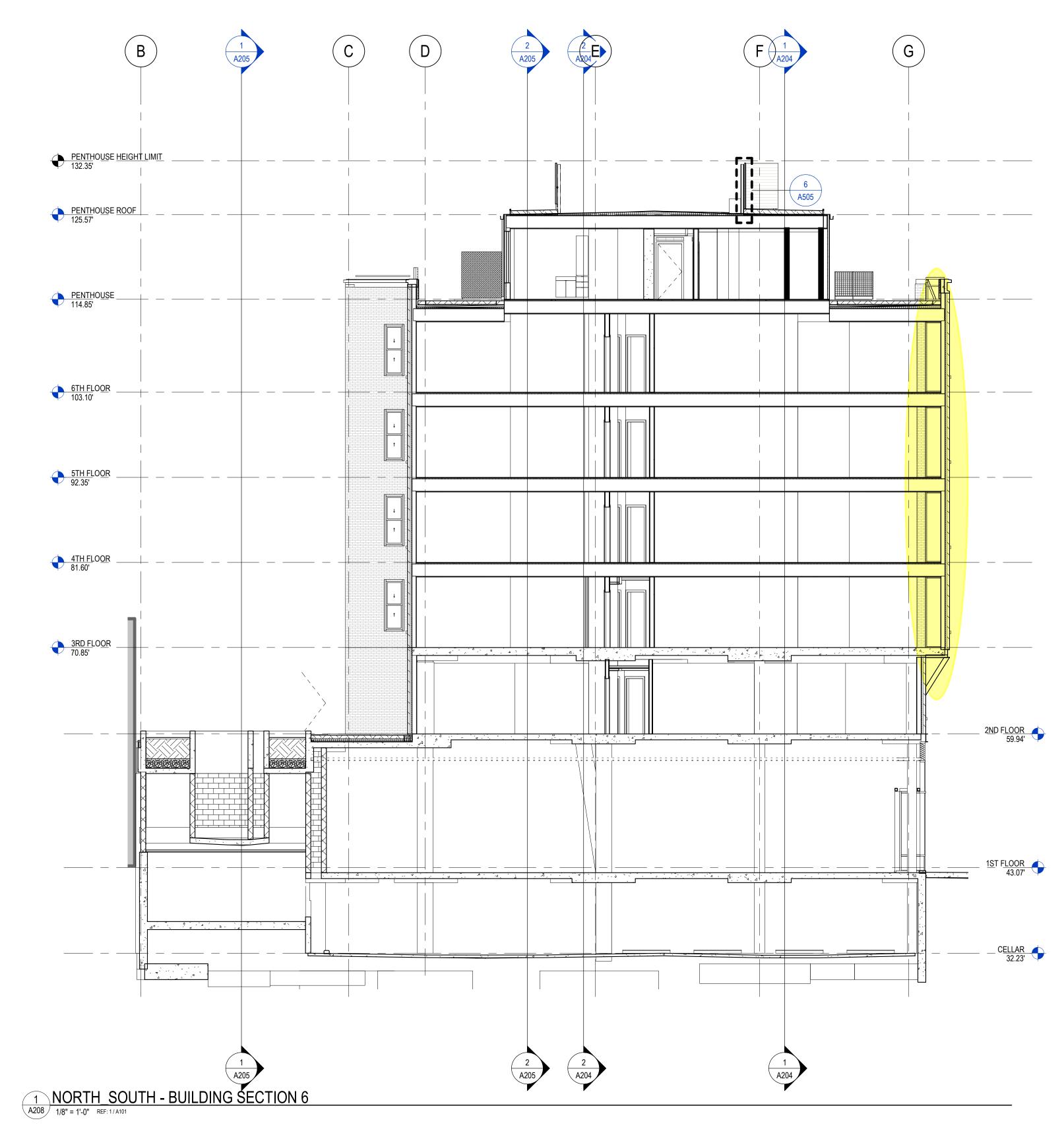
<u>LEED</u> SUSTAINABLE DESIGN CONSULTING 1432 K STREET NW, 3RD FLOOR WASHINGTON, DC 20005

1101 H ST NE, WASHINGTON, DC 20002

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	DATE	DESCRIPTION
2	03/05/21	DESIGN DEVELOPMENT
3	07/01/21	PERMIT SUBMISSION
4	9/22/21	PERMIT
5	11/2/21	PERMIT
6	9/29/21	100% CD
7	02/03/22	PERMIT SUBMISSION
	l	







AIRDOME, LLC

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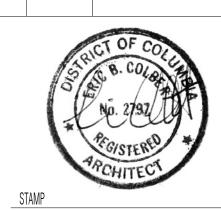
CIVIL/LANDSCAPE
BOWMAN CONSULTING GROUP, LTD
888 17TH ST NW, SUITE 510
WASHINGTON, DC 20006

MEP SUMMIT ENGINEERS, INC 5307 LEE HWY ARLINGTON, VA 22207

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101 H STREET

1101 H ST NE, WASHINGTON, DC 20002

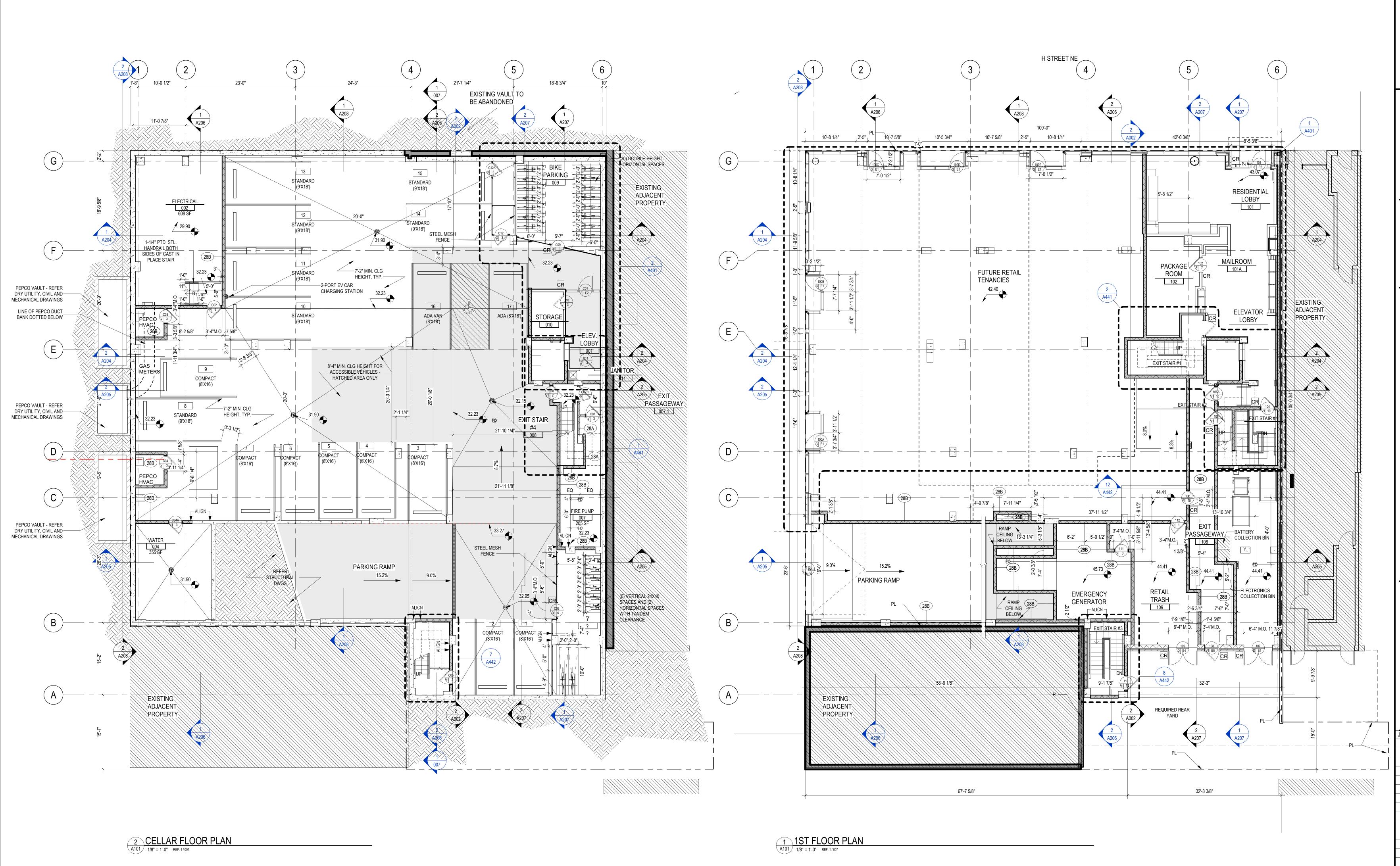


BUILDING SECTIONS

DRAWING TITLE

SCALE: 1/8

A208



PLAN NOTES 1. REFER TO SHEET 005 FOR GENERAL NOTES AND CODE SUMMARY 2. REFER TO STRUCTURAL DRAWINGS FOR ALLOWED FLOOR PENETRATIONS

3. MISCELLANEOUS SMALL FLOOR PENETRATIONS ARE TO BE 2 HOUR RATED AS FOLLOWS (REFER LISTED UL DESIGN FOR FULL TYPE I CONSTRUCTION:

UL C0AJ-1556: MULTIPLE 3" MAX STEEL OR IRON PIP OR CONDUIT, 1" COPPER PIPE OR TUBE, 2" FLEXIBLE STEEL GAS PIPING IN A SLAB OPENING MAX 32 SQ IN.

UL C-AJ-3140: MULTIPLE ELECTRIC CABLES IN 8" DIA MAX SLAB OPENING

UL F-A-2026" SINGLE 6" OR SMALLER DIA PVC OR uPVC PIPE IN MAXIMUM 7" DIA SLAB PENETRATION TYPE III CONSTRUCTION:

LARGER/OTHER OPENINGS: REFER FLOOR NOTES, WALL TYPE TAGS AND DOOR SCHEDULE, MEP DRAWINGS FOR FIRE AND SMOKE DAMPERS, OR OTHERWISE MAINTAIN THE INTEGRITY OF REQUIRED FIRE AND SMOKE SEPARATIONS INDICATED ON THE CODE

SUMMARY/AS REQUIRED.

4. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER DC BC 2406.3. LABEL SAFETY GLAZING PER DC BC SECTION 2406. 5. ANSI A UNITS ARE IDENTIFIED AS ANSI A. IF A UNIT IS NOT TAGGED ANSI A, THEN THE UNIT IS ANSI B. REFER DRAWING 005 FOR ADDITIONAL ACCESSIBILITY NOTES.

6. REFER TO 4 SERIES DRAWINGS FOR ENLARGED PLANS AND FRAMING NOTES REGARDING TYPICAL DEMISING PARTITION TYPES AND DOOR LOCATIONS.

7. ROOFING: 2ND FLOOR: CLASS A HOT FLUID APPLIED MEMBRANE SYSTEM INSTALLED ON STRUCTURAL SLAB WITH BALLASTED 7" R35 RIGID INSULATION ABOVE. FOR BALLAST TYPICALLY REFER TO LANDSCAPE DRAWINGS. TYPICAL ROOFING: CLASS A FULLY ADHERED TPO ON 1/2" COVERBOARD ON SLOPED POLYISO INSULATION MECHANICALLY FASTENED TO SHEATHING. PROVIDE ADDITIONAL FINISHES OVER THE MEMBRANE WHERE INDICATED ON ARCHITECTURAL AND LANDSCAPE

8. SHADING INDICATES RATED WALLS. REFER A4 SERIES DRAWINGS FOR INFORMATION REGARDING INTERIOR RATED PARTITIONS. A. STRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #U349 AND UTILIZE FRT WOOD. REFER DETAIL 6/A502. B. STRUCTURAL MASONRY EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #U905. C. NONSTRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 0-HOUR RATING AND UTILIZE FRT WOOD. REFER DETAIL 5/A502.

3400 IDAHO AVENUE, N.W., #500 WASHINGTON, D.C. 20016



717 5TH STREET NW WASHINGTON, DC 20001

<u>STRUCTURAL</u> EHLERT BRYAN 8609 WESTWOOD CENTER DRIVE, SUITE 800 TYSONS, VA 22182

<u>CIVIL/LANDSCAPE</u> BOWMAN CONSULTING GROUP, LTD 888 17TH ST NW, SUITE 510

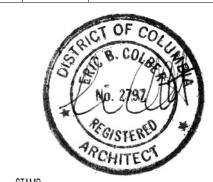
WASHINGTON, DC 20006

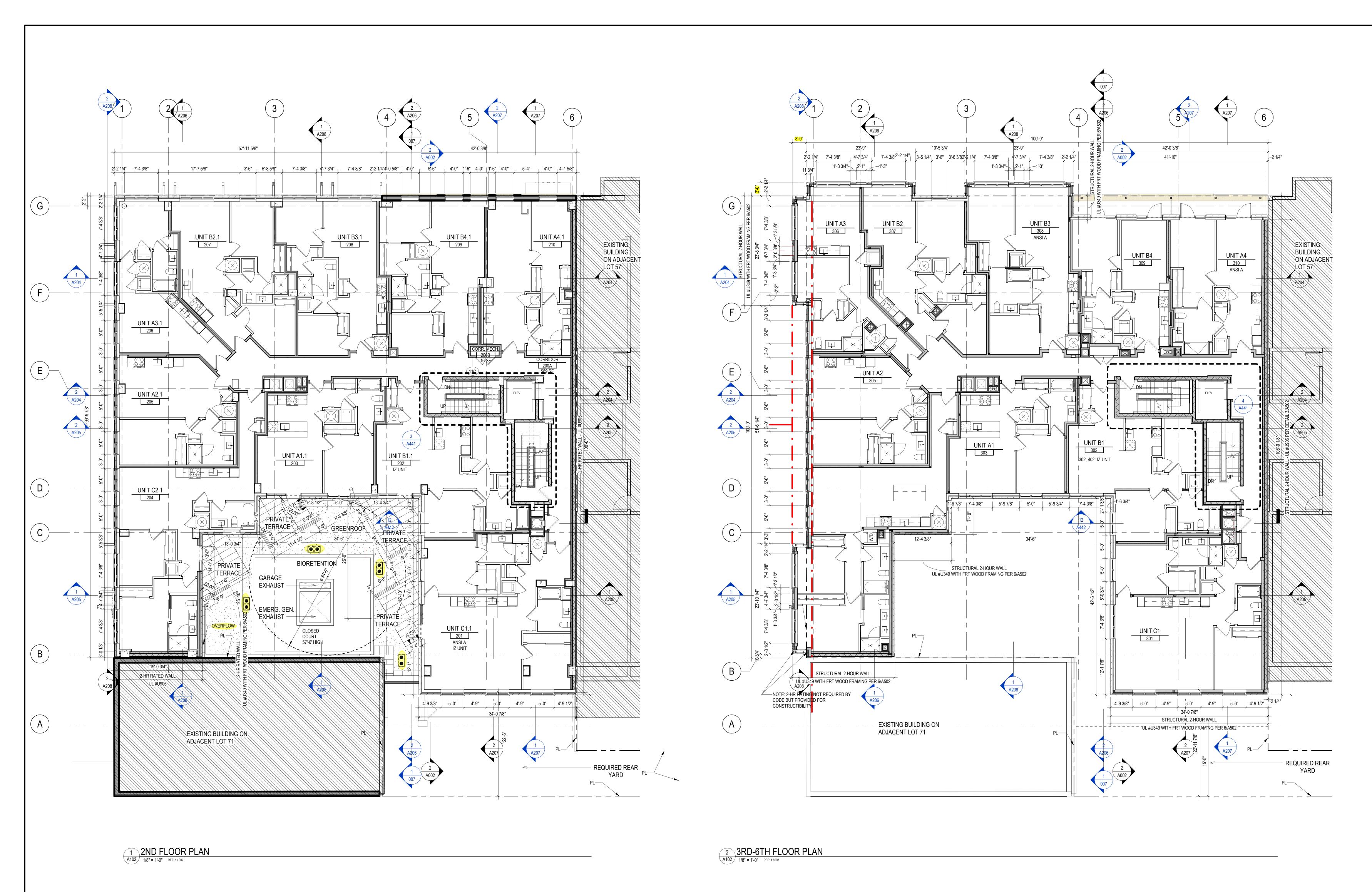
SUMMIT ENGINEERS, INC 5307 LEE HWY ARLINGTON, VA 22207

<u>LEED</u> SUSTAINABLE DESIGN CONSULTING 1432 K STREET NW, 3RD FLOOR WASHINGTON, DC 20005

1101 H ST NE, WASHINGTON, DC 20002

DESCRIPTION DESIGN DEVELOPMENT 03/05/21 PERMIT SUBMISSION 11/2/21 9/29/21 100% CD 02/03/22 PERMIT SUBMISSION





PLAN NOTES

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UL C-AJ-3140: MULTIPLE ELECTRIC CABLES IN 8" DIA MAX SLAB OPENING UL F-A-2026" SINGLE 6" OR SMALLER DIA PVC OR uPVC PIPE IN MAXIMUM 7" DIA SLAB PENETRATION

TYPE III CONSTRUCTION: LARGER/OTHER OPENINGS: REFER FLOOR NOTES, WALL TYPE TAGS AND DOOR SCHEDULE, MEP DRAWINGS FOR FIRE AND SMOKE

DAMPERS, OR OTHERWISE MAINTAIN THE INTEGRITY OF REQUIRED FIRE AND SMOKE SEPARATIONS INDICATED ON THE CODE SUMMARY/AS REQUIRED. 4. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER DC BC 2406.3. LABEL SAFETY GLAZING PER DC BC SECTION 2406. 5. ANSI A UNITS ARE IDENTIFIED AS ANSI A. IF A UNIT IS NOT TAGGED ANSI A, THEN THE UNIT IS ANSI B. REFER DRAWING 005 FOR

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8. SHADING INDICATES RATED WALLS. REFER A4 SERIES DRAWINGS FOR INFORMATION REGARDING INTERIOR RATED PARTITIONS. A. STRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #U349 AND UTILIZE FRT WOOD. REFER DETAIL 6/A502. B. STRUCTURAL MASONRY EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #U905. C. NONSTRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 0-HOUR RATING AND UTILIZE FRT WOOD. REFER DETAIL 5/A502.

TO SHEATHING. PROVIDE ADDITIONAL FINISHES OVER THE MEMBRANE WHERE INDICATED ON ARCHITECTURAL AND LANDSCAPE

AIRDOME, LLC

3400 IDAHO AVENUE, N.W., #500 WASHINGTON, D.C. 20016



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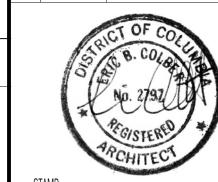
> <u>CIVIL/LANDSCAPE</u> BOWMAN CONSULTING GROUP, LTD 888 17TH ST NW, SUITE 510 WASHINGTON, DC 20006

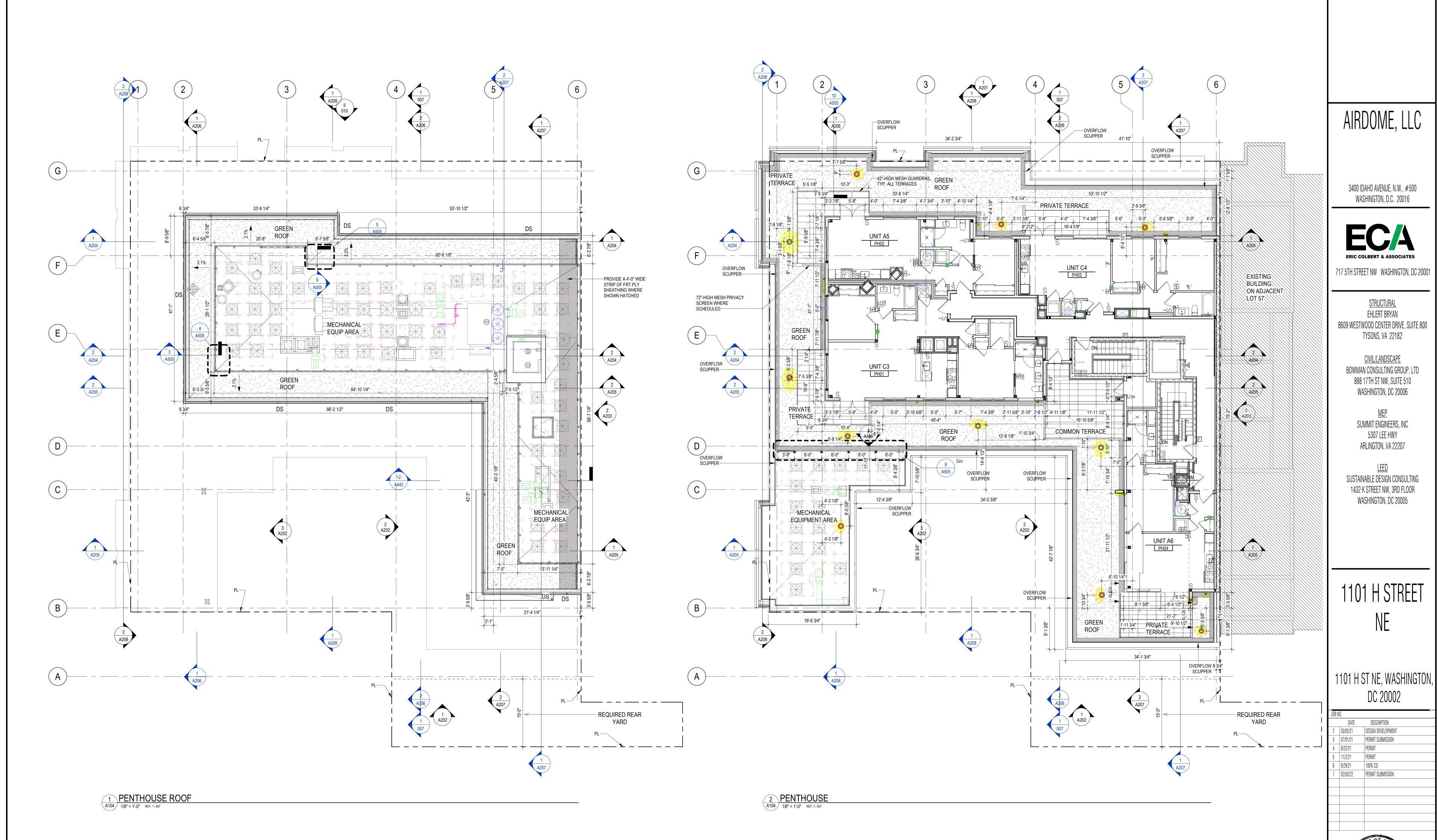
SUMMIT ENGINEERS, INC 5307 LEE HWY ARLINGTON, VA 22207

<u>LEED</u> SUSTAINABLE DESIGN CONSULTING 1432 K STREET NW, 3RD FLOOR WASHINGTON, DC 20005

1101 H ST NE, WASHINGTON, DC 20002

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	DATE	DESCRIPTION
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3	07/01/21	PERMIT SUBMISSION
4	9/22/21	PERMIT
5	11/2/21	PERMIT
6	9/29/21	100% CD
7	02/03/22	PERMIT SUBMISSION





ROOF AREAS

MAIN ROOF: 4180 SF VEGETATIVE ROOF (4" MIN. MEDIA) - 2115 SF PEDESTAL PAVER TERRACES - 805 SF FULLY ADHERED TPO - 735 SF PERIMETER BALLAST - 525 SF

PENTHOUSE ROOF: 4245 SF VEGETATIVE ROOF (4" MIN. MEDIA) - 1455 SF

FULLY ADHERED TPO - 2790 SF

PLAN NOTES

1. REFER TO SHEET 005 FOR GENERAL NOTES AND CODE SUMMARY

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OPENING MAX 32 SQ IN. UL C-AJ-3140: MULTIPLE ELECTRIC CABLES IN 8" DIA MAX SLAB OPENING

UL F-A-2026" SINGLE 6" OR SMALLER DIA PVC OR uPVC PIPE IN MAXIMUM 7" DIA SLAB PENETRATION

B. STRUCTURAL MASONRY EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #U905.

TYPE III CONSTRUCTION: LARGER/OTHER OPENINGS: REFER FLOOR NOTES, WALL TYPE TAGS AND DOOR SCHEDULE, MEP DRAWINGS FOR FIRE AND SMOKE

DAMPERS, OR OTHERWISE MAINTAIN THE INTEGRITY OF REQUIRED FIRE AND SMOKE SEPARATIONS INDICATED ON THE CODE

4. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER DC BC 2406.3. LABEL SAFETY GLAZING PER DC BC SECTION 2406. 5. ANSI A UNITS ARE IDENTIFIED AS ANSI A. IF A UNIT IS NOT TAGGED ANSI A, THEN THE UNIT IS ANSI B. REFER DRAWING 005 FOR

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A. STRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #U349 AND UTILIZE FRT WOOD. REFER DETAIL 6/A502.

R35 RIGID INSULATION ABOVE. FOR BALLAST TYPICALLY REFER TO LANDSCAPE DRAWINGS. TYPICAL ROOFING: CLASS A FULLY ADHERED TPO ON 1/2" COVERBOARD ON SLOPED POLYISO INSULATION MECHANICALLY FASTENED TO SHEATHING. PROVIDE ADDITIONAL FINISHES OVER THE MEMBRANE WHERE INDICATED ON ARCHITECTURAL AND LANDSCAPE 8. SHADING INDICATES RATED WALLS, REFER A4 SERIES DRAWINGS FOR INFORMATION REGARDING INTERIOR RATED PARTITIONS.

C. NONSTRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 0-HOUR RATING AND UTILIZE FRT WOOD. REFER DETAIL 5/A502.

<u>STRUCTURAL</u> EHLERT BRYAN

TYSONS, VA 22182

<u>CIVIL/LANDSCAPE</u>

WASHINGTON, DC 20006

SUMMIT ENGINEERS, INC

5307 LEE HWY

ARLINGTON, VA 22207

<u>LEED</u>

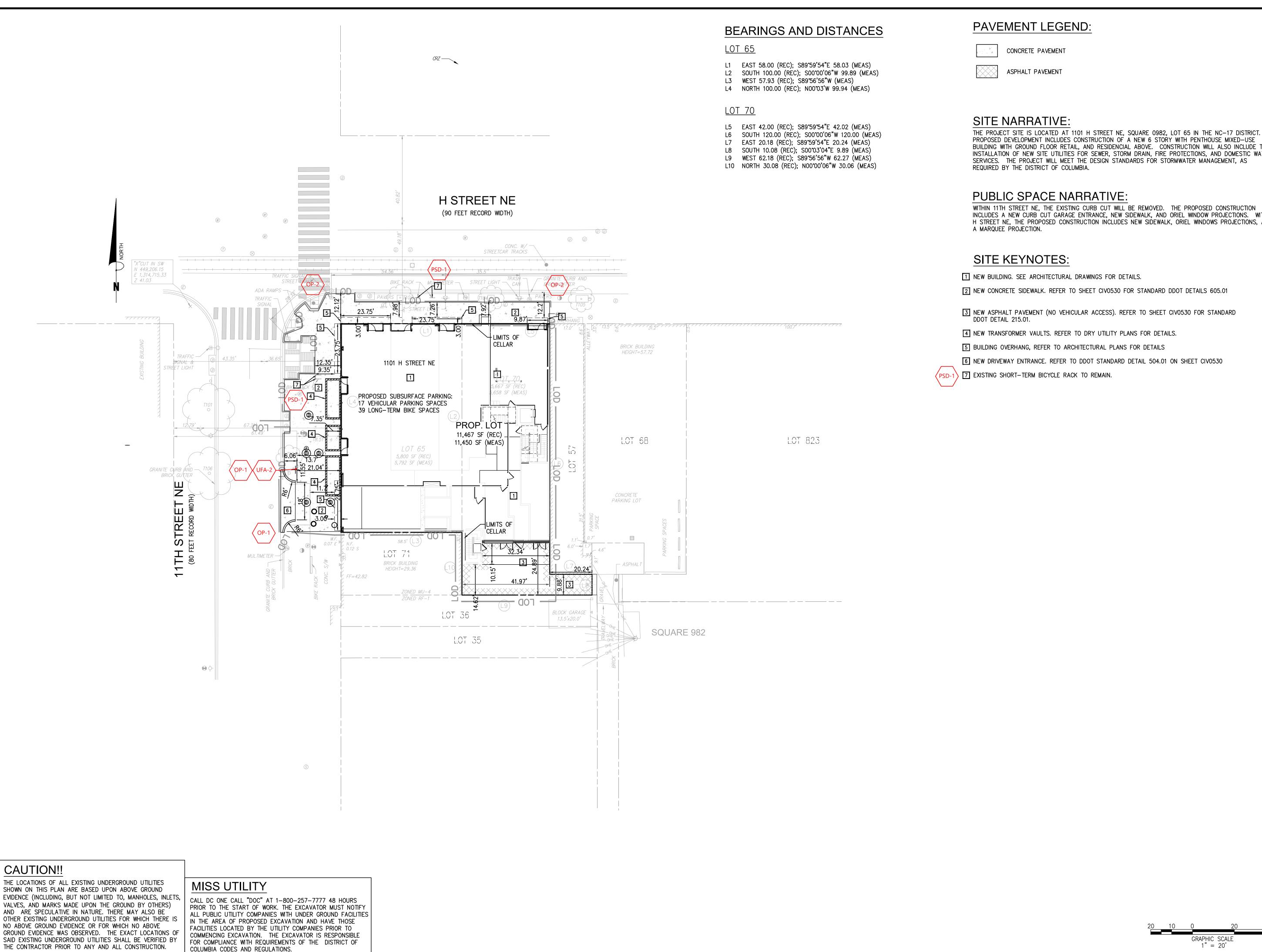
WASHINGTON, DC 20005

DC 20002

DESCRIPTION DESIGN DEVELOPMENT

PERMIT SUBMISSION

100% CD



PROPOSED DEVELOPMENT INCLUDES CONSTRUCTION OF A NEW 6 STORY WITH PENTHOUSE MIXED-USE BUILDING WITH GROUND FLOOR RETAIL, AND RESIDENCIAL ABOVE. CONSTRUCTION WILL ALSO INCLUDE THE INSTALLATION OF NEW SITE UTILITIES FOR SEWER, STORM DRAIN, FIRE PROTECTIONS, AND DOMESTIC WATER

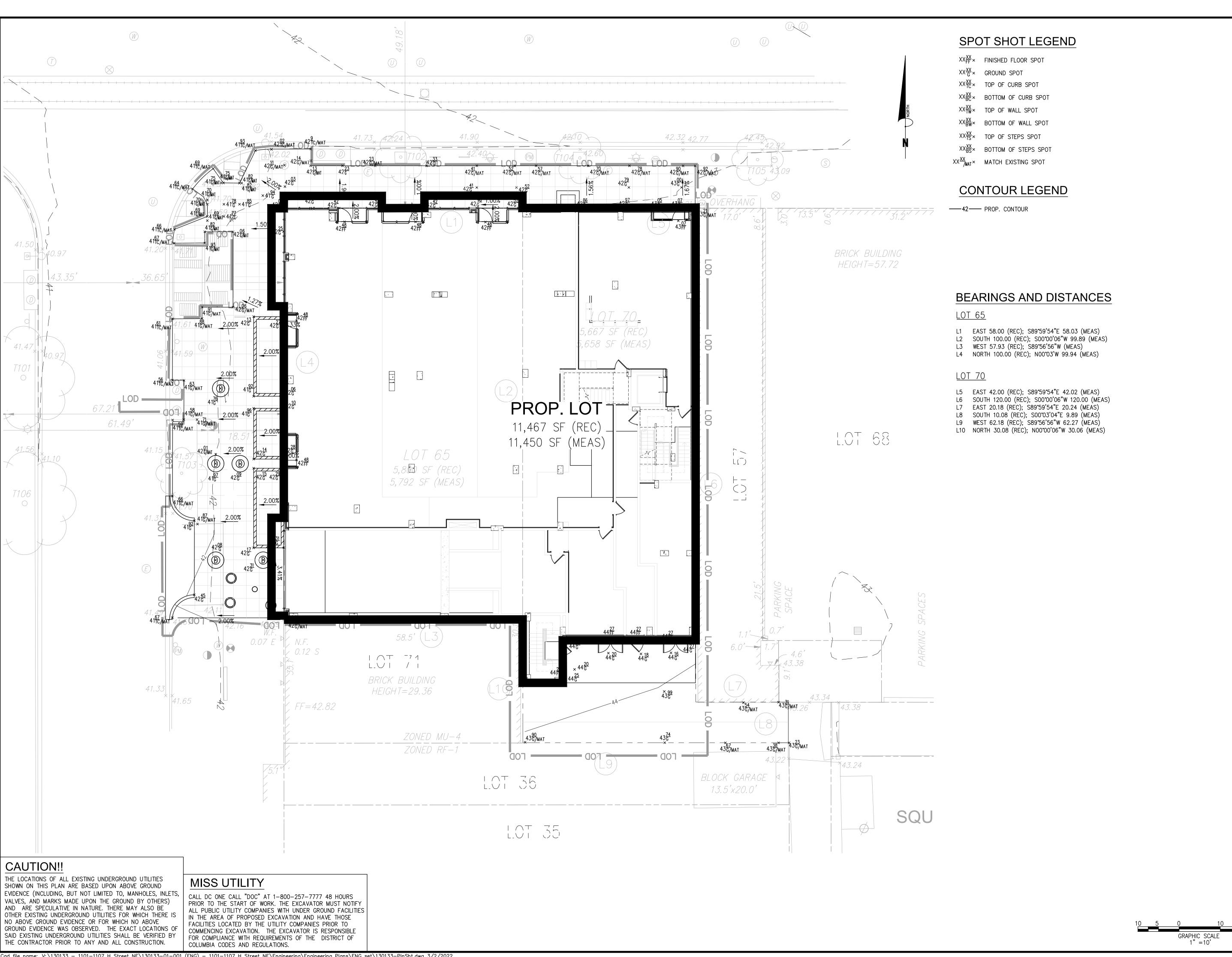
WITHIN 11TH STREET NE, THE EXISTING CURB CUT WILL BE REMOVED. THE PROPOSED CONSTRUCTION INCLUDES A NEW CURB CUT GARAGE ENTRANCE, NEW SIDEWALK, AND ORIEL WINDOW PROJECTIONS. WITHIN H STREET NE, THE PROPOSED CONSTRUCTION INCLUDES NEW SIDEWALK, ORIEL WINDOWS PROJECTIONS, AND

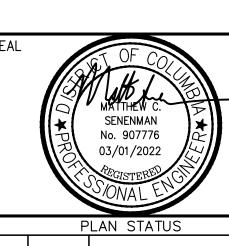
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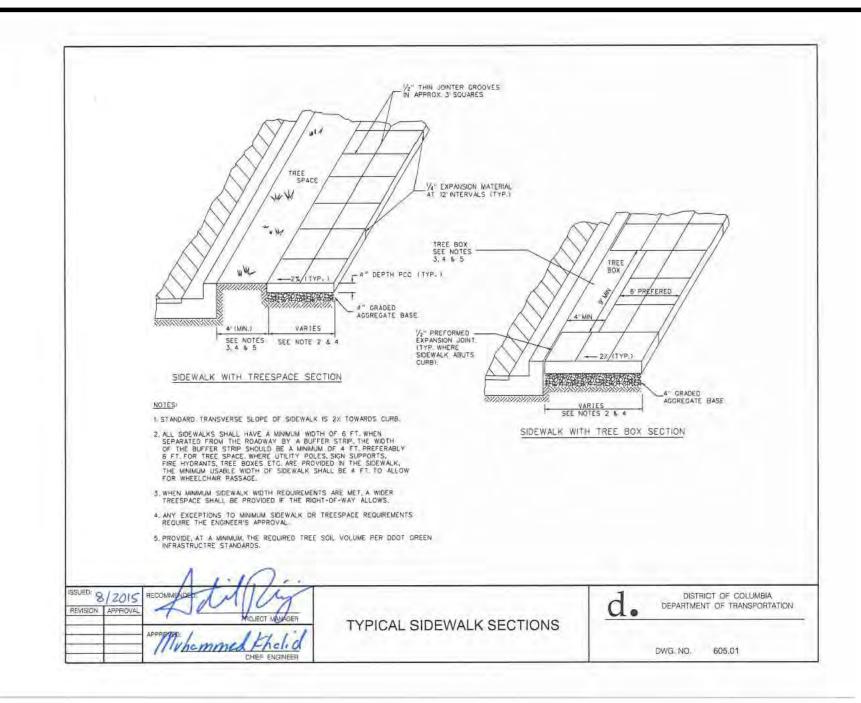
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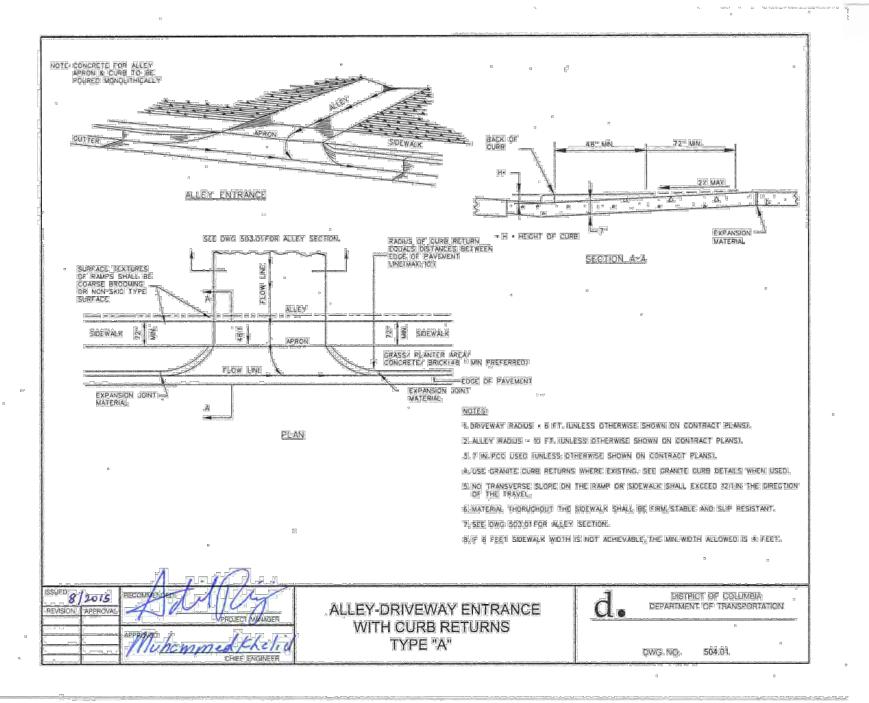
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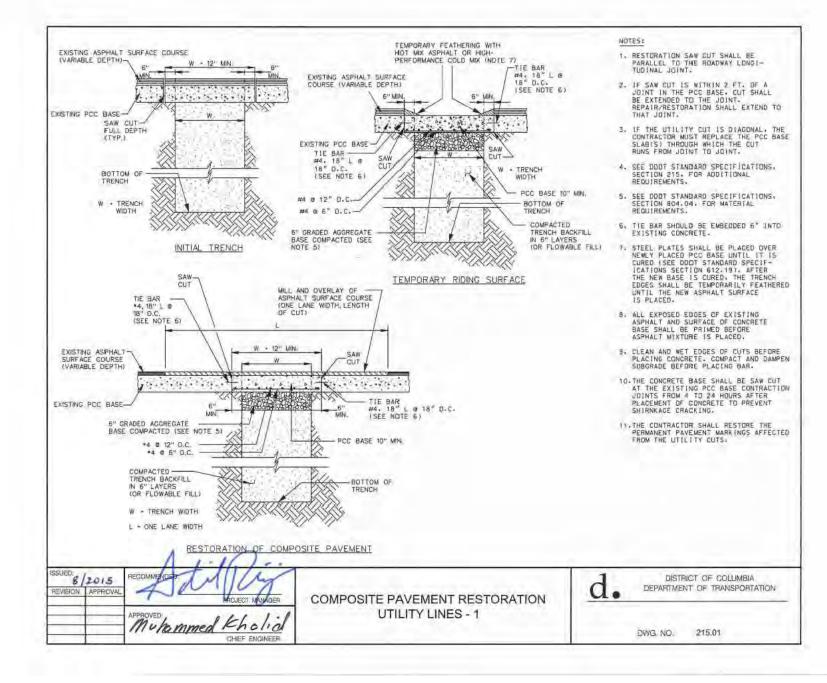
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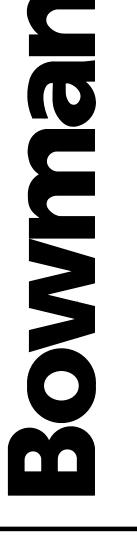
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Pollution Prev	vention Good Housekeeping Stamp Notes
Fuels and Oils	On-site refueling will be conducted in a dedicated location away from access to surface waters. Install containment berms and, or secondary containments around refueling areas and storage tanks. Spills will be cleaned up immediately and contaminated soils disposed of in accordance with all federal and District of Columbia regulations. Petroleum products will be stored in clearly labeled tightly sealed containers. All vehicles on site will be monitored for leaks and receive regular preventive maintenance activities. Any asphalt substances used on site will be applied according to manufacturer's recommendations. Spill kits will be included with all fueling sources and maintenance activities.
Solid Waste	No solid materials shall be discharged to surface water. Solid materials including building materials, garbage and paint debris shall be cleaned up daily and deposited into dumpsters, which will be periodically removed and deposited into a landfill.
Abrasive Blasting	Water blasting, sandblasting, and other forms of abrasive blasting on painted surfaces built prior to 1978 may only be performed if an effective containment system prevents dispersal of paint debris.
Fertilizer	Fertilizers will be applied only in the minimum amounts recommended by the manufacturer, worked into the soil to limit exposure to stormwater, and stored in a covered shed. Partially used bags will be transferred to a sealable bin to avoid spills.
Paint and Other Chemicals	All paint containers and curing compounds will be tightly sealed and stored when not required for use. Excess paint will not be discharges to the storm sewers, but will be properly disposed of according to manufacturer's recommendations. Spray guns will be cleaned on a removable tarp. Chemicals used on site are kept in small quantities and in closed containers undercover and kept out of direct contact with stormwater. As with fuels and oils, any inadvertent spills will be cleaned up immediately and disposed of according federal and District of Columbia regulations.
Concrete	Concrete trucks will not be allowed to wash out or discharge surplus concrete or drum wash on site, except in a specially designated concrete disposal area. Form release oil for decorative stone work will be applied over a pallet covered with an absorbent material to collect excess fluid. The absorbent material will be replaced and disposed of properly when saturated.
Water Testing	When testing and, or cleaning water supply lines, the discharge from the tested pipe will be collected and conveyed to a completed stormwater conveyance system for ultimate discharge into a stormwater best management practice (BMP).
Sanitary Waste	Portable lavatories located on site will be services on a regular basis by a contractor. Portable lavatories will be located in an upland area away from direct contact with surface waters. Any spills occurring during servicing will be cleaned immediately and contaminated soils disposed of in accordance with all federal and District of Columbia regulations.



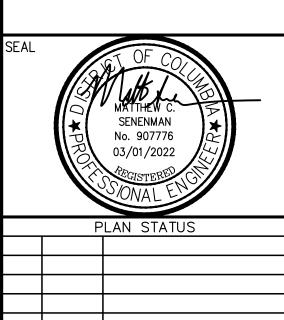




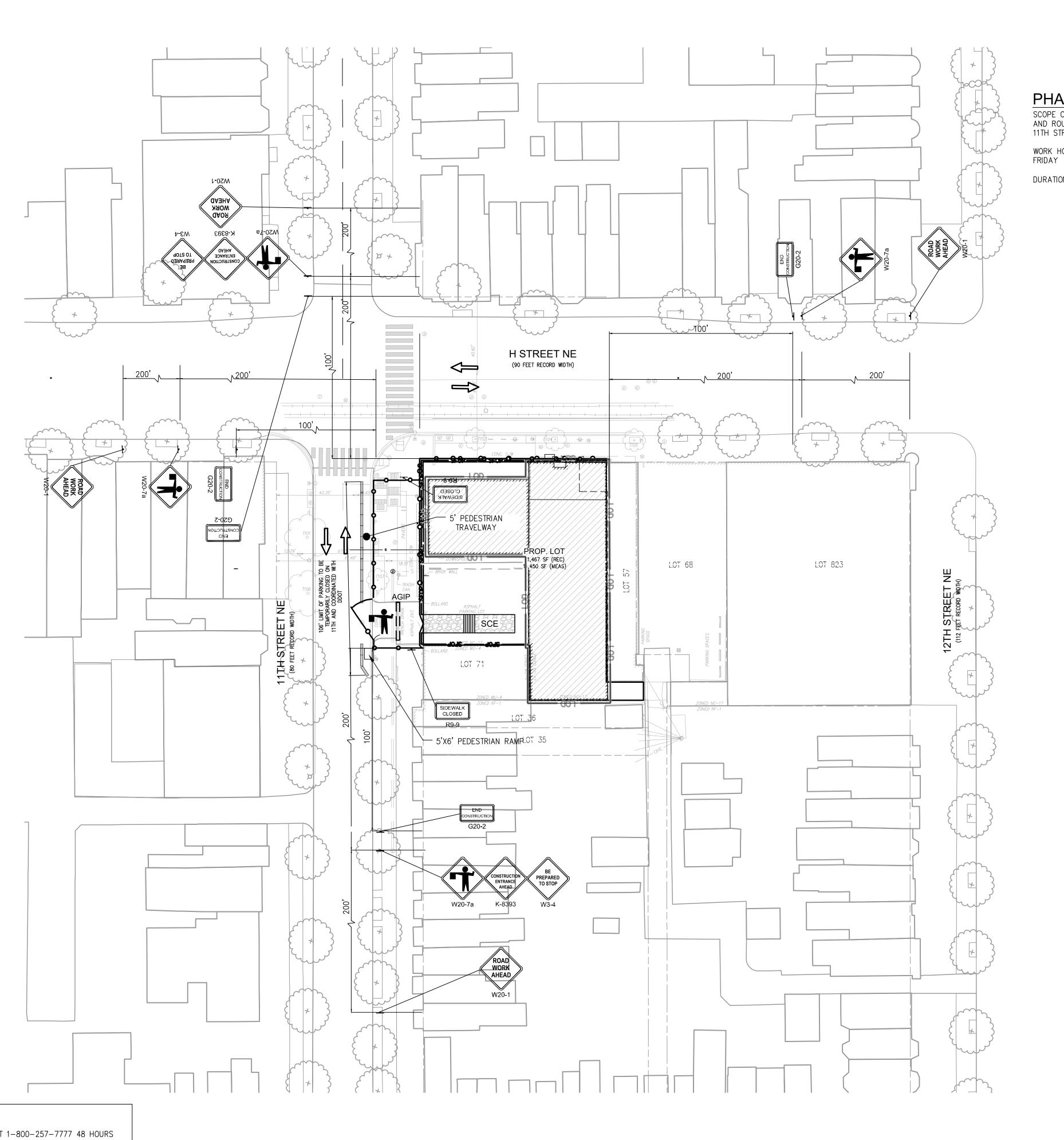


SITE DETAILS

1101 H ST. NE
CONSTRUCTION DOCUM



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PHASE 1

SCOPE OF WORK - 11TH STREET NE EAST SIDEWALK TO BE OCCUPIED AND ROUTED INTO EAST PARKING LANE. PARKING TO BE RESTRICTED ON 11TH STREET NE.

WORK HOURS - BETWEEN 9:30 AM AND 3:30 PM ON MONDAY THRU

DURATION - ONE (1) MONTH

LEGEND

DIRECTION

WORK AREA

TRAFFIC BARRIER

TRAFFIC CONE

SAFETY FENCE ON PAVEMENT

STABILIZED CONSTRUCTION ENTRANCE

SHEET LIST:

SCE

TRAFFIC CONTROL PLAN - CONSTRUCTION PHASE 1 TRAFFIC CONTROL PLAN — CONSTRUCTION PHASE 2
TRAFFIC CONTROL PLAN — NOTES

TRAFFIC CONTROL PLAN CONSTRUCTION PHASE 1

SENENMAN No. 907776

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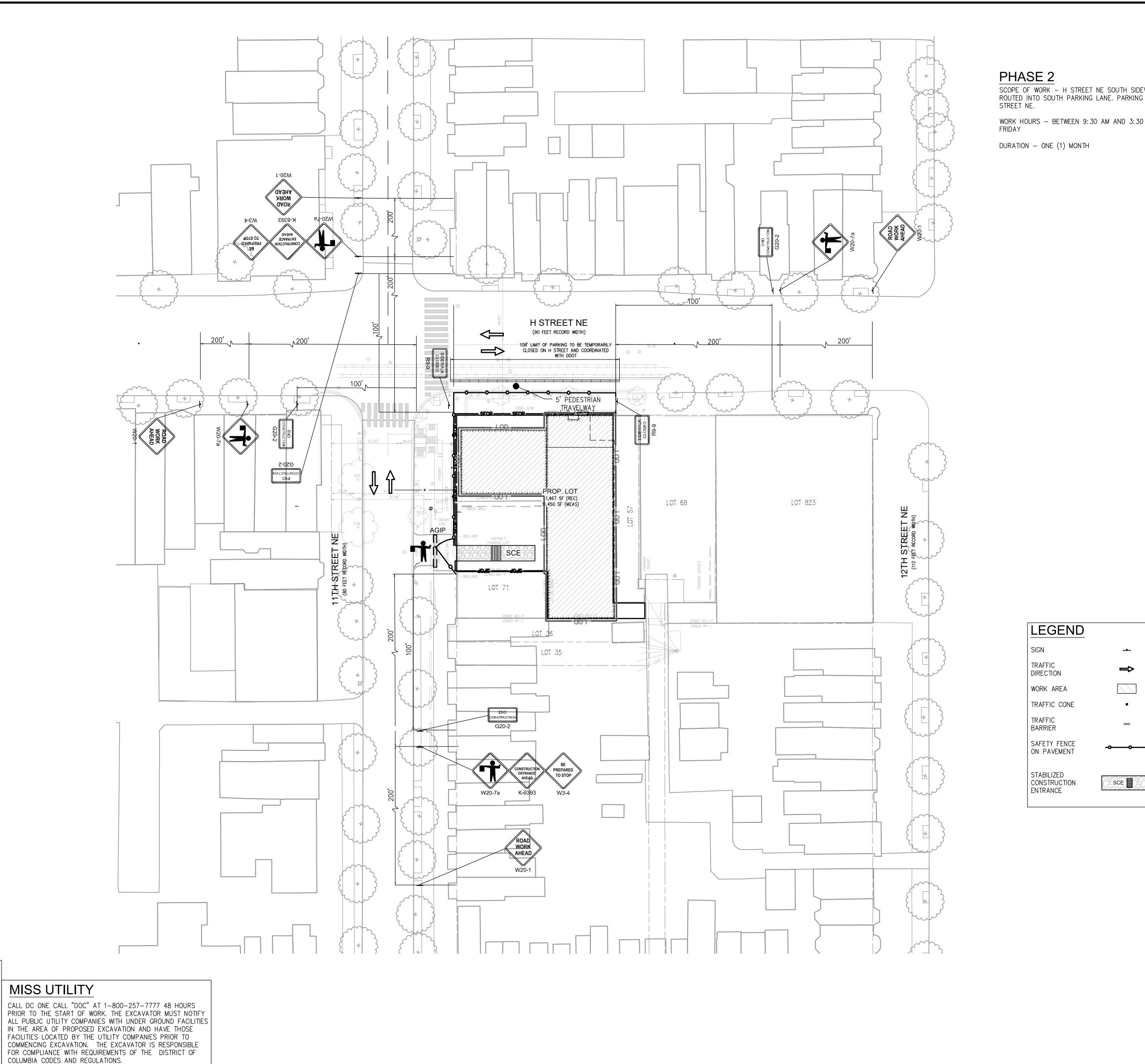
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CAUTION!!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES

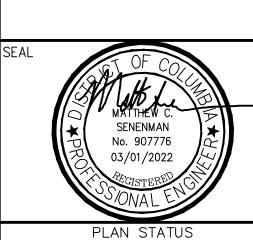
SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION. FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

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SCOPE OF WORK — H STREET NE SOUTH SIDEWALK TO BE OCCUPIED AND ROUTED INTO SOUTH PARKING LANE. PARKING TO BE RESTRICTED ON H

WORK HOURS - BETWEEN 9:30 AM AND 3:30 PM ON MONDAY THRU



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CAUTION!!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES

VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS)

OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS

GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF

SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE

NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE

EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS,

SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND

MAINTENANCE OF TRAFFIC TRAFFIC CONTROL PLAN (TCP) INSPECTION CRITERIA 19TH EDITION, FEBRUARY 14, 2018

PURPOSE AND INTENT

THIS DOCUMENT IS PREPARED TO PROVIDE USERS OF APPROVED TRAFFIC CONTROL PLAN (TCPs) THE CRITERIA THAT THE FIELD IMPLEMENTATION OF THEIR TCPs WILL BE EVALUATED AGAINST. DDOT WILL PERIODICALLY INSPECT WORK ZONES TO ENSURE COMPLIANCE, VERIFY THAT SAFETY MEASURES ARE IN PLACE, AND ASCERTAIN THAT THE MEASURES CONFORM TO THE APPROVED

APPLICABILITY OF THE MANUAL

1. ALL TRAFFIC CONTROL SHALL CONFORM TO PART VI OF THE 2009 EDITION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), DC TEMPORARY TRAFFIC CONTROL MANUAL. GUIDELINES AND STANDARDS -- 2006 EDITION, DDOT DESIGN AND ENGINEERING MANUAL -- DC DEPARTMENT OF TRANSPORTATION, IPMA. ADHERE TO DDOT STANDARD SPECIFICATION FOR HIGHWAYS AND STRUCTURES [GOLD BOOK] 2013. REFERENCE SECTION 104.02 MAINTENANCE OF TRAFFIC, 603. GUARDRAILS AND GUARDRAIL TERMINALS (603.01 -- 603.09), 610 TRAFFIC BARRIERS (610.01 - 610.03), 612, TRAFFIC CONTROL (612.01 -- 612.21), 616,TRAFFIC SIGNING (616.01 -- 616.08), 617. IMPACT ATTENUATORS (617.01-- 617.03), 207. TRENCH EXCAVATION AND BACKFILL (207.01 --207.07), AND 215. EXCAVATIONS AND RESTORATIONS /UTILITY LINES/ (215.01 -- 215.09)

THE CONTRACTOR SHALL MAKE CERTAIN THAT THE PERSON (S) RESPONSIBLE FOR THE IMPLEMENTATION OF THE TRAFFIC CONTROL PLAN HAS SUCCESSFULLY COMPLETED TRAINING IN TEMPORARY TRAFFIC CONTROL AND HIS OR HER NAME AND QUALIFICATIONS SHALL BE SUBMITTED PRIOR TO WORK COMMENCING. ACCEPTED CERTIFYING ORGANIZATIONS ARE ATSSA, MDOT, VDOT

OSHA REQUIREMENTS

3. ALL FIELD PERSONNEL SHALL WEAR SAFETY VEST, HARD HATS AND OTHER REQUIRED PERSONAL PROTECTION EQUIPMENT REQUIRED BY THE OCCUPATION SAFETY AND HEALTH ADMINISTRATION (OSHA). TRAFFIC CONTROL DEVICES

4. ALL TRAFFIC CONTROL DEVICES SHOULD COMPLY WITH NCHRP 350 CRASH TESTING STANDARDS AND SHOULD HAVE MARKINGS

5. 36"REFLECTIVE CONES ARE REQUIRED FOR MAINTENANCE OF TRAFFIC (MOT). TRAFFIC CONES ARE USED FOR DAYTIME WORK ONLY. 36"— MINIMUM REFLECTIVE DRUMS SHALL BE USED FOR TAPERS ON FREEWAY SYSTEM OR WHEN INDICATED BY DDOT. ALL TRAFFIC SAFETY DRUMS USED FOR THE MAINTENANCE OF TRAFFIC SHALL BE OF A LOW DENSITY MATERIAL. BALLAST SHALL NOT BE

ADVANCE WARNING SIGNS FOR CONVENTIONAL ROAD SHALL BE 36" X 36"BLACK / ORANGE, HIGH PERFORMANCE, WIDE ANGLE, RETRO-REFLECTIVE SHEETING, ROLL-UP SIGNS ARE APPROVED, HOWEVER, SIGN SHEETING SHALL BE FLUORESCENT ORANGE AND SOLID, NOT MESH. USE SIGNS WITH THE DIMENSIONS: 48"X 48"ONLY FOR FREE WAY OR EXPRESSWAY. ADVANCE WARNING SIGNS FOR LOCAL — RESIDENTIAL STREETS SHALL NOT BE LESS THAN 30"X 30"(THE LARGER SIGNS MAY BE USED WHEREVER NECESSARY FOR

SIGNS SHOULD BE PROPERLY MAINTAINED FOR CLEANLINESS, VISIBILITY, STABILITY, AND CORRECT POSITIONING. SIGN POSITIONING

AT THE WORK SITE MAY BE MINIMALLY ADJUSTED BY PUBLIC SPACE INSPECTORS BASED ON SITE CONDITIONS. SIGNS THAT HAVE LOST SIGNIFICANT LEGIBILITY SHOULD BE PROMPTLY REPLACED. WORK ZONE TRAFFIC CONTROL SIGNS AND SIGN SUPPORTS SHOULD NOT BECOME OBSTACLES FOR ALL ROADWAY USERS:

PEDESTRIANS, BICYCLISTS, AND VEHICLES. SIGN SUPPORTS SHOULD BE LOCATED SO AS TO ACCOMMODATE PEDESTRIANS AND BICYCLISTS IN AREAS DESIGNATED FOR THEIR

USE. A MINIMUM LATERAL WIDTH OF 5 FEET SHOULD BE MAINTAINED FOR PEDESTRIAN PATHWAYS.

10. CONTRACTOR SHALL USE AND ADJUST SPRING-LOADED SIGN STANDS. DUAL SPRING WIND RESISTANT SIGN STANDS. CONSTRUCTION SIGN STANDS WITHOUT SPRINGS, OR PORTABLE WOODEN SIGN SUPPORTS SO THE MOTORISTS CAN SEE AND READ THE SIGNS. THE SIGN STANDS SHOULD COMPLY WITH NCHRP 350 CRASH TESTING STANDARDS AND SHOULD HAVE MARKINGS OF COMPLIANCE ON THE STANDS. NEITHER PORTABLE NOR PERMANENT SIGN SUPPORTS SHOULD BE LOCATED ON SIDEWALKS -PEDESTRIAN ACCESS ROADS (PAR), BICYCLE FACILITIES, OR AREAS DESIGNATED FOR PEDESTRIAN OR BICYCLE TRAFFIC.

11. PORTABLE WOODEN SIGN SUPPORTS CONSISTENT WITH THE DESIGN ON THEIR STANDARD SHEET DO NOT NEED TO BE CERTIFIED AS BEING CRASH TESTED IN ACCORDANCE WITH NCHRP - 350. THE SUPPORTS ARE TYPICALLY SANDBAGGED. (REF. NATIONAL WORK ZONE SAFETY INFORMATION CLEARINGHOUSE. STATE: NEW YORK; NEW JERSEY. AS THE CITY ENVIRONMENT, NEW YORK USES ALL SORTS OF TEMPORARY SIGN SUPPORTS).

12. USE WOOD MEMBERS WITH A MAXIMUM 16 (SQUARE INCH) CROSS SECTION FOR BASE CONSTRUCTION AND 8 (SQUARE INCH) CROSS SECTION FOR UPRIGHTS AND BRACES. THE AXLE, FRAME, SUPPORT ASSEMBLY AND OTHER STRUCTURAL MEMBERS SHOULD NOT EXCEED THE DIMENSIONS OF THE PORTABLE SING SUPPORT ASSEMBLY. A SINGLE SANDBAG WEIGHING 50 Ib. IS THE STANDARD BALLAST DEVICE FOR WOOD SIGN SUPPORT. FOR FULL BALLAST USE A MINIMUM OF 2 SANDBAGS PER PORTABLE SIGN SUPPORT.

13. ALL TEMPORARY SIGNS SHALL BE PLACED IN APPROPRIATE PLACES, BE ADEQUATE FOR EXISTING STREET CONDITIONS, INCLUDING SIGN DIMENSIONS, AND BE STABLE AND FIRMLY INSTALLED (THE SMALL SIZE OF WARNING SIGNS MAY BE USED WHEREVER NECESSARY FOR PROVIDING ADEQUATE AND SAFE ACCESS FOR PEDESTRIANS WITHIN PUBLIC SPACE).

14. THE TEMPORARY SIGNS AND MARKINGS PLACED ADJACENT TO THE WORK ZONE SHALL BE CONSISTENT AND VISIBLE AT ALL TIMES. THE FULL VIEW OF ADVANCE WORK ZONE WARNING SIGNS SHALL BE PROVIDED. SIGNS SHALL BE CLEAR OF OBSTRUCTION ON APPROACH TO WORK ZONE.

15. NO HOMEMADE CONSTRUCTION, REGULATORY, OR GUIDE SIGNS SHALL BE ALLOWED.

16. DAMAGED, DIRTY, OR DEFACED DEVICES, INCLUDING SIGNS, CHANNELIZERS, AND TRAFFIC CONTROL EQUIPMENT ARE NOT

17. ALL TRAFFIC CONTROL DEVICES NOT IN USE SHALL BE REMOVED FROM THE PUBLIC SPACE OR AS DIRECTED BY DDOT. WHEN APPROVED BY DDOT ALL REGULATORY SIGNS MUST BE COVERED SECURELY TO AVOID MISINFORMATION. 18. SIGN SPACING SHALL BE ADJASTED TO AVOID CONFLICT WITH EXISTING PERMANENT SIGNAGE AND PAVEMENT MARKINGS.

19. IF ANY TEMPORARY PROHIBITING REGULATORY SIGNS ARE PROPOSED BY CONTRACTOR, SUCH AS "NO RIGHT TURN", "NO LEFT TURN", WETHER THE SYMBOLIC OR TEXT MESSAGE, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADVANCE COORDINATION WITH TRAFFIC OPERATION ADMINISTRATION (TOA) TO ENSURE THAT THE ADEQUATE TRAFFIC MOVEMENTS ARE PROVIDED IN THE VICINITY OF CONSTRUCTION SITE.

THE CONTRACTOR IS REQUIRED TO COORDINATE PROPOSED WORK ZONE SIGNAGE TO ADJACENT CONSTRUCTION WORK ZONE PROJECT TO AVOID CONFUSING MESSAGES, AND SIGNAGE DUPLICATION.

THE CONTRACTOR SHALL COORDINATE HIS MOT/TCP WITH OTHER CONTRACTORS, AND UTILITY COMPANIES WORKING IN THE SAME GENERAL LOCATION TO MAINTAIN CONTINUITY OF TRAFFIC FLOW AND MINIMIZE CONGESTION. 22. THE UTILITY COMPANIES SHALL BE RESPONSIBLE FOR PRODUCTIONS A TRAFFIC CONTROL PLAN FOR THE INSTALLATION OF

UTILITIES AND COORDINATING ITS INSTALLATIONS WITH DDOT/ PUBLIC SPACE REGULATION ADMINISTRATION, AND THE GENERAL CONTRACTOR'S MOT/TCP. 23. THE MINIMUM HEIGHT, MEASURED VERTICALLY FROM THE BOTTOM OF THE SIGN TO THE SIDEWALK, LOCATED IN BUSINESS,

COMMERCIAL, OR RESIDENTIAL AREAS WHERE PARKING OR PEDESTRIAN MOVEMENTS ARE LIKELY TO OCCUR, OF SIGNS INSTALLED

24. FOR SIGNS TO BE USED IN WORK ZONES, ALL OF THE ABOVE REQUIREMENTS MUST BE MET TO THE SATISFACTION OF THE DDOT

FLASHING ARROW PANEL

25. PROPOSED LOCATIONS ARE TO BE VERIFIED FOR VISIBILITY AND SIGHT DISTANCE. ARROW PANEL SHOULD BE DELINEATED WITH RETROREFLECTIVE TEMPORARY TRAFFIC CONTROL DEVICES, OR WHEN WITHIN THE CLEAR ZONE SHIELDED WITH A BARRIER OR CRASH CUSHION. WHEN AN ARROW PANEL IS NOT BEING USED, IT SHOULD BE REMOVED; IF NOT REMOVED, IT SHOULD BED SHIELDED; OR IF THE PREVIOUS TWO OPTIONS ARE NOT FEASIBLE, IT SHOULD BE DELINEATED WITH RETROREFLECTIVE TEMPORARY TRAFFIC CONTROL DEVICES. FLASHING ARROW PANELS MAY BE DEEMED NECESSARY ON OTHER ROADWAYS.

26. CONTRACTOR SHALL PROVIDE FLAGGING OPERATIONS FOR CONDITIONS DEEMED NECESSARY BY SELF OR DDOT. ALL FLAGGERS MUST BE CERTIFIED AND HAVE THEIR CERTIFICATION CARD IN THEIR POSSESSION WHEN FLAGGING. THEY SHALL BE EQUIPPED WITH

SAFETY VESTS, HARD HATS, HAND SIGNALING DEVICES, AND ELECTRONIC DEVICES FOR COMMUNICATION. 27. ALL FLAGGING OPERATIONS SHALL USE A "STOP/SLOW" PADDLE OF 24 INCHES IN DIAMETER MOUNTED ON A 6 FT. POLE WITH

28. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONDUCT FLAGGING OPERATION TO CONTROL PEDESTRIAN TRAFFIC IN SAFETY MANNER WHEN CONSTRUCTING VEHICLES ARE ENTERING -- EXITING THE CONSTRUCTION SITE. IF A SAFE ACCOMMODATION FOR PEDESTRIANS OR BICYCLISTS MUST BE CLOSED INTERMITTENTLY DURING OFF-- PEAK HOURS DUE TO CONFLICTS WITH CONSTRUCTION

ACTIVITIES OR CONSTRUCTION VEHICLES THE MOT/TCP SHALL REQUIRED THAT:

HIGHWAYS AND STRUCTURES SECTIONS 207, 606, AND 612

a. FLAGGERS BE POSTED AT EACH END OF THE CLOSED PEDESTRIAN OR BICYCLE ROUTE FOR THE ENTIRE DURATION OF TIME THE INTERMITTENT CLOSURE IS IN PLACE;

b. THE SAFE AND REASONABLE FLOW OF PEDESTRIAN AND BICYCLE TRAFFIC BE MAINTAINED IN PREFERENCE TO CONSTRUCTION ACTIVITIES AND THE FLOW OF CONSTRUCTION VEHICLES.

29. CONTRACTORS SHALL NOT CLOSE MORE THAN ONE LANE OF TRAFFIC IN ONE DIRECTION UNLESS OTHERWISE APPROVED.

WHEN A STREET CLOSURE HAS BEEN APPROVED BY DOOT AS A PART OF TRAFFIC CONTROL PLAN THE CONTRACTOR MUST OBTAIN DETOUR AND MEET REGULARLY WITH EFFECTED AND AND BUSINESSES. AND MAINTAIN REGULAR CONTACT WITH EMERGENCY SERVICES MPD, FD, EMA, DPW, SCHOOLS OFFICIALS, AND DDOT PROGRESSIVE TRANSPORTATION SERVICES ADMINISTRATION (PTSA) TO DETERMINE

IF STREET CLOSURE IS A REASONABLE OPTION THEN IT IS USUALLY NECESSARY TO MAINTAIN ACCESS TO PROPERTIES FRONTING THE WORK ZONE, AND CONTRACTOR SHOULD TAKE FOLLOWING ACTIONS. OBTAIN DDOT APPROVAL TO USE LOCAL STREETS AS DETOURS; MEET WITH RESIDENTS COMMUNITY, BUSINESSES: CONTACT EMERGENCY SERVICES (MPO. FD. EMA), SCHOOL OFFICIALS, AND DDOT PROGRESSIVE TRANSPORTATION SERVICES ADMINISTRATION TO DETERMINE IF THERE ARE IMPACTS TO THEIR OPERATIONS. 30. TYPE III BARRICADES SHALL BE USED FOR ROAD CLOSURES. ADEQUATE ROAD CLOSURE AND DETOUR SIGNAGE SHALL BE

INSTALLED TO GIVE MOTORIST GUIDANCE. DETOUR DIRECTION SIGNS MUST BE ACCOMPANIED BY MESSAGE SIGNS THAT INDICATE DETOUR STREET NAME. DO NOT USE ABBREVIATIONS ON MESSAGE SIGNS.

31. THE CONTRACTOR IS REQUIRED TO NOTIFY FIRE AND / OR POLICE DEPARTMENTS OF APPROVED ROAD AND ALLEY CLOSURES. PERMITS WITH THEIR APPROVAL MUST BE ON SITE WITH ALL OTHER PERMITS.

ALL EXCAVATION OPERATIONS SHALL COMPLY WITH DISTRICT DEPARTMENT OF TRANSPORTATION STANDARDS SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES [GOLD BOOK] 2013, SECTIONS: 207, 606, AND 612

THE CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN ALL SUPPORTS AND SHORING REQUIRED FOR THE SIDES OF THE EXCAVATION, TO PREVENT DAMAGE TO THE WORK SITE OR ADJACENT PROPERTY. THE SIZE OF THE EXCAVATION SHALL BE LIMITED TO THE AMOUNT OF WORK THAT CAN BE PROPERLY PLACED AND BACKFILLED IN A SINGLE DAY. ALL OPEN EXCAVATIONS SHALL BE PROPERLY BARRICADED TO PROTECT VEHICLES AND PEDESTRIANS.

33. TRENCHES SHALL BE BACKFILLED OR STEEL- PLATED. STEEL PLATES SHALL HAVE ASPHALT CONRETE BERM ON ALL EDGES

32. ALL EXCAVATION OPERATIONS SHALL COMPLY WITH DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR

(HOT MIX ASPHALT OR HIGH PERFORMANCE COLD MIX). All DIRT, DUST AND DEBRIS SHALL BE REMOVED FROM STREET. THE STREET

STEEL PROTECTION PLATES SHALL BE USED BY CONTRACTOR TO PROTECT OPEN EXCAVATED AREAS. ALL OPEN TRENCHES OR HOLES IN THE PUBLIC SPACE WHICH ARE NOT BACKFILLED AND COMPACTED BY THE END OF EACH WORK DAY SHALL BE PLATED. THE STEEL PLATE SHALL EXTEND NO LESS THAN 18 INCHES BEYOND THE EDGE OF THE TRENCH ON ALL SIDES. STEEL PLATES

SHALL BE ATTACHED TO THE ROADWAY BY A MINIMUM OF 6 SPIKES; 4 SPIKES PREDRILLED INTO THE CORNERS OF THE PLATES AND 1 SPIKE PREDRILLED INTO EACH SIDE PARALLEL TO THE TRENCH. SPIKES SHALL BE DRILLED A MINIMUM OF 3 INCHES INTO THE HARD 36. A NON-SKID SURFACE TREATMENT SHALL BE APPLIED TO THE ENTIRE SURFACE AREA OF THE STEEL PLATE IN CASES WHERE

THE PLATE IS WITHIN DESIGNATED BICYCLE PATH OR A PLATE IS PLACED AT AN INTERSECTION OR WITHIN 75 FEET OF A TRAFFIC SIGNAL OR STOP SIGN/STOP LINE.

CONTRACTORS SHALL INSTALL "STEEL PLATE AHEAD" SIGNS WHENEVER PLATES HAVE BEEN INSTALLED. ALL LEADING ENDS OF THE TEMPORARY CONCRETE BARRIERS EXPOSED TO ON- COMING TRAFFIC SHALL BE PROTECTED WITH PORTABLE IMPACT QUADGUARD TRAFFIC ATTENUATOR. ALL ATTENUATORS SHALL HAVE OBJECT MARKERS.

39. TEMPORARY REFLECTIVE PAVEMENT TAPE OF THE APPROVED TYPE SHALL BE USED TO DESIGNATE TRAFFIC LANES. THE COLORS OF TEMPORARY PAVEMENT MARKINGS SHALL FOLLOW THE SAME STANDARD AS PERMANENT MARKINGS. ALL MARKERS SHALL BE WHITE, EXCEPT FOR THE LEFT EDGE OF THE EFFECTIVE ROADWAY, WHICH SHALL BE YELLOW.

TEMPORARY PAVEMENT MARKING

PER DDOT STANDARD SPECIFICATION FOR HIGHWAYS AND STRUCTURES [GOLD BOOK] 2013 - ON ARTERIAL STREETS NO PUBLIC TRAVEL LANE MAY BE OBSTRUCTED DURING THE HOURS OF 5:30 AM - 9:30 AM AND 3:30 RM -- 7:00 PM, MONDAY THRU FRIDAY EXCEPT HOLIDAYS. SATURDAY WORK MUST BE APPROVED IN ADVANCE. (REFERENCE SECTION 104.02 MAINTENANCE OF TRAFFIC). 40. DAYTIME WORK HOURS ARE BETWEEN 9:30AM-3:30PM OR AS APPROVED. (DON'T PERFORM WORK DURING PEAK TRAFFIC

41. NIGHTTIME WORK HOURS ARE BETWEEN 7:30PM- 4:30AM OR AS APPROVED. (DON'T PERFORM WORK DURING PEAK TRAFFIC VOLUMES <<WHEN POSSIBLE>>

ANY CONSTRUCTION IN RESIDENTIAL AND OR HOTEL ZONES REQUIRES A DAYTIME WORK HOURS PERMIT UNLESS OTHERWISE APPROVED BY DDOT.

PARKING IS TO BE PROHIBITED IN THE WORK AREA. PARKING IS TO BE RESTRICTED - 72 HOURS IN ADVANCE UNLESS THERE IS

44. ANY WORK THAT REQUIRES TEMPORARY NO-PARKING RESTRICTIONS FOR A CONTRACTOR TO PERFORM THEIR WORK SHALL REIMBURSE THE DISTRICT OF COLUMBIA ALL LOST REVENUE FOR ALL SPACES OCCUPIED IF THE NO PARKING ZONE AFFECTS PARKING METERS DURING THE LIFE OF THE WORK (DDOT/TOA TELEPHONE NUMBER IS (202-671-2020)

45. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RECORD METER NUMBERS AFFECTED BY THEIR WORK AND REPORT THOSE METERS OCCUPIED TO PARKING SERVICES.

HANDICAPPED ACCOMMODATIONS

46. ALL CONTRACTORS SHALL MAINTAIN PEDESTRIAN CROSSWALKS AND WALKWAYS WHETHER PAVED OR UNPAVED UNLESS OTHERWISE INDICATED ON THE PLANS AND APPROVED BY DDOT. TEMPORARY WHEELCHAIR RAMPS SHALL ALSO BE INSTALLED AND MAINTAINED BY THE CONTRACTOR OR AS DEEMED NECESSARY BY DDOT. COMPLIANCE TO THE AMERICAN DISABILITIES ACT (ADA) IS REQUIRED. CONTRACTORS INVOLVED IN WORK ON SIDEWALKS AND RAMPS, BE IT NEW CONSTRUCTION OR RENOVATION, NEED TO HAVE THE APPROPRIATE SIGNAGE PRESENT OFFERING SAFE AND COMPLIANT ALTERNATIVE ROUTES FOR THE DISABLED AND PEDESTRIAN

47. MOT/TCP MUST BE ADA COMPLIANT. CONTRACTORS SHALL INSTALL TEMPORARY ADA CURB RAMP FOR WORK ZONE PROJECTS WITHIN R.O.W TO PROVIDE ACCESS FOR WHEELCHAIR USERS, STROLLERS, ETC. PEDESTRIAN ACCESS ROUTE (PAR) IS THE CONTINUOUS AND UNOBSTRUCTED WALKWAY WITHIN THE R.O.W. (PUBLIC SPACE)

PEDESTRIAN ACCESS ROUTE (PAR) MUST BE FREE OF OBSTRUCTIONS AND SURFACE HAZARDS, SUCH AS CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, DEBRIS, MUD, HOLES, AND LOOSE GRAVEL AT ALL TIMES.

49. IF THE TEMPORARY TRAFFIC CONTROL ZONE (TTC) AFFECTS THE MOVEMENT OF PEDESTRIANS, ADEQUATE PEDESTRIAN ACCESS AND WALKWAYS SHALL BE PROVIDED. IF THE TTC ZONE AFFECTS AN ACCESSIBLE AND DETECTABLE PEDESTRIAN FACILITY, THE ACCESIBILITY, AND DETECTABILITY SHALL BE MAINTAINED ALONG THE ALTERNATE PEDESTRIAN ROUTE. MATERIAL AND EQUIPMENT

MATERIAL AND EQUIPMENT, AUTHORIZED FOR STORAGE IN THE PUBLIC SPACE, SHALL BE SECURED AND DELINEATED TO ELIMINATE DANGER TO PEDESTRIANS, BICYCLISTS, AND MOTORISTS DURING WORK AND NOT-WORK HOURS.

50. A CONTRACTOR WITH VEHICLES AND EQUIPMENT IN PUBLIC SPACE REQUIRES A PERMIT. ANY CONTRACTOR WHO WISH TO LEAVE EQUIPMENT OVERNIGHT IN PUBLIC SPACE ARE SUBJECT TO REEMBURSING THE CITY FOR THE SPACE BEING OCCUPIED, AND MUST HAVE A PERMIT ALLOWING OVERNIGHT STORAGE ON CITY STREETS OR IN CITY SPACE. ALL ITEMS PERMITTED TO BE STORED OVERNIGHT ON CITY STREETS OR IN CITY SPACE MUST BE SECURED AND MUST GIVE CONSIDERATION TO PUBLIC SAFETY. IN THE EVENT OF AN EMERGENCY, THE CITY RESERVES THE RIGHT TO REMOVE ALL ITEMS THAT ARE PERMITTED BY ANY MEANS NECESSARY. EMERGENCY CONTACT INFORMATION SHOULD BE PROVIDED TO DDOT WITH 24-HOUR ACCESS IN THE EVENT SUCH AN EMERGENCY OCCURS.

ALL CONSTRUCTION VEHICLES OPERATING IN AND AROUND THE WORK ZONE SHALL OPERATE STROBE OR REVOLVING LIGHTS AT ALL TIMES. THESE LIGHTS SHOULD BE MOUNTED IN SUCH A MANNER THAT THEY ARE VISIBLE 360 DEGREES. 52. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL DRIVEWAYS, GARAGES, ALLEYS AND LOADING DOCKS AT ALL TIMES, AS WELL AS

53. CONTRACTOR SHALL NOT BLOCK FIRE HYDRANT, BUS STOP, RESIDENTIAL RPP PARKING SPACES, PARKING METERS (WITHOUT PAYMENT), AND UTILITY STRUCTURES.

CHANGEABLE MESSAGE SIGNS

54. PORTABLE CHANGEABLE MESSAGE SIGNS (PCMS) MAY BE REQUIRED TO GIVE THE MOTORING PUBLIC ADVANCE NOTIFICATION OF ROAD CONDITIONS, ROADWORK, AND/OR EVENTS. ARROW BOARDS MAY ALSO BE REQUIRED IN WORK ZONES TO AID IN LANE CLOSURES AND, WHERE WORK REQUIRES, TRUCK MOUNTED ATTENUATOR (TMA) CAN BE REQUIRED AS WORK DICTATES.

SAFE ACCOMMODATION FOR PEDESTRIANS AND BICYCLISTS

A PUBLIC R.O.W. OCCUPANCY PERMIT THAT AUTHORIZED BLOCKAGE OF A SIDEWALK, BICYCLE LANE, OR OTHER PUBLIC BICYCLE PATH SHALL REQUIRE THE PERMITTEE TO PROVIDE A SAFE ACCOMMODATION FOR PEDESTRIANS AND BICYCLISTS. THE BLOCKAGE OF A SIDEWALK, BICYCLE LANE, OR OTHER BICYCLE PATH SHALL BE TREATED IN THE SAME MANNER AS THE CLOSURE OF A LANE OF MOTOR VEHICLE TRAFFIC BY APPLYING SIMILAR TEMPORARY TRAFFIC CONTROL PRACTICES AS WOULD BE APPLIED TO THE CLOSURE OF A LANE OF MOTOR VEHICLE TRAFFIC FOR EACH PERMIT ISSUED. THE DESIGN AND PLACEMENT OF TEMPORARY TCP'S SIGNS, DEVICES AND ROADWAY PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE MOST RECENT EDITION OF MUTCD. THE TERM "SAFE ACCOMMODATION" MEANS A SAFE AND CONVENIENT ROUTE FOR PEDESTRIANS, BICYCLISTS, AND MOTORISTS (FOR ALL ROAD USERS) THAT ENSURES AN ACCOMMODATION THROUGH OR AROUND A WORK ZONE THAT IS EQUAL TO THE ACCOMMODATION THAT WAS PROVIDED TO PEDESTRIANS AND BICYCLISTS BEFORE THE BLOCKAGE OF THE SIDEWALK, BICYCLE LANE, PROTECTED BICYCLE LANE, OR OTHER PUBLIC BICYCLE PATH SUCH AS CYCLE TRACK, CONTRAFLOW BIKE LANE AND SHARED TRAVEL LANE.

55. CONTRACTOR SHALL CONSIDER PEDESTRIANS AND BICYCLISTS SAFETY ACCOMMODATIONS VERY SERIOUSLY INCLUDING THE

ROUTING PRIORITY; PROVIDED THAT CLOSING A SIDEWALK AND ROUTING PEDESTRIANS TO THE SIDEWALK ON THE OPPOSITE SIDE OF THE STREET SHALL ONLY BE APPROVED AS A LAST RESORT FOR THE DURATION OF TIME NEEDED TO ASSURE PEDESTRIAN SAFETY IN THE ABSENCE OF OTHER PRACTICABLE ROUTING OPTIONS: HERE CONTRACTOR'S DECISION MUST BE BASED ALSO ON MULTIFUNCTIONAL ANALYSIS OF DIFFERENT VARIABLES SUCH AS: FUNCTIONAL CLASSIFICATION OF ROAD UNDER CONSTRUCTIO FUNCTIONAL CLASSIFICATION OF SIDE STREETS, AND ADJACENT STREETS TO THE CONSTRUCTION, STREET GEOMETRY AND R.O.W TRAFFIC AND PARKING OPERATIONS, BIKE LANE PRESENTS, BUS ROUTES, DURATION OF CONSTRUCTION, WORK ZONE ACTUAL LOCATION AND COORDINATION WITH OTHER ONGOING CONSTRUCTION PROJECTS WITHIN VICINITY OF ACTUAL WZ, THE LENGTH OF BLOCK, FAR-SIDE AND NEAR-SIDE SIGNALIZED INTERSECTIONS PRESENTS. ETC.

THE MATRIX FOR SAFE ACCOMMODATIONS OF PEDESTRIANS

MOT/TCP FOR SIDEWALK CLOSURE	FUNCTIONAL CLASSIFICATION OF STREETS IN THE DISTRICT OF COLUMBIA & DURATION OF SIDEWALK CLOSURE					
SIDEWALK CLOSURE	LOCAL STREET	COLLECTOR	MINOR ARTERIAL	PRINCIPAL		
DETOUR PEDESTRIANS TO THE OTHER SIDE OF STREET.	≤7 DAYS	≤ 5 DAYS	≤ 1 DAY	≤ 6 HOURS		
INCORPORATE SIDEWALKS, AND CROSSWALKS. SHOW DETOUR FOR PEDESTRIAN TRAFFIC AND PROVIDE APPROPRIATE PEDESTRIAN SIGNAGE SUCH AS "SIDEWALK CLOSED, ARROW, USE OTHER SIDE", "SIDEWALK CLOSED", "SIDEWALK CLOSED, CROSS HERE", ETC.	FULL CLOSURE OF THE SIDEWALK FOR NO LONGER THAN A WEEK (7 DAYS), INCLUDING AFTER HOURS AND ON SUNDAYS.	FULL CLOSURE OF THE SIDEWALK FOR NO LONGER THAN 5 DAYS, INCLUDING AFTER HOURS AND ON SUNDAYS	FULL CLOSURE OF THE SIDEWALK FOR NO LONGER THAN 1 DAY, INCLUDING AFTER HOURS AND ON SUNDAYS	FULL CLOSURE OF THE SIDEWALK BETWEEN 9: 30AM 3: 30PM MONDAY FRIDAY		
PROVIDE A PEDESTRIAN WALKWAY ON THE SAME SIDE	>7 DAYS	> 5 DAYS	> 1 DAY	> 6 HOURS		
OF THE STREET. NEXT TO WORK SIDE. CONTRACTOR MUST RECONFIGURE ROADWAY TO INCLUDE REMOVING PARKING ON OPPOSITE SIDE OF WORK TO ACCOMMODATE PEDESTRIANS. THE PEDESTRIAN ACCESS ROAD MUST BE SURROUNDED BY WATER FILLED PLASTIC BARRIERS (JERSEY BARRIER).	FULL CLOSURE OF THE SIDEWALK FOR LONGER THAN A WEEK (7 DAYS) WHERE NO WALKWAY IS PROVIDED, INCLUDING AFTER HOURS AND ON SUNDAYS.	FULL CLOSURE OF THE SIDEWALK FOR LONGER THAN 5 DAYS WHERE NO WALKWAY IS PROVIDED, INCLUDING AFTER HOURS AND ON SUNDAYS	FULL CLOSURE OF THE SIDEWALK FOR LONGER THAN 1 DAY WHERE NO WALKWAY IS PROVIDED, INCLUDING AFTER HOURS AND ON SUNDAYS	FULL CLOSURE OF THE SIDEWALK BETWEEN 9: 30AM — 3: 30PM MONDAY — FRIDAY		
ALL OTHERS	THE "LAST RESORT" ANALYSIS MUST BE BASED ON MULTIFUNCTIONAL ANALYSIS OF DIFFERENT VARIABLES WHICH WILL HELP DETERMINATE A SAFE AND EFFICIENT MOT/TCP. THE "LAST RESORT" ANALYSIS MUST BE PROVIDED INDIVIDUALLY FOR EACH MOT/TCP PROJECT.					

b) CONTRACTOR MUST CONSIDER SIDEWALK CLOSURE AS A REASONABLE OPTION ONLY FOR SOME SPECIFIC PHASES OF

CONSTRUCTION INCLUDING THE FOLLOWING: DEMOLITION / RAZE OF BUILDING / STRUCTURE PHASE OF CONSTRUCTION;

FACADE DEMOLITION: RECONSTRUCTION OR REHABILITATION OF SIDEWALK;

MOBILE CRANE OPERATION WITHIN R.O.W.; UTILITY WORK, OR OTHER ACTIVE WORK WITHIN SIDEWALK ZONE INCLUDING EMERGENCY, AND EXCAVATION.

BE MAINTAINED AT NO LESS THAN THIRTEEN FEET (13 FT.) WIDE; AND

c) ACCORDING TO SAFE ACCOMMODATION FOR PEDESTRIANS AND BICYCLISTS (24 DCMR § 3315) THE MOT/TCP DESIGNER-DEVELOPER IS REQUIRED TO PRIORITIZE THE SAFE ACCOMMODATION FOR BICYCLISTS INCLUDING THE FOLLOWING:

CLOSING A PARKING LANE AND KEEPING THE ADJACENT BICYCLE LANE OPEN; SHIFTING THE BICYCLE LANE TO A LOCATION ON THE SAME ROADWAY TO BYPASS THE WORK ZONE, AND IF NECESSARY, SHIFTING AND NARROWING THE ADJACENT MOTOR VEHICLE TRAFFIC LANES; PROVIDED THE ADJACENT MOTOR VEHICLE

TRAVEL LANES SHALL BE MAINTAINED AT NO LESS THAN TEN FEET (10 FT.) WIDE; 3. CLOSING THE ADJACENT MOTOR VEHICLE TRAVEL LANE TO PROVIDE SPACE FOR BICYCLE LANE; PROVIDED THAT A MINIMUM

OF ONE (1) MOTOR VEHICLE TRAVEL LANE SHALL REMAIN IN THE SAME DIRECTION OF TRAVEL. MERGING THE BICYCLE LANE AND THE ADJACENT TRAVEL LANE INTO A SHARED TRAVEL LANE ADJACENT TO THE WORK ZONE, INSTALLING SHARROW LANE PAVEMENT MARKINGS IN THE SHARED TRAVEL LANE AND INSTALLING WORK ZON SIGNAGE DIRECTING BICYCLISTS TO MERGE INTO THE SHARED TRAVEL LANE; PROVIDED THE SHARED TRAVEL LANE SHALL

AS A LAST RESORT, DETOURING BICYCLISTS ONTO AN ADJACENT ROADWAY, IN WHICH CASE THE DETOUR ROUTE SHALL REPLICATE, AS CLOSELY AS PRACTICABLE, THE LEVEL OF SAFETY FOUND ON THE BICYCLE ROUTE BEING BLOCKED.

SIGNAGE SHALL ADEQUATELY WARN BICYCLISTS AND MOTORISTS ALIKE OF ANY LANE SHIFT OR SHARED LANE CONDITIONS. SIGNAGE INTENDED ONLY FOR BICYCLISTS SHALL DISPLAY THE WORLD "BICYCLES", OR THE BICYCLE SYMBOL AND CLEARLY MARK THE ALTERNATE TEMPORARY ROUTE.

d) BICYCLE LANES, PARKING LANES, AND TRAVEL LANES MUST BE FREE OF OBSTRUCTIONS AND SURFACE HAZARDS, SUCH AS CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, DEBRIS, HOLES, MUD, LOOSE GRAVEL, MILLED SURFACES AND UNEVEN

PEDESTRIAN CONTROL AND PROTECTION WALKWAYS

THE SAFE ACCOMMODATION FOR PEDESTRIANS SHALL MEET OR EXCEED THE CURRENT DDOT STANDARDS. IN ACCORDANCE WITH THE MUTCD- 2009 EDITION, MOT/TCP'S SHALL REPLICATE THE EXISTING PEDESTRIAN PATHWAY AS NORMAL AS PRACTICAL AND THAT THE PEDESTRIAN WALKWAY SHALL NOT BE SEVERED OR MOVED FROM NON-CONSTRUCTION ACTIVITIES SUCH AS PARKING FOR VEHICLES OF THE STORAGE OF MATERIALS OR EQUIPMENT. THE MOT/TCP SHALL PROVIDE A PEDESTRIAN PATHWAY CONSISTENT WITH THE PHASE OF CONSTRUCTION WORK AS OUTLINED IN THE DISTRICT GUIDELINE AND STANDARDS FOR MAINTENANCE OF TRAFFIC. WORK ZONE MANUAL, 2006 EDITION AND PEDESTRIAN SAFETY AND WORK ZONE STANDARDS / COVERED AND OPEN WALKWAYS DOCUMENT.

56. ALL TEMPORARY TRAFFIC CONTROL PLAN SHALL BE DESIGNED IN ACCORDANCE WITH THE MOST RECENT ADA REGULATIONS AND THE REQUIREMENTS OF ACTUAL WORK ZONE STANDARDS.

57. THE CONTROL OF ROAD USERS -- MOTORISTS, BICYCLISTS PEDESTRIANS, INCLUDING PERSONS WITH DISABILITIES IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA), AND WORKERS THROUGH A TEMPORARY TRAFFIC CONTROL ZONE SHALL BE ESSENTIAL PART OF HIGHWAY CONSTRUCTION, UTILITY WORK, MAINTENANCE OPERATIONS, AND THE MANAGEMENT OF

58. CONTRACTORS SHALL INSTALL COVERED WALKWAYS AT LOCATIONS THAT DDOT DEEMS NECESSARY. CONTRACTOR MAY ALSO BE REQUIRED TO DEVELOP PROTECTED PEDESTRIAN PATHS AROUND THE WORK AREA THAT MAY PLACE PEDESTRIAN TRAFFIC IN TI ROADWAY TEMPORARILY. IN THIS SITUATION CONCRETE BARRIERS OR WATER FILLED BARRIERS WITH STEEL ROBBING WILL BE REQUIRED FOR DDOT APPROVAL.

WORK ZONE SPEED LIMITS

TEMPORARY WORK ZONE SPEED LIMITS MORE THAN 10MPH BELOW THE POSTED SPEED SHOULD BE AVOIDED UNLESS ABSOLUTELY NECESSARY FOR THE SAFETY OF THE TRAVELING PUBLIC OF WORK FORCE.

59. WHEN REQUIRED BY DDOT, THE CONTRACTOR MAY BE REQUIRED TO LOWER THE POSTED SPEED LIMIT IN THE WORK ZONE DURING THE LIFE OF THE PROJECT. ALL CHANGES TO REGULATORY SIGNS WILL BE INDICATED TO THE PUBLIC WITH THE ADDITION OF TWO ORANGE WORKZONE FLAGS, AND WHEN REQUIRED BY DDOT, A TYPE B LIGHT MAY BE NECESSARY.

"END CONSTRUCTION" AND "ROAD WORK AHEAD" SIGNS WILL BE REQUIRED AT THE ENDS OF THE WORK ZONE; THIS INCLUDES ANY STREETS AFFECTED THAT WILL LEAD INTO OR OUT OF THE WORK AREA.

61. CONTRACTOR SHALL HAVE, AT ALL TIMES, COPIES OF THEIR TCP'S & PERMIT ON SITE AND AVAILABLE FOR THE INSPECTOR'S REVIEW. UNLESS OTHERWISE AUTHORIZED BY DDOT, ANY PROJECT / CONTACTOR FAILING TO HAVE APPROVED PERMITS AND TCP(S) ON SITE, OR ANY CONTRACTOR FAILING TO FOLLOW THE APPROVED PLAN AND TCP, WILL BE SUBJECT TO FINES AND POSSIBLE IMMEDIATE

62. CONTRACTORS FAILING TO USE APPROVED DEVICES REQUIRED OR REQUESTED BY DDOT WILL BE SUBJECT TO POSSIBLE FINES OR

THE CONTRACTOR SHALL RESPONSIBLE FOR ESTABLISHING A QUEUING AREA THAT WILL SATISFY DDOT/ PSRA SAFETY AND EFFICIENCY REQUIREMENTS. CONSTRUCTION VEHICLE QUEUING IS NOT ALLOWED IN ANY PUBLIC STREET AND ALLEY. 64. CONTRACTOR MAY BE REQUIRED TO HIRE POLICE FOR PARKING AND WORK ZONE ENFORCEMENT.

65. ANY KIND OF STRUCTURAL DAMAGE, PROPERTY DAMAGE, WHICH OCCURS DUE TO THE CONSTRUCTION ACTIVITY ON PUBLIC SPACE AND/OR PRIVATE PROPERTY IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR -- PERMIT HOLDER WHICH CAUSED THE

MORE PER DAY FOR EACH DAY THAT ANY UNAUTHORIZED SIGN THAT REMAINS INSTALLED OR REMOVED DURING ITS AUTHORIZED 67. THE CONTRACTOR SHALL PROVIDE, ERECT, MAINTAIN AND REMOVE ALL BARRICADES, WARNING SIGNS, DELINEATORS, AND FLAGGERS IN ACCORDANCE WITH THE MUTCD - 2009, DDOT STANDARD SPECIFICATION FOR HIGHWAYS AND STRUCTURES. SECTION 612 - TRAFFIC CONTROL, AND CURRENT MOT/TCP INSPECTION CRITERIA DOCUMENT. FAILURE BY THE CONTRACTOR TO OPEN TRAFFIC

66. ANY PERSON WHO POSTS AN UNAUTHORIZED SIGN OR REMOVES AN AUTHORIZED SIGN IS SUBJECT TO A FINE OF \$100.00 OR

NIGHT TIME WORK

LANES WHEN REQUIRED AND TO MAINTAIN DESIGNATED LANES OPEN TO TRAFFIC SHALL BE SUBJECT TO \$1,000.00 FINE PER

HOUR/PER OCCURRENCE.

ROADWAY OCCUPANCY SHOULD BE SCHEDULED DURING OFF-PEAK HOURS AND, IF NECESSARY NIGHT WORK SHOULD BE CONSIDERED. DURING NIGHTTIME HOURS, THE WORK SITE SHALL BE MADE SAFE FOR TRAFFIC. WARNING SHALL BE PROVIDED, BY INSTALLING ELECTRONICALLY ILLUMINATED TRAFFIC CONTROL DEVICES SUCH AS FLASHING ARROW PANELS AND WARNING LIGHTS. THESE DEVICES SHOULD BE USED IN CONJUNCTION WITH OTHER TRAFFIC CONTROL DEVICES, AND THEIR FLASHING SEQUENCE AND LIGHT INTENSITY SHALL MEET THE REQUIREMENTS CITED IN THE MUTCD. ALL TRAFFIC CONTROL DEVICES MUST BE REFLECTORIZED DURING NIGHTTIME

69. FREQUENT NIGHTTIME INSPECTIONS ARE TO BE MAKE TO ENSURE THAT THE TRAFFIC DEVICES HAVE THE PROPER REFLECTIVITY OR LIGHTING SO THEY ARE VISIBLE AND MEANINGFUL TO THE TRAVELING PUBLIC.

70. THE CONTRACTOR SHALL OBTAIN A DSRA NOISE PERMIT FOR RESIDENTIAL, WEEKEND AND NIGHT-TIME WORK WORK COORDINATION

71. THE CONTRACTOR SHALL COORDINATE HIS MAINTENANCE OF TRAFFIC WORK WITH OTHER CONTRACTORS AND UTILITY COMPANIES WORKING IN THE SAME GENERAL LOCATION TO MINIMIZE WORK ZONE LOCATION CONFLICTS, TO MAINTAIN CONTINUITY OF TRAFFIC FLOW

72. THE CONTRACTOR SHALL GIVE - 72 HOURS PRIOR NOTICE TO THE DDOT WHEN MAKING A CHANGE IN TRAFFIC FLOW PATTERNS.

CONTRACTOR SHALL NOTIFY APPROPRIATE AND CHAIRPERSON AND RESIDENTS AND/OR MERCHANTS IN WRITING; OF PLANNED

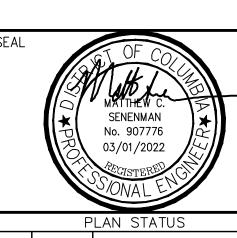
WORK/TCP THREE WEEKS PRIOR TO STARTING DATE. THE CONTRACTOR WILL BE REQUIRED TO FURNISH DDOT WITH ALL LETTERS AND

RESPÓNSES IN WRITING CONCERNING THEIR PROJECT. THIS DOES NOT APPLY TO CRANES THAT ARE USED FOR DURATION OF 1-2

73. THE CONTRACTOR SHALL COORDINATE HTS MAINTENANCE OF TRAFFIC WORK WITH DDOT/ TOA / SIGNAL DIVISION FOR SIGNAL TIMING MODIFICATIONS BEFORE BEGINNING WORK AT ANY SIGNALIZED INTERSECTION. 74. THE CONTRACTOR SHALL COORDINATE HIS MAINTENANCE OF TRAFFIC WORK WITH DDOT/ TOA / SIGNAL DIVISION, AND SAFETY TEAM FOR THE PLACEMENT OF TEMPORARY STOP SIGNS BEFORE BEGINNING WORK AT ANY SIGNALIZED INTERSECTION.

TREE PROTECTION

76. THE CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING TREES WITHIN THE PROJECT LIMITS DURING CONSTRUCTION. WORK SHALL INCLUDE PROTECTION BY FENCING OF ALL TREES. TREE PROTECTION FENCING SHALL CONSIST OF 6 FOOT TALL CHAIN LINK FENCE MATERIAL. FENCING SHALL PROTECT AN AREA NO SMALER THAN 9 FT. X 4 FT. (GOLD BOOK, REF. SECTION 608.07) 77. ALL TREE AND ROOT PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK - REF. SECTION 207.03, 608.07 AND 608.08)



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CAUTION!!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES

VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS)

OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS

GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF

SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY

AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE

NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE

THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS,

SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND

Cad file name: V:\130133 — 1101—1107 H Street NE\130133—01—001 (ENG) — 1101—1107 H Street NE\Engineering\Engineering Plans\ENG set\130133—TCP.dwg 3/1/2022

MISS UTILITY

COLUMBIA CODES AND REGULATIONS.

CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS

IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE

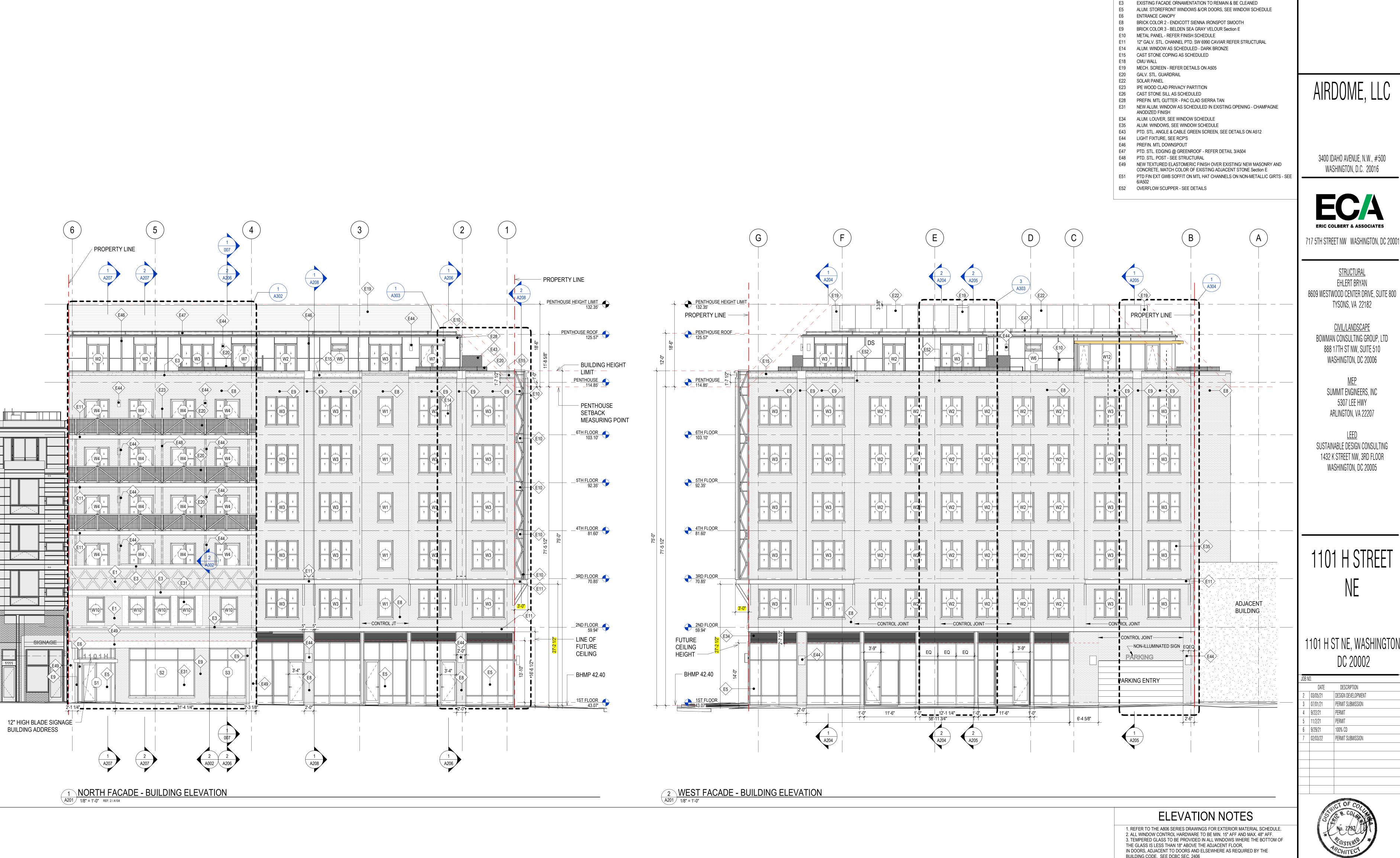
COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE

FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF

FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO

PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY

ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES |



ELEVATION KEYNOTES

EXISTING BRICK FACADE TO REMAIN; CLEAN & REPAIR AS NECESSARY

EXISTING BRICK SILL TO REMAIN

3400 IDAHO AVENUE, N.W., #500

717 5TH STREET NW WASHINGTON, DC 20001

1101 H ST NE, WASHINGTON,

B NO.						
	DATE	DESCRIPTION				
	03/05/21	DESIGN DEVELOPMENT				
	07/01/21	PERMIT SUBMISSION				
	9/22/21	PERMIT				
	11/2/21	PERMIT				
	9/29/21	100% CD				
	02/03/22	PERMIT SUBMISSION				



4. PROVIDE LOUVERS WHERE SHOWN. LOUVERS SHALL BE 4" DEEP 50% FREE AREA. PROVIDE INSULATED BLANKING PANELS ON RETAIL FRONTAGE. GARAGE

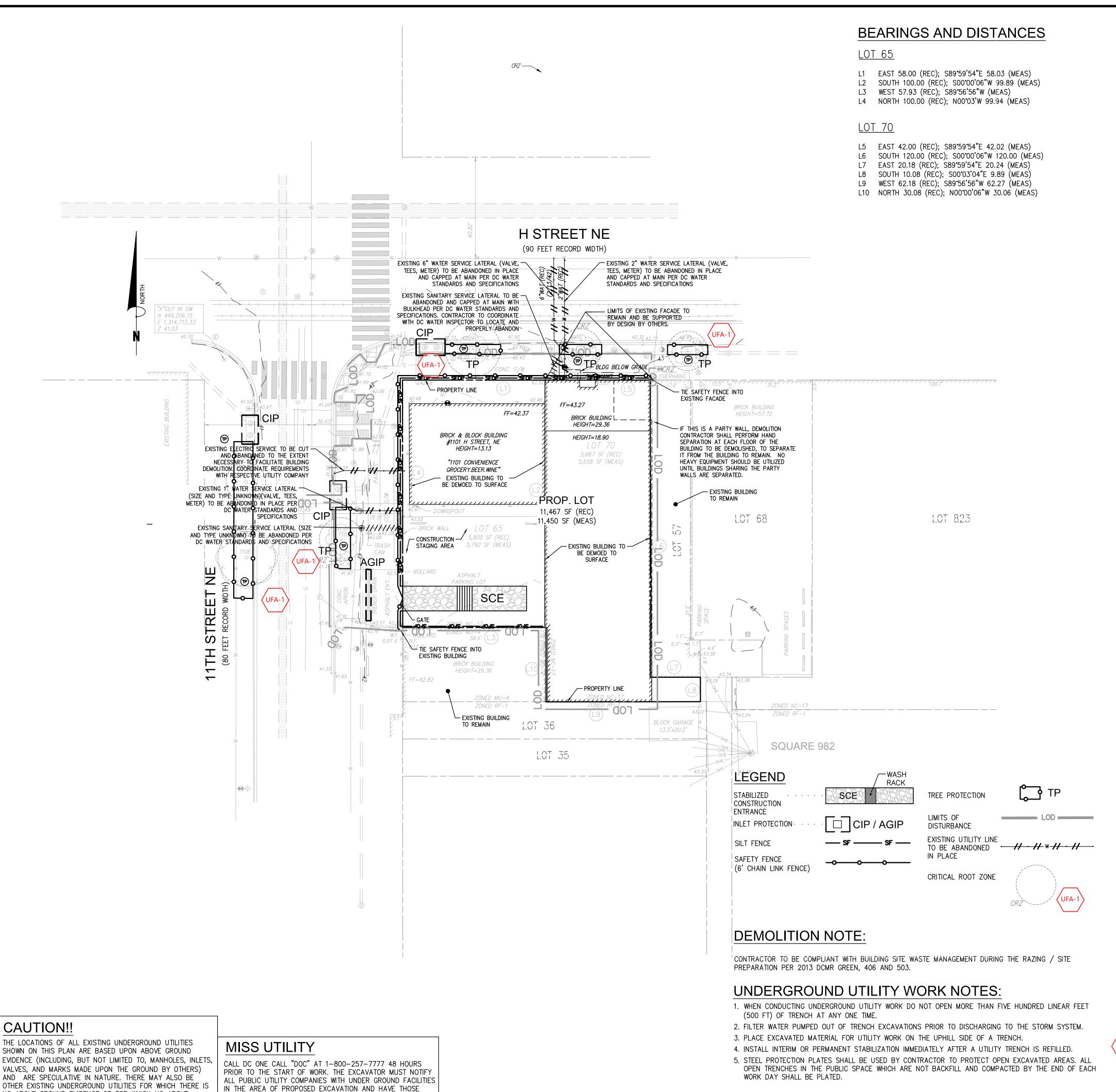
PUNCHED OPENINGS ARE SHOWN IN THE LOUVER SCHEDULE ON DRAWING A8 5. ROOF AND ACCESSORIES SHALL BE ASSEMBLED IN ACCORDANCE WITH SMACNATRB #5-09 AND #1-08 AND THE SMACNA MANUAL TO ES-1 2003 FOR THE

6. PROVIDE EXPANSION JOINTS IN BRICKWORK AS FOLLOWS: INTERNAL CORNERS AND AT A MINIMUM OF 20' O.C. VERTICALLY. PROVIDE A VERTICAL EXPANSION

OUTSIDE AIR LOUVERS SHALL BE HAVE INSECT MESH. LOUVERS IN

WIND UPLIFTLOADS INDICATED ON STRUCTURAL DRAWINGS

JOINT ON AT LEAST ONE SIDE OF WINDOW/DOOR OPENINGS 7. PROVIDE SCREENS AT ALL OPERABLE WINDOW UNITS.



DEMOLITION CONTROL NARRATIVE

INSTALL SEDIMENT AND EROSION CONTROL SILT FENCE AROUND BUILDING. LOADING OF DEBRIS WILL TAKE PLACE IN PARKING LOT SOUTH WEST OF THE OF THE EXISTING BUILDINGS. EXPOSED AREA TO BE COVERED WITH BRICKBAT AFTER DEMOLITION FOR GROUND COVER ONCE BUILDING SLAB HAS BEEN REMOVED. CONTROLS TO BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION AND REMOVED AFTER STABILIZATION. CONTACT DEPARTMENT OF ENERGY AND ENVIRONMENT, WATERSHED PROTECTION DIVISION AT 202-535-2240 TO SCHEDULE PRE-CONSTRUCTION MEETING.

DEMOLITION SEQUENCE:

1. CONTACT DC-WATERSHED PROTECTION DIVISION AT 202-535-2240 TO SCHEDULE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.

2. INSTALL SILT FENCE AND SAFETY FENCE AROUND PERIMETER OF PROPOSED WORK AS INDICATED. 3. INSTALL INLET AND TREE PROTECTION AS INDICATED. CONTRACTOR TO INSTALL INLET PROTECTION AT NEAREST DOWNSTREAM STORM INLET PRIOR TO THE LAND-DISTURBING ACTIVITY.

4. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.

5. REMOVE OR ABANDON EXISTING UTILITY CONNECTIONS AND PIPES.

6. KNOCK DOWN TWO EXISTING BUILDINGS.

6. REMOVE DEBRIS FROM SITE BY TRUCK.

7. STABILIZE ALL DISTURBED AREAS WITH SEED AND STRAW AS TEMPORARY GROUND COVER.

NOTES:

1. EXISTING UTILITIES ON THE EXISTING BUILDING THAT ARE NOT SHOWN ON THIS PLAN TO BE REMOVED AT THE MAIN IF NOT REQUIRED FOR FUTURE SERVICE. COORDINATE REQUIREMENTS WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO REMOVAL

2. EXISTING WATER SERVICE LATERAL, VALVES, AND TEES NOT SHOWN ON PLAN TO BE REMOVED AND CAPPED AT MAIN PER DC WATER STANDARDS AND SPECIFICATIONS.

3. EXISTING SEWER SERVICE LATERAL AND RELATED APPURTENANCES NOT SHOWN ON THIS PLAN TO BE REMOVED WITH BULKHEAD AT MAIN PER DC WATER STANDARDS AND SPECIFICATIONS. 4. CONTRACTOR TO INSTALL INLET PROTECTION AT THE NEAREST DOWNSTREAM STORM INLET PRIOR TO THE

LAND-DISTURBING ACTIVITY. REFER TO SHEET CIVO520 FOR DETAILS. 5. SEDIMENT TRAPS OR BASINS AND OTHER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED NO LATER THAN THE FIRST PHASE OF LAND GRADING.

6. SEDIMENT TRAPS OR BASINS AND OTHER ESCS SHALL BE INSTALLED AS SOON AS NEW SITE-RELATED RUNOFF IS DETECTED AND EMPLOYED AT ALL TIMES TO PROTECT INLETS OR STORM SEWERS BELOW SILT-PRODUCING AREAS

7. NO LATER THAN THE FIRST DAY OF CONSTRUCTION, INSTALL SITE ACCESS MEASURES TO MINIMIZE OFF-SITE VEHICLE TRACKING OF SEDIMENTS. EACH CONSTRUCTION ENTRANCE MUST BE STABILIZED AND INCLUDE EACH ADDITIONAL MEASURE REQUIRED TO KEEP SEDIMENT FROM BEING CARRIED ONTO PUBLIC STREETS BY CONSTRUCTION VEHICLES AND WASHED INTO A STORM DRAIN OR WATERWAYS.

8. REMOVE OFF-SITE ACCUMULATION OF SEDIMENT DAILY DURING CONSTRUCTION AND IMMEDIATELY AT THE REQUEST OF A DOEE INSPECTOR.

9. IMMEDIATELY AFTER DEBRIS BASINS, DIVERSIONS, WATERWAYS, AND RELATED STRUCTURES ARE BUILT, SEED AND MULCH, OR INSTALL SOD & STABILIZATION BLANKET 10. PERFORM ROUTINE MAINTENANCE TO PREVENT ANY NEW DESTABILIZED AREAS.

11. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF GUTTERS AND DOWNSPOUTS AS SOON AS PRACTICABLE.

12. MEASURES SHALL BE TAKEN TO ACHIEVE A NON-ERODING VELOCITY FOR STORMWATER EXITING FROM A ROOF OR DOWNSPOUT OR TO TEMPORARILY PIPE THAT STORMWATER DIRECTLY TO A STORM DRAIN

SITE DISTURBANCE

TOTAL SITE AREA: 11,450 OR 0.26 AC. LOT 65: 5,792 SF OR 0.13 AC. LOT 70: 5,658 SF OR 0.13 AC.

RAZE AREA OF DISTURBANCE: 8,465 SF OR 0.19 AC.

TOTAL VOLUME OF BUILDING TO BE REMOVED: 5.299 CUBIC YARDS

1101 H STREET: 1,071 CUBIC YARDS (2,225 SF BLDG FOOTPRINT TO BE REMOVED, 13' HEIGHT)

1107 H STREET: 4,228 CUBIC YARDS (5,548 SF BLDG FOOTPRINT TO BE REMOVED; 874 SF OF 29' HEIGHT, 4674 SF OF 19' HEIGHT)

CHAPTER 21 DCMR § 517 STORMWATER MANAGEMENT EXEMPTIONS

THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORM WATER MANAGEMENT REQUIREMENTS:

- CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS
- REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL

DUST CONTROL NOTES:

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE. 2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.

3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS. 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.

5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:

- A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE
- B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER:
- DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING. 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR

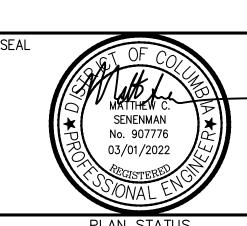
C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS

- SHALL: A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
- B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

TREE AND ROOT PROTECTION NOTES:

ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) - SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE THE CONFLICTING WORK.

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COLUMBIA CODES AND REGULATIONS.

FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO

COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE

FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF

NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE

THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF

SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY

TOTAL AREAS - SOE:

SITE AREA: 11,492 SF OR 0.26 AC

AREA TO BE DISTURBED: 12,502 SF OR 0.29 AC (SOE ONLY)

EXCAVATION CUT/FILL

THE TOTAL VOLUME OF EXCAVATION = 10,057 SF (AREA) x 10 FT (DEPTH) / 27 = 3,724 CY \pm CUT (CY)-3,724 CY

FILL (CY)-0 CY

EXCAVATION OF UTILITY TRENCHING (CY)-11 CY

CHAPTER 21 DCMR § 517 STORMWATER MANAGEMENT EXEMPTIONS

CAUTION!!

MANAGEMENT REQUIREMENTS:

(500 FT) OF TRENCH AT ANY ONE TIME.

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORM WATER

. WHEN CONDUCTING UNDERGROUND UTILITY WORK DO NOT OPEN MORE THAN FIVE HUNDRED LINEAR FEET

2. FILTER WATER PUMPED OUT OF TRENCH EXCAVATIONS PRIOR TO DISCHARGING TO THE STORM SYSTEM.

CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS

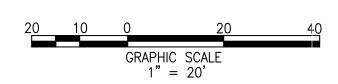
REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL

UNDERGROUND UTILITY WORK NOTES:

3. PLACE EXCAVATED MATERIAL FOR UTILITY WORK ON THE UPHILL SIDE OF A TRENCH.

MISS UTILITY

CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.



BEARINGS AND DISTANCES

LOT 65

L1 EAST 58.00 (REC); S89°59'54"E 58.03 (MEAS)

L2 SOUTH 100.00 (REC); S00°00'06"W 99.89 (MEAS)

L3 WEST 57.93 (REC); S89°56'56"W (MEAS) L4 NORTH 100.00 (REC); N00°03'W 99.94 (MEAS)

LOT 70

L5 EAST 42.00 (REC); S89°59°54"E 42.02 (MEAS)

SOUTH 120.00 (REC); S00°00'06"W 120.00 (MEAS) EAST 20.18 (REC); S89°59'54"E 20.24 (MEAS)

L8 SOUTH 10.08 (REC); S00°03'04"E 9.89 (MEAS) L9 WEST 62.18 (REC); S89°56'56"W 62.27 (MEAS)

L10 NORTH 30.08 (REC); N00°00'06"W 30.06 (MEAS)

DUST CONTROL NOTES:

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4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.

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GAUGE: B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE

COVERAGE OF GROUND WITH WATER: C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS

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C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

CONSTRUCTION DATES:

THE PROPOSED WORK IS DUE TO COMMENCE IN Q4 2021 TO Q1 2023. EXACT BEGINNING AND END OF CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

SEDIMENT AND EROSION CONTROL NARRATIVE:

INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING SILT FENCE, INLET PROTECTION, TREE PROTECTION, AND STABILIZED CONSTRUCTION ENTRANCE AT SITE. FOLLOWING DISCONNECTION OF UTILITIES, BUILDING TO BE DEMOLISHED TO THE SURFACE USING DISTRICT APPROVED DEMOLITION METHODS. DURING DEMOLITION, DEBRIS WILL BE REMOVED FROM SITE BY TRUCK. CONTRACT DC DEPARTMENT OF THE ENVIRONMENT. WATERSHED PROTECTION DIVISION AT 202-535-2250 TO SCHEDULE PRE-CONSTRUCTION

TREE AND ROOT PROTECTION NOTES:

ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) - SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE THE CONFLICTING WORK.

TOTAL AREAS - SOE:

SITE AREA: 11,492 SF OR 0.26 AC AREA TO BE DISTURBED: 12,502 SF OR 0.29 AC (SOE ONLY)

EXCAVATION CUT/FILL:

THE TOTAL VOLUME OF EXCAVATION = 10,057 SF (AREA) x 10 FT (DEPTH) / 27 = 3,724 CY \pm

CUT (CY)-3,724 CY FILL (CY)-0 CY

EXCAVATION OF UTILITY TRENCHING (CY)-11 CY

CHAPTER 21 DCMR § 517 STORMWATER MANAGEMENT EXEMPTIONS THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORM WATER MANAGEMENT REQUIREMENTS:

 CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL

UNDERGROUND UTILITY WORK NOTES:

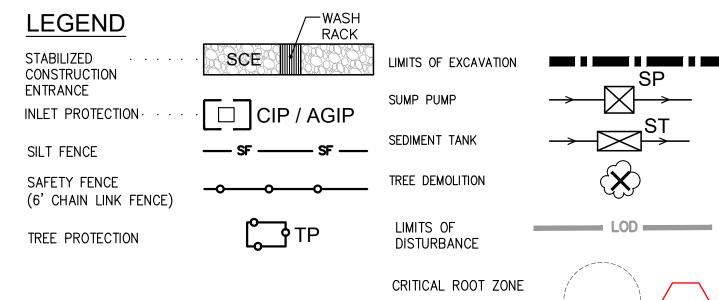
1. WHEN CONDUCTING UNDERGROUND UTILITY WORK DO NOT OPEN MORE THAN FIVE HUNDRED LINEAR FEET (500 FT) OF TRENCH AT ANY ONE TIME.

2. FILTER WATER PUMPED OUT OF TRENCH EXCAVATIONS PRIOR TO DISCHARGING TO THE STORM SYSTEM.

3. PLACE EXCAVATED MATERIAL FOR UTILITY WORK ON THE UPHILL SIDE OF A TRENCH.

4. INSTALL INTERIM OR PERMANENT STABILIZATION IMMEDIATELY AFTER A UTILITY TRENCH IS REFILLED.

5. STEEL PROTECTION PLATES SHALL BE USED BY CONTRACTOR TO PROTECT OPEN EXCAVATED AREAS. ALL OPEN TRENCHES IN THE PUBLIC SPACE WHICH ARE NOT BACKFILL AND COMPACTED BY THE END OF EACH WORK DAY SHALL BE PLATED.



CONSTRUCTION AND STABILIZATION SEQUENCE:

CONTACT DC WATERSHED PROTECTION DIVISION AT 202-535-1364 TO SCHEDULE THE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.

- 2. CONTACT ELAINE WILSON OF DC WATER AT 202-787-4177 TO OBTAIN A DC WATER TEMPORARY DISCHARGE PERMIT FOR PORTABLE SEDIMENT TANK DISCHARGE TO THE COMBINED SEWER SYSTEM (CSS).
- TEMPORARY DISCHARGE PERMIT FROM DC WATER WILL BE OBTAINED FOR THE STORMWATER DISCHARGE FROM THE SEDIMENT STORAGE TANK OR DEWATERING BMP.
- INSTALL SEDIMENT AND EROSION CONTROL MEASURES AS NEEDED INCLUDING STABILIZED CONSTRUCTION ENTRANCE, WASH RACK, INLET PROTECTION, AND SILT FENCE AS INDICATED ON THIS SHEET, SEE SHEET CIVO520 FOR SEDIMENT AND EROSION CONTROL DETAILS.
- SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
- 6. AT THE COMPLETION OF THIS PHASE OF CONSTRUCTION, FOLLOWING SITE STABILIZATION AND UPON INSPECTOR'S APPROVAL, TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES CAN BE REMOVED.

EROSION AND SEDIMENT CONTROL NOTES:

- FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACES OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1): AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC). [21 DCMR § 542.9 (0)]
- 2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE. [21 DCMR § 543.6]
- 3. CONTACT DOEE INSPECTION (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY. [21 DCMR § 503.7 (A)]
- A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DOEE INSPECTORS. [21 DCMR § 542.15]
- ESC MEASURES SHALL BE IN PLACE TO STABILIZE AN EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE. [21 DCMR § 543.7].
- STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE. [21] DCMR § 543.16 (A)]
- 7. STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION. [21 DCMR § 543.16 (B)]
- FILL MATERIAL MUST BE FREE OF CONTAMINATION LEVELS OF ANY POLLUTANT THAT IS. OR MAY BE CONSIDERED TO REPRESENT, A POSSIBLE HEALTH HAZARD TO THE PUBLIC OR MAY BE DETRIMENTAL TO SURFACE OR GROUND WATER QUALITY. OR WHICH MAY CAUSE DAMAGE TO PROPERTY OR THE DRAINAGE SYSTEM. ALL FILL MATERIAL MUST BE FREE OF HAZARDOUS MATERIALS AND COMPLY WITH ALL
- PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION. [21 DCMR § 543.5]
- 10. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. [21 DCMR § 542.12 (A)]
- 11. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OF EROSION AND SEDIMENT CONTROLS. [21 DCMR § 542.12 (B)]
- 12. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING TWO CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES). [21 DCMR § 542.12 (B.1.B.2)]
- 13. FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF THIS SWPPP ON SITE. [21 DCMR § 543.10 (B)]
- POST A SIGN THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER POLLUTION. THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. EACH SIGN WILL BE NO LESS THAN 18 X 24 INCHES IN SIZE AND MADE OF MATERIALS THAT WILL WITHSTAND WEATHER FOR THE DURATION OF THE PROJECT. LETTERING WILL BE AT LEAST 1 INCH IN HEIGHT AND EASILY READABLE BY THE PUBLIC FROM A DISTANCE OF TWELVE FEET (12 FT). THE SIGN MUST DIRECT THE PUBLIC, IN SUBSTANTIALLY THE FOLLOWING FORM: "TO REPORT EROSION, RUNOFF, OR STORMWATER POLLUTION" AND WILL PROVIDE THE CONSTRUCTION SITE ADDRESS, DOEE'S TELEPHONE NUMBER (202-535-2977), DOEE'S E-MAIL ADDRESS (IEB.SCHEDULING@DC.GOV), AND THE 311 MOBILE APP HEADING ("CONSTRUCTION-EROSION RUNOFF"). [21 DCMR § 543.22]
- 15. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (A) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (C) SPEAK ON SITE WITH DOEE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (A) LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (B) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES. INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION. DURING CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE-APPROVED TRAINING PROGRAM. [21 DCMR § 547]

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SENENMAN No. 907776 03/01/2022 PLAN STATUS

2 9/22/21 PERMIT 1 2/24/21 DESIGN DEVELOPMENT NO. DATE DESCRIPTION JNC DESIGN DRAWN CHKD 1" = 2130133-01-00 SEPTEMBER, 202 CIV0132

Cad file name: V: \130133 - 1101-1107 H Street NE\130133-01-001 (ENG) - 1101-1107 H Street NE\Engineering\Engineering\Engineering Plans\ENG set\130133-PlnSht.dwg 3/2/2022

BEARINGS AND DISTANCES LOT 65 L1 EAST 58.00 (REC); S89°59'54"E 58.03 (MEAS) L2 SOUTH 100.00 (REC); S00°00'06"W 99.89 (MEAS) L3 WEST 57.93 (REC); S89°56'56"W (MEAS) L4 NORTH 100.00 (REC); N00°03'W 99.94 (MEAS) LOT 70 H STREET NE L5 EAST 42.00 (REC); S89°59°54"E 42.02 (MEAS) 12"DIP WATER (REC SOUTH 120.00 (REC); S00°00'06"W 120.00 (MEAS) (90 FEET RECORD WIDTH) EAST 20.18 (REC); S89°59'54"E 20.24 (MEAS) L8 SOUTH 10.08 (REC); S00°03'04"E 9.89 (MEAS) L9 WEST 62.18 (REC); S89°56'56"W 62.27 (MEAS) L10 NORTH 30.08 (REC); N00°00'06"W 30.06 (MEAS) CONC. W/ -STREETCAR TRACKS CELLAR BRICK BUILDING 358 SF (MEAS) PROP. LOT 11,467 SF (REC) LOT 68 LOT 823 11,450 SF (MEAS) 5,800 SF (REC) 5,792 SF (MEAS) 빌 STRE EET RECORD CELLAR M V M L.UI / i BRICK BUILDING HEIGHT=29.36 SQUARE 982 LEGEND ∕—WASH RACK STABILIZED SCE TREE PROTECTION CONSTRUCTION ENTRANCE _____ LOD _____ LIMITS OF INLET PROTECTION DISTURBANCE CRITICAL ROOT ZONE CONSTRUCTION AND STABILIZATION SEQUENCE TREE AND ROOT PROTECTION NOTES CONTACT DC WATERSHED PROTECTION DIVISION AT 202-535-1364 TO SCHEDULE THE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION. ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A INSTALL SEDIMENT AND EROSION CONTROL MEASURES AS NEEDED INCLUDING STABILIZED CONSTRUCTION (UFA-4) PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL ENTRANCE, WASH RACK, INLET PROTECTION, AND SILT FENCE AS INDICATED ON THIS SHEET. SEE SHEET PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT CIV502 FOR SEDIMENT AND EROSION CONTROL DETAILS. OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) - SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES. CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE

THE CONFLICTING WORK.

UNDERGROUND UTILITY WORK NOTES:

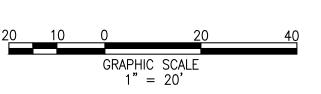
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CAUTION!!

CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.



- FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACES OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1); AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC). [21 DCMR § 542.9 (0)]
- 2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE. [21 DCMR § 543.6]
- CONTACT DOEE INSPECTION (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY. [21 DCMR § 503.7 (A)]
- 4. A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DOEE INSPECTORS. [21 DCMR § 542.15]
- LARGER DEVELOPMENT SITE. [21 DCMR § 543.7].
- STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE. [21]
- 7. STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION. [21 DCMR § 543.16 (B)]
- FILL MATERIAL MUST BE FREE OF CONTAMINATION LEVELS OF ANY POLLUTANT THAT IS, OR MAY BE CONSIDERED TO REPRESENT, A POSSIBLE HEALTH HAZARD TO THE PUBLIC OR MAY BE DETRIMENTAL TO SURFACE OR GROUND WATER QUALITY, OR WHICH MAY CAUSE DAMAGE TO PROPERTY OR THE DRAINAGE SYSTEM. ALL FILL MATERIAL MUST BE FREE OF HAZARDOUS MATERIALS AND COMPLY WITH ALL APPLICABLE DISTRICT AND FEDERAL REGULATIONS.
- PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION. [21 DCMR § 543.5]
- 10. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. [21 DCMR § 542.12 (A)]
- 11. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OF EROSION AND SEDIMENT CONTROLS. [21 DCMR § 542.12 (B)]
- 12. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING TWO CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS,
- STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF THIS SWPPP ON SITE. [21 DCMR § 543.10 (B)]
- 14. POST A SIGN THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER POLLUTION. THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. EACH SIGN WILL BE NO LESS THAN 18 X 24 INCHES IN SIZE AND MADE OF MATERIALS THAT WILL WITHSTAND WEATHER FOR THE DURATION OF THE PROJECT. LETTERING WILL BE AT LEAST 1 INCH IN HEIGHT AND EASILY READABLE BY THE PUBLIC FROM A DISTANCE OF TWELVE FEET (12 FT). THE SIGN MUST DIRECT THE PUBLIC, IN SUBSTANTIALLY THE FOLLOWING FORM: "TO REPORT EROSION, RUNOFF, OR STORMWATER POLLUTION" AND WILL PROVIDE THE CONSTRUCTION SITE ADDRESS, DOEE'S TELEPHONE NUMBER (202-535-2977), DOEE'S E-MAIL ADDRESS (IEB.SCHEDULING@DC.GOV), AND THE 311 MOBILE APP HEADING ("CONSTRUCTION-EROSION RUNOFF"). [21 DCMR § 543.22]
- 15. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (A) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (C) SPEAK ON SITE WITH DOEE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (A) LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (B) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES, INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION. DURING CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE-APPROVED TRAINING PROGRAM. [21 DCMR § 547]

DUST CONTROL NOTES:

- 1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE
- 2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
- 3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS. 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION
- PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
- 5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALLS
- A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE
- B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
- C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR
- A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND
- MIST NOZZLES; B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

EROSION AND SEDIMENT CONTROL NOTES:

- ESC MEASURES SHALL BE IN PLACE TO STABILIZE AN EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A

- OR GEOTEXTILES). [21 DCMR § 542.12 (B.1,B.2)]
- 13. FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED

INSTALL NEW UTILITIES. REMOVE ANY TEMPORARY BLOCKING FROM PREVIOUS CONSTRUCTION PHASES.

AT THE COMPLETION OF THIS PHASE OF CONSTRUCTION, FOLLOWING SITE STABILIZATION AND UPON

THE PROPOSED WORK IS DUE TO COMMENCE IN Q4 2021 TO Q1 2023. EXACT BEGINNING AND END OF

SEDIMENT AND EROSION CONTROL NARRATIVE:

DEMOLITION, DEBRIS WILL BE REMOVED FROM SITE BY TRUCK. CONTRACT DC DEPARTMENT OF THE

INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING SILT FENCE, INLET PROTECTION, TREE

ENVIRONMENT. WATERSHED PROTECTION DIVISION AT 202-535-2250 TO SCHEDULE PRE-CONSTRUCTION

PROTECTION, AND STABILIZED CONSTRUCTION ENTRANCE AT SITE. FOLLOWING DISCONNECTION OF UTILITIES,

BUILDING TO BE DEMOLISHED TO THE SURFACE USING DISTRICT APPROVED DEMOLITION METHODS. DURING

INSPECTOR'S APPROVAL, TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES CAN BE REMOVED.

CONSTRUCT BUILDING AND ALL OTHER ABOVE GROUND UTILITIES.

FINAL GRADE THE SITE FOR SIDEWALK INSTALLATION.

FINAL GRADE LANDSCAPE AREAS AND STABILIZE.

CONSTRUCTION DATES:

MEETING.

CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

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DOEE SOIL EROSION AND SEDIMENT CONTROL PLAN GENERAL NOTES

- 1. FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACES OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1); AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC).
- 2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE.
- 3. CONTACT DOEE INSPECTION (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY.
- 4. A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DOEE INSPECTORS.
- 5. ESC MEASURES SHALL BE IN PLACE TO STABILIZE AND EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE.
- STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND
- STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION.
- 8. PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION.
- 9. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROL, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
- 10. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OR EROSION AND SEDIMENT CONTROLS.
- 11. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAVE BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES).
- 12. FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF
- 13. POST A SIGN THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER POLLUTION. THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. EACH SIGN WILL BE LESS THAN 18 X 24 INCHES IN SIZE AND MADE OF MATERIALS THAT WILL WITHSTAND WEATHER FOR THE DURATION OF THE PROJECT. LETTERING WILL BE AT LEAST 1 INCH IN HEIGHT AND EASILY READABLE BY THE PUBLIC FROM A DISTANCE OF TWELVE FEET (12 FT). THE SIGN MUST DIRECT THE PUBLIC, IN SUBSTANTIALLY THE FOLLOWING FORM: "TO REPORT EROSION, RUNOFF, OR STORMWATER POLLUTION" AND WILL PROVIDE THE CONSTRUCTION ADDRESS, DOEE'S TELEPHONE NUMBER (202-535-2977), DOEE'S EMAIL ADDRESS (IEB.SCHEDULING@DC.GOV), AND THE 311 MOBILE APP HEADING ("CONSTRUCTION-EROSION

IF A SITE DISTURBS 5,000 SQUARE FEET OF LAND OR GREATER, THE ESC PLAN MUST CONTAIN THE FOLLOWING STATEMENT:

14. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (A) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (C) SPEAK ON SITE WITH DOEE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (A) LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (B) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES, INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION, DURING CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE APPROVED TRAINIGN PROGRAM.

STREET SWEEPING

- 1. STREETS WITHIN ONE MILE (1.6km) SHALL BE INSPECTED DAILY, ANY DROPPED SOIL, DUST AND/OR DEBRIS SHALL BE REMOVED.
- 2. VACUUM TYPE STREET CLEANER SHALL BE USED TO EFFECTIVELY REMOVE TOTAL DUST AND DIRT ON PAVED SURFACES.
- 3. ROADS SHALL BE SWEPT ON A WEEKLY BASIS (MINIMUM) DURING ALL ON AND OFF-SITE HAULING OPERATIONS FOR UP TO ONE MILE

2.0 STANDARDS AND SPECIFICATIONS FOR STABLIZED CONSTRUCION ENTRANCE WITH WASH RACK

DEFINITION: A STABILIZED CONSTRUCTION ENTRANCE (SCE) WITH WASH RACK IS A TEMPORARY PAD OF AGGREGATE WITH A GEOTEXTILE UNDERLINER THAT IS ENHANCED USING A WASH RACK EMBEDDED IN THE SCE AND LOCATED WHERE VEHICLES ENTER OR LEAVE A CONSTRUCTION SITE.

<u>PURPOSE:</u> TO REDUCE THE AMOUNT OF SEDIMENT TRANSPORTED ONTO STREETS OR PUBLIC RIGHTS-OF-WAY BY VEHICLES EXITING THE CONSTRUCTION SITE.

CONDITIONS WHERE PRACTICE APPLIES: CONSIDER USING STABILIZED CONSTRUCTION ENTRANCES WITH WASH RACKS WHEREVER SOIL AND/OR TRAFFIC CONDITIONS ON SITE REQUIRE WASHING THE CONSTRUCTION VEHICLE WHEELS PRIOR TO EXITING THE SITE TO AVOID EXCESSIVE TRACKING OF MUD AND DIRT ONTO A ROADWAY.

DESIGN CRITERIA: A MINIMUM OF 50 FEET LENGTH SHALL BE USED (30 FEET FOR A SINGLE-FAMILY RESIDENCE LOT). A MINIMUM OF 10 FEET WIDTH SHALL BE USED AND FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. PLACE NONWOVEN GEOTEXTILE CLASS SE OVER THE EXISTING GROUND PRIOR TO PLACING STONE. PLACE CRUSHED AGGREGATE 2 INCHES TO 3 INCHES IN SIZE (SEE APPENDIX A, TABLE A.2) OR RECYCLED CONCRETE EQUIVALENT (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES UNDER THE ENTRANCE TO MAINTAIN POSITIVE DRAINAGE. PROTECT THE PIPE INSTALLED UNDER THE SCE WITH A MOUNTABLE BERM. SIZE THE PIPE WITH A MINIMUM DIAMETER OF 6 INCHES TO CONVEY THE 2-YEAR, 24-HOUR STORM. A PIPE WILL NOT BE NECESSARY WHEN THE SCE IS LOCATED AT A HIGH SPOT AND CONVEYS NO DRAINAGE. LOCATE A STABILIZED CONSTRUCTION ENTRANCE AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE. WHERE POSSIBLE, LOCATE CONSTRUCTION ENTRANCES AT THE HIGH SIDE OF THE PROJECT AREA. WHERE THE STABILIZED CONSTRUCTION ENTRANCE CREATES AN OPENING IN THE PERIMETER SILT FENCE, SECURELY TIE THE SILT FENCE INTO THE MOUNTABLE BERM AT

CONSTRUCTION SPECIFICATIONS:

ITS CENTERLINE TO PROVIDE A CONTINUOUS BARRIER.

- . USE A WASH RACK DESIGNED AND CONSTRUCTED/MANUFACTURED FOR THE ANTICIPATED TRAFFIC LOADS. CONCRETE, STEEL, OR OTHER MATERIALS ARE ACCEPTABLE. PREFABRICATED UNITS SUCH AS CATTLE GUARDS ARE ACCEPTABLE. USE A MINIMUM DIMENSION OF 6 FEET BY 10 FEET. ORIENT THE PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. DIRECTION OF RIBS AS SHOWN ON THE DETAIL. APPROACHES TO THE WASH RACK SHOULD BE A MINIMUM OF 25 FEET ON BOTH SIDES.
- INSTALL PRIOR TO, ALONGSIDE OF, OR AS PART OF THE SCE. 3. DIRECT WASH WATER TO AN APPROVED SEDIMENT TRAPPING DEVICE.

MAINTAIN THE ENTRANCE IN A CONDITION THAT WILL MINIMIZE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTSOF-WAY. MAINTAIN STABILIZED CONSTRUCTION ENTRANCES WITH WASH RACKS TO THE SPECIFIED DIMENSIONS BY ADDING ROCK WHEN NECESSARY AT THE END OF EACH WORKDAY, MAINTAIN A STOCKPILE OF ROCK MATERIAL ON SITE FOR THIS PURPOSE. REPAIR DAMAGED WASH RACKS AS NECESSARY TO MAINTAIN THEIR EFFECTIVENESS. IMMEDIATELY REMOVE ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY BY VACUUMING, SWEEPING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE. A STABILIZED CONSTRUCTION ENTRANCE WITHOUT A WASH RACK IS SHOWN IN SECTION 2.1 STABILIZED CONSTRUCTION ENTRANCE AFTER CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED, REMOVE THE SCE AND STABILIZE THE SUBSEQUENT AREA UNLESS IT WILL BE USED AS AN UNDERLAYMENT FOR A DRIVEWAY.

2.5 STANDARDS AND SPECIFICATIONS FOR LAND GRADING

<u>DEFINITION:</u> RESHAPING OF THE EXISTING LAND SURFACE IN ACCORDANCE WITH A PLAN AS DETERMINED BY THE ENGINEERING SURVEY AND LAYOUT.

PURPOSE: TO PROVIDE FOR EROSION CONTROL AND VEGETATIVE ESTABLISHMENT ON AREAS WHERE THE EXISTING LAND SURFACE IS TO BE RESHAPED BY GRADING.

CONDITION WHERE PRACTICE APPLIES: ANY SITE WHERE LAND GRADING WILL OCCUR.

DESIGN CRITERIA: THE GRADING PLAN SHOULD INCORPORATE BUILDING DESIGNS AND STREET LAYOUTS THAT UTILIZE EXISTING TOPOGRAPHY, RETAIN DESIRABLE NATURAL SURROUNDINGS, AND AVOID EXTREME GRADE MODIFICATIONS. INFORMATION SUBMITTED MUST PROVIDE SUFFICIENT TOPOGRAPHIC SURVEYS AND SOIL INVESTIGATIONS TO DETERMINE LIMITATIONS THAT MUST BE IMPOSED ON THE GRADING OPERATION RELATED TO SLOPE STABILITY. EFFECT ON ADJACENT PROPERTIES AND DRAINAGE PATTERNS, MEASURES FOR DRAINAGE AND WATER REMOVAL AND VEGETATIVE TREATMENT, ETC.

THE PLAN MUST SHOW EXISTING AND PROPOSED CONTOURS OF THE AREA(S) TO BE GRADED. THE PLAN MUST ALSO INCLUDE PRACTICES FOR EROSION CONTROL, SLOPE STABILIZATION, SAFE DISPOSAL OF RUNOFF WATER AND DRAINAGE, SUCH AS WATERWAYS, LINED DITCHES, REVERSE SLOPE BENCHES (INCLUDE GRADE AND CROSS SECTION), GRADE STABILIZATION STRUCTURES, RETAINING WALLS, AND SURFACE AND SUBSURFACE DRAINS. THE PLAN MUST ALSO INCLUDE PHASING OF THESE PRACTICES. THE FOLLOWING MUST BE INCORPORATED INTO THE PLAN:

- BALANCE THE CUT AND FILL SLOPES WHERE POSSIBLE TO MINIMIZE OFF-SITE TRANSPORT OF SOILS, AND MINIMIZE THE LENGTH OF TIME THAT UNGRADED SLOPES ARE EXPOSED IN THE CONSTRUCTION SEQUENCE.
- 2. MAKE PROVISIONS TO SAFELY CONDUCT SURFACE RUNOFF TO STORM DRAINS, PROTECTED OUTLETS, OR STABLE WATER COURSES TO ENSURE THAT SURFACE RUNOFF WILL NOT DAMAGE SLOPES OR OTHER GRADED AREAS.
- CUT AND FILL SLOPES THAT ARE TO BE STABILIZED WITH GRASSES MUST NOT BE STEEPER THAN 2:1. (WHERE THE SLOPE IS TO BE MOWED THE SLOPE SHOULD BE NO STEEPER THAN 3:1; 4:1 SLOPES ARE PREFERRED BECAUSE OF SAFETY FACTORS RELATED TO MOWING STEEP SLOPES.) SLOPES EXCEEDING 2:1 REQUIRE SPECIAL DESIGN AND STABILIZATION CONSIDERATIONS THAT MUST BE ADEQUATELY SHOWN ON THE PLANS.
- 4. PROVIDE BENCHED SLOPES WHENEVER THE VERTICAL INTERVAL (HEIGHT) OF ANY 2:1 SLOPE EXCEEDS 20 FEET, ANY 3:1 SLOPE EXCEEDS 30 FEET, AND ANY 4:1 SLOPE EXCEEDS 40 FEET. LOCATE BENCHES TO DIVIDE THE SLOPE FACE AS EQUALLY AS POSSIBLE AND CONVEY THE WATER TO A STABLE OUTLET, TAKE INTO CONSIDERATION SOILS, SEEPS, ROCK OUTCROPS, AND OTHER TOPOGRAPHIC FEATURES WHEN DESIGNING BENCHES. BENCHES MUST BE A MINIMUM OF 6 FEET WIDE TO MAKE MAINTENANCE EASIER DESIGN BENCHES WITH A REVERSE SLOPE OF 6:1 OR FLATTER TO THE TOE OF THE UPPER SLOPE AND WITH A MINIMUM OF 1 FOOT IN DEPTH. BENCH GRADIENT TO THE OUTLET MUST BE BETWEEN 2% AND 3%, UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS. THE FLOW LENGTH WITHIN A BENCH MUST NOT EXCEED 800 FEET UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS. FOR FLOW CHANNEL STABILIZATION, SEE SECTION 4.4 TEMPORARY SWALES.
- DIVERT SURFACE WATER FROM THE FACE OF ALL CUT AND/OR FILL SLOPES USING EARTH DIKES, DITCHES, AND SWALES OR CONVEY DOWNSLOPE USING A DESIGNED STRUCTURE, EXCEPT WHERE
 - (a) THE FACE OF THE SLOPE IS STABILIZED, AND THE FACE OF ALL GRADED SLOPES IS PROTECTED FROM SURFACE RUNOFF UNTIL THEY ARE STABILIZED.
 - (b) THE FACE OF THE SLOPE IS NOT SUBJECT TO ANY CONCENTRATED FLOWS OF SURFACE WATER SUCH AS FROM NATURAL DRAINAGEWAYS, GRADED SWALES, DOWNSPOUTS, ETC.
- (c) THE FACE OF THE SLOPE IS PROTECTED BY SPECIAL EROSION CONTROL MATERIALS, INCLUDING, BUT NOT LIMITED TO, APPROVED VEGETATIVE STABILIZATION PRACTICES, RIP-RAP, OR OTHER APPROVED STABILIZATION METHODS.
- 6. USE SERRATED SLOPES (STEP CUTS) TO HOLD MOISTURE, LIME, FERTILIZER, AND SEED. THE STEEPEST ALLOWABLE SLOPE IS 1.5:1 FOR RIPPABLE ROCKS AND 2:1 FOR OTHER SURFACES. DIVERT OVERLAND FLOW FROM THE TOP OF ALL SERRATED CUT SLOPES AND CARRY TO A
- 7. PROVIDE SUBSURFACE DRAINAGE WHERE NECESSARY TO INTERCEPT SEEPAGE THAT WOULD OTHERWISE ADVERSELY AFFECT SLOPE STABILITY OR CREATE EXCESSIVELY WET SITE CONDITIONS.
- 8. DO NOT CREATE SLOPES SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTIES WITHOUT ADEQUATELY PROTECTING SUCH PROPERTIES AGAINST SEDIMENTATION, EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED DAMAGES.
- 9 FILL MATERIAL MUST BE LINCONTAMINATED AND IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS. MUST MEET THE ENGINEERING PROPERTIES DICTATED BY THE DESIGN ENGINEER, AND MUST MEET ALL APPLICABLE DESIGN STANDARDS AND REGULATIONS.
- 10. STABILIZE ALL DISTURBED AREAS STRUCTURALLY OR VEGETATIVELY IN COMPLIANCE WITH OTHER STANDARDS IN THIS DOCUMENT

FILL CRITERIA:

SUITABLE OUTLET.

- THE FILL MATERIAL MUST BE FREE OF CONTAMINATION LEVELS OF ANY POLLUTANT THAT IS. OR MAY BE CONSIDERED TO REPRESENT, A POSSIBLE HEALTH HAZARD TO THE PUBLIC OR MAY BE DETRIMENTAL TO SURFACE OR GROUND WATER QUALITY, OR WHICH MAY CAUSE DAMAGE TO PROPERTY OR THE DRAINAGE SYSTEM.
- 2. ALL FILL MATERIAL MUST BE FREE OF HAZARDOUS MATERIALS AND MUST COMPLY ALL APPLICABLE DISTRICT AND FEDERAL REGULATIONS.
- 3. FILL MUST BE COMPACTED IN COMPLIANCE WITH ENGINEERING PROPERTIES DICTATED BY THE

CONSTRUCTION SPECIFICATIONS:

PERMANENTLY.

CHAPTER 4 CONVEYANCE.

- INSTALL PERIMETER CONTROLS, DIVERSION DITCHES, AND OTHER EROSION CONTROL MEASURES BEFORE EXPOSING CUT AND FILL SLOPES.
- 2. COMPLETE SITE CLEARING AND GRADING IN COMPLIANCE WITH THE CONSTRUCTION SEQUENCE IDENTIFIED ON THE ESC PLAN.
- 3. PROVIDE EROSION AND SEDIMENT CONTROLS ON ALL TEMPORARY FILL PILES GENERATED DURING
- 4. ENSURE THAT ALL SUPPLEMENTAL FILL CREATED DURING THE GRADING PROCESS IS DISPOSED
- IN CASES WHERE FILL SLOPES OR SOIL PILES CANNOT BE STABILIZED BEFORE THE CLOSE OF THE WORK DAY, UTILIZE TEMPORARY EROSION CONTROL MEASURES SUCH AS PLASTIC SHEETING TO ENSURE THAT SOIL IS NOT EXPOSED.
- CONFIRM THAT ALL FILLS ARE COMPACTED IN COMPLIANCE WITH THE STANDARDS PRESCRIBED IN
- THE SITE PLAN. REMOVE TEMPORARY DIVERSIONS AND EROSION CONTROLS ONCE SLOPES HAVE BEEN STABILIZED

IMMEDIATELY REPLACE ANY FAILED DIVERSION MEASURES, AND IMMEDIATELY REGRADE AND STABILIZE ANY PORTIONS OF THE SLOPES THAT HAVE BEGUN TO FORM RILLS OR GULLIES. ENSURE THAT STOCKPILES ARE STABILIZED WITH VEGETATION OR WITH ANOTHER TEMPORARY COVER THROUGHOUT THE CONSTRUCTION PROCESS, MAINTAIN ALL DIVERSION MEASURES PER THE DETAILS OUTLINED IN

2.6 STANDARDS AND SPECIFICATIONS FOR

<u>PEFINITION:</u> PLACEMENT OF TOPSOIL OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

CONDITIONS WHERE PRACTICE APPLIES

THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

- 1. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- 2. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- 3. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. 4. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. THESE AREAS MUST HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE

2.6 STANDARDS AND SPECIFICATIONS FOR TOPSOIL (CONT'D)

DESIGN CRITERIA:

TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED IF IT MEETS THE STANDARDS IN THESE SPECIFICATIONS. PLACE TOPSOIL AND APPLY SOIL AMENDMENTS AS SPECIFIED IN SECTION 2.10 VEGETATIVE STABILIZATION. SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING SPECIFICATIONS:

- 1. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY DOEE REGARDLESS, TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 INCH IN
- 2. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS. QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OTHER POISONOUS PLANTS, OR OTHERS AS SPECIFIED IN SECTION 2.10 VEGETATIVE STABILIZATION. TOPSOIL MUST ALSO BE FREE FROM INVASIVE PLANTS OR PLANT PARTS.
- 3. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND 4. LIMESTONE AT THE RATE OF 4-8 TONS PER ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. DISTRIBUTE LIME UNIFORMLY OVER DESIGNATED AREAS AND WORK INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE NEXT

FOR SITES WITH DISTURBED AREAS OVER 5 ACRES, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN SECTION 2.10 VEGETATIVE STABILIZATION, ALTERNATIVES TO NATURAL TOPSOIL AND ALTERNATIVE SOIL AMENDMENTS. SUCH AS COMPOSTED SEWAGE SLUDGE OR OTHER COMPOSTED MATERIALS, MAY BE USED IN PLACE OF FERTILIZER AND LIME, AS ALLOWED BY OTHER APPLICABLE REGULATIONS AND AS APPROVED BY A CERTIFIED AGRONOMIST OR SOIL SCIENTIST.

- **CONSTRUCTION SPECIFICATIONS:** 1. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SILT FENCE, AND SEDIMENT TRAPS
- 2. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, MUST BE MAINTAINED, THOUGH NOW WITH AN ADDITIONAL 4 TO 8 INCHES HEIGHT IN ELEVATION.
- 3. AFTER THE AREAS TO BE TOPSOILED HAVE BEEN BROUGHT TO GRADE, AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, LOOSEN THE SUBGRADE BY DISCING OR BY SCARIFYING TO A DEPTH OF A LEAST 4 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SUBSOIL. PACK THE SUBSOIL BY PASSING A BULLDOZER UP AND DOWN OVER THE ENTIRE SURFACE AREA OF THE SLOPE TO CREATE HORIZONTAL EROSION CHECK SLOTS TO PREVENT TOPSOIL FROM SLIDING DOWN
- 4. UNIFORMLY DISTRIBUTE TOPSOIL IN A 4-INCH TO 8-INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. PERFORM SPREADING IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. CORRECT ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- 5. DO NOT PLACE TOPSOIL WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

AFTER PRECIPITATION EVENTS, CONFIRM THAT TOPSOIL AND SUBSOIL ARE PROPERLY BONDED AND NO

2.10 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION: USING VEGETATION AS COVER FOR BARREN SOIL TO PROTECT IT FROM FORCES THAT CAUSE EROSION. THIS SPECIFICATIONS INCLUDES BOTH TEMPORARY AND PERMANENT STABILIZATION.

PURPOSE: USE VEGETATIVE STABILIZATION SPECIFICATIONS TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED WHEN SOIL IS STABILIZED WITH VEGETATION, THE SOIL IS LESS LIKELY TO ERODE AND MORE LIKELY TO ALLOW INFILTRATION OF RAINFALL, THEREBY REDUCING SEDIMENT LOADS AND RUNOFF TO DOWNSTREAM AREAS AND IMPROVING WILDLIFE HABITAT AND VISUAL RESOURCES.

CONDITIONS WHERE PRACTICE APPLIES: USE THIS PRACTICE ON DENUDED AREAS AS SPECIFIED ON HE ESC AND SWM PLANS. IT MAY BE USED ON HIGHLY ERODIBLE OR CRITICALLY ERODING AREAS. THIS SPECIFICATION IS DIVIDED INTO TEMPORARY SEEDING, TO QUICKLY ESTABLISH VEGETATIVE COVER FOR SHORT DURATION (UP TO ONE YEAR), AND PERMANENT SEEDING, FOR LONG-TERM VEGETATIVE COVER. EXAMPLES OF APPLICABLE AREAS FOR TEMPORARY SEEDING ARE TEMPORARY SOIL STOCKPILES, CLEARED AREAS BEING LEFT IDLE BETWEEN CONSTRUCTION PHASES, AND EARTH DIKES OR OTHER TEMPORARY EROSION CONTROL MEASURES. EXAMPLES OF PERMANENT SEEDING INCLUDE LAWNS, DAMS, CUT AND FILL SLOPES, AND OTHER AREAS AT FINAL GRADE.

CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1 WITHIN 7 DAYS. ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE MUST BE STABILIZED

DESIGN CRITERIA: FOR BOTH TEMPORARY AND PERMANENT VEGETATIVE STABILIZATION INCLUDES SEED SPECIFICATIONS, SEED MIXTURES, AND SOIL AMENDMENTS. SEED SPECIFICATIONS FOR BOTH TEMPORARY AND PERMANENT SOIL STABILIZATION, SEED MUST MEET THE FOLLOWING SPECIFICATIONS:

- 1. ALL SEED MUST BE SUBJECT TO RETESTING BY A RECOGNIZED SEED LABORATORY WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON THE SITE. NOTE: SEED TAGS MUST BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY TYPE AND RATE OF SEED
- 2. SEED QUALITY MUST BE CONSISTENT WITH THE CRITERIA OUTLINED IN TABLE 2.2.
- 3. THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN-FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. DO NOT USE INOCULANTS BEYOND THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANT AS DIRECTED ON THE PACKAGE. USE 4 TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP THE INOCULANT AS COOL AS POSSIBLE UNTIL IT IS USED. TEMPERATURES ABOVE 75-80°F CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS

<u>TEMPORARY STABILIZATION:</u> USE TEMPORARY SEEDING TO PROVIDE COVER ON DISTURBED AREAS FOR UP TO 12 MONTHS. LONGER DURATION OF VEGETATIVE COVER REQUIRES PERMANENT SEEDING. INCLUDE IN THE PLAN THE FOLLOWING TEMPORARY SEEDING SUMMARY (TABLE 2.3) THAT IDENTIFIES TEMPORARY SEEDING MATERIALS RATES, SPECIES, AND FERTILIZER/LIME RATES. USE TABLE 2.4 TO COMPLETE THE SUMMARY TABLE. IF TABLE 2.3 IS NOT PUT ON THE PLANS AND COMPLETED. THEN TABLE 2.4 MUST BE PUT ON THE PLANS. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING BUT THE PLAN SHOULD IDENTIFY RECOMMENDED FERTILIZER AND/OR LIME APPLICATION RATES. IF SOII TESTING IS COMPLETED. REPORT THE TESTING AGENCY'S RESULTS ON THE PLANS. IF A SOIL TEST HAS BEEN PERFORMED, DELETE THE RATES SHOWN IN TABLE 2.3 AND WRITE IN THE RATES RECOMMENDED BY THE TESTING AGENCY.

<u>PERMANENT STABILIZATION:</u> FOR PERMANENT SEEDING, THE PLAN MUST INCLUDE THE PERMANENT SEEDING SUMMARY WITH THE FOLLOWING INFORMATION. USE TABLES 2.6 AND 2.7 TO COMPLETE THE SUMMARY TABLE.

TURFGRASS MIXTURES: SELECT A SEED MIXTURE FROM TABLE 2.6, USING TABLE 2.7 (CONDITIONS BY MIX) AS A GUIDELINE. SOME GUIDANCE FOR COMMON MIXES IS AS FOLLOWS:

2. KENTUCKY BLUEGRASS/PERENNIAL RYE (FULL SUN MIXTURE) -FOR USE IN FULL SUN AREAS

- 1. KENTUCKY BLUEGRASS (FULL SUN MIXTURE) -FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. THE RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE IS 1.5 TO 2.0 POUNDS PER 1,000 SQUARE FEET. CHOOSE A MINIMUM OF THREE BLUEGRASS CULTIVARS RANGING FROM A MINIMUM OF 10% TO A MAXIMUM OF 35% OF THE MIXTURE BY
- MANAGEMENT. THE CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE IS 2 POUNDS MIXTURE PER 1,000 SQUARE FEET. A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS MUST BE CHOSEN, WITH EACH CULTIVAR RANGING FROM 10% TO 35% OF THE MIXTURE BY WEIGHT.

WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE

- 3. TALL FESCUE/KENTUCKY BLUEGRASS (FULL SUN MIXTURE) -FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. THE RECOMMENDED MIXTURE INCLUDES 95% TO100% CERTIFIED TALL FESCUE CULTIVARS AND 0% TO5% CERTIFIED KENTUCKY BLUEGRASS CULTIVARS. THE SEEDING RATE IS 5 TO 8 POUNDS PER L.000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED. 4. KENTUCKY BLUEGRASS/FINE FESCUE (SHADE MIXTURE) -FOR USE IN AREAS WITH SHADE IN
- BLUFGRASS LAWNS OR FOR ESTABLISHMENT IN HIGH QUALITY INTENSIVELY MANAGED TURE AREA. THE MIXTURE INCLUDES 30% TO 40% CERTIFIED KENTUCKY BLUEGRASS CULTIVARS AND 60% TO 70% OF CERTIFIED FINE FESCUE. THE SEEDING RATE IS 1½ TO 3 POUNDS PER 1,000 SQUARE FFFT. A MINIMUM OF 3 KENTUCKY BLUFGRASS CULTIVARS MUST BE CHOSEN. WITH EACH CULTIVAR RANGING FROM A MINIMUM OF 10% TO A MAXIMUM OF 35% OF THE MIXTURE BY WEIGHT. NOTE: SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT MARYLAND—VIRGINIA TURFGRASS VARIETY RECOMMENDATION WORK GROUP LIST (HTTP://WWW.PUBS.EXT.VT.EDU/).

2.10 STANDARDS AND SPECIFICATIONS FOR **VEGETATIVE STABILIZATION (CONT'D)**

SOD GRASS: USE SOD GRASS TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER). 1. CLASS OF TURFGRASS SOD MUST COMPLY WITH THE GRASS VARIETIES LISTED IN TABLE 2.7. MAKE SOD

- LABELS AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. 2. MACHINE CUT SOD AT A UNIFORM SOIL THICKNESS OF %INCHES, PLUS OR MINUS 1/4 INCHES, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH.
- INDIVIDUAL PIECES OF SOD MUST BE CUT TO THE SUPPLIER'S WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS IS 5%. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE
- 3. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10% OF THE SECTION.
- 4. DO NOT HARVEST OR TRANSPLANT SOD WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
- 5. HARVEST, DELIVER, AND INSTALL SOD WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

PLANTING DATES: THE RECOMMENDED PLANTING DATES FOR PERMANENT COVER CAN BE FOUND IN TABLE

MINIMUM SOIL CRITERIA: MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT INCLUDE THE FOLLOWING:

1. SOIL PH MUST BE BETWEEN 6.0 AND 7.0. 2. SOLUBLE SALTS MUST BE LESS THAN 500 PARTS PER MILLION (PPM). 3. THE SOIL MUST CONTAIN LESS THAN 40% CLAY BUT ENOUGH FINE GRAINED MATERIAL (> 30% SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AS AN

EXCEPTION, IT IS ACCEPTABLE TO PLANT LOVEGRASS OR SERECIA LESPEDEZA IN SANDY SOIL (< 30%

- SILT PLUS CLAY). 4. SOIL MUST CONTAIN 1.5% MINIMUM ORGANIC MATTER BY WEIGHT
- 5. SOIL MUST CONTAIN SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION. 6. IF THESE CONDITIONS CANNOT BE MET BY SOILS ON SITE, TOPSOIL MUST BE ADDED AS REQUIRED IN SECTION 2.6 TOPSOILING.

SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS):

NOT USUALLY NECESSARY FOR TEMPORARY SEEDING

PRIOR TO THE PLACEMENT OF TOPSOIL.

- 1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES WITH DISTURBED AREAS OVER 5 ACRES. SOIL ANALYSIS MAY BE PERFORMED BY THE UNIVERSITY OF THE DISTRICT OF COLUMBIA OR A CERTIFIED COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL
- 2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING, AND SUITABLE FOR ACCURATE APPLICATION BY APPROVED EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM DOEE. DELIVER ALL FERTILIZERS TO THE SITE FULLY LABELED PER APPLICABLE LAWS AND BEAR THE NAME, TRADE NAME OR TRADEMARK, AND WARRANTY OF THE PRODUCER.
- 3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED) CONTAINING AT LEAST 50% TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50% WILL PASS THROUGH A #100 MESH SIEVE AND 98% TO 100% WILL PASS THROUGH A #20 MESH SIEVE.

CONSTRUCTION SPECIFICATIONS:

- SITE PREPARATION: 1. INSTALL EROSION AND SEDIMENT CONTROL STRUCTURES (EITHER TEMPORARY OR PERMANENT) SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BERMS, WATERWAYS, OR SEDIMENT CONTROL BASINS. 2. PERFORM ALL GRADING OPERATIONS AT RIGHT ANGLES TO THE SLOPE. FINAL GRADING AND SHAPING IS
- 3. SCHEDULE REQUIRED SOIL TESTS TO DETERMINE SOIL AMENDMENT COMPOSITION AND APPLICATION RATES FOR SITES HAVING DISTURBED AREA OVER 5 ACRES.
- 4. DISTRIBUTE LIME AND FERTILIZER EVENLY AND INCORPORATE THEM INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. 5. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS PER ACRE (200 TO 400 POUNDS PER 1,000 SQUARE FEET)

SEEDBED PREPARATION:

- 1. TEMPORARY SEEDING (a) SEEDBED PREPARATION MUST CONSIST OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, DO NOT ROLL OR DRAG SMOOTH BUT LEAVE IN THE ROUGHENED CONDITION. TRACK SLOPED AREAS (GREATER THAN 3:1) LEAVING THE SURFACE IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.
- (b) APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. (c) INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER
- SUITABLE MEANS. 2. PERMANENT SEEDING -MAINTAIN AREAS PREVIOUSLY GRADED IN CONFORMANCE WITH THE DRAWINGS IN A TRUE AND EVEN GRADE, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREA AND TO CREATE HORIZONTAL EROSION CHECK SLOTS TO PREVENT TOPSOIL FROM SLIDING DOWN A SLOPE. APPLY SOIL AMENDMENTS AS PER SOIL TEST OR AS INCLUDED ON THE PLANS. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF TOPSOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE. TRACK STEEP SLOPES (STEEPER THAN 3:1) BY A DOZER LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. THE TOP 1 TO 3 INCHES OF SOIL SHOULD BE
- 3. METHODS OF SEEDING -APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED, FERTILIZER AND MULCH), BROADCAST OR DROP SEEDER, OR A CULTIPACKER SEEDER. (a) HYDROSEEDING i) IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING. THE APPLICATION RATES WILL NOT

LOOSE AND FRIABLE. SEEDBED LOOSENING MAY NOT BE NECESSARY ON NEWLY DISTURBED AREAS.

- EXCEED THE FOLLOWING: NITROGEN, MAXIMUM OF 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS ii) LIME -USE ONLY GROUND AGRICULTURAL LIMESTONE, (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS PER ACRE ARE APPLIED BY
- HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN iii) SEED AND FERTILIZER MUST BE MIXED ON SITE AND SEEDING MUST BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.
- iv) FIBER MULCH MAY BE INCORPORATED INTO THE HYDROSEEDING MIXTURE. CONSULT SECTION 2.7 MULCHING FOR STANDARDS AND SPECIFICATIONS FOR MULCH MATERIALS. (a) DRY SEEDING - THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. i) INCORPORATE SEED SPREAD DRY INTO THE SUBSOIL AT THE RATES PRESCRIBED ON THE TEMPORARY OR PERMANENT SEEDING SUMMARIES OR TABLES 2.4 OR 2.7. THE SEEDED AREA MUST THEN BE ROLLED WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT
- ii) WHERE PRACTICAL, APPLY SEED IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. (a) DRILL OR CULTIPACKER SEEDING -MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL. i) CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCHES OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.

ii) WHERE PRACTICAL, APPLY SEED IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER. APPLY

- HALF THE SEEDING RATE IN EACH DIRECTION. 4. SOD INSTALLATION -DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL. THE SUBSOIL MUST BE LIGHTLY IRRIGATED IMMEDIATELY PRIOR TO LAYING THE SOD. THE FIRST ROW OF SOD MUST BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS MUST BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS, WHICH WOULD CAUSE AIR DRYING OF THE ROOTS. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINT, ROLL AND TAMP, PEG. OR OTHERWISE SECURE SOD TO PREVENT SLIPPAGE ON SLOPES AND TO ENSURE SOLID CONTACT BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE. IMMEDIATELY WATER SOD FOLLOWING ROLLING OR TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF
- LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS. 5. INCREMENTAL STABILIZATION -CUT SLOPES DRESS, PREPARE, SEED, AND MULCH ALL CUT SLOPES AS THE WORK PROGRESSES. EXCAVATE AND STABILIZE SLOPES IN EQUAL INCREMENTS NOT TO EXCEED 15 FEET. THE CONSTRUCTION SEQUENCE IS AS FOLLOWS (REFER TO FIGURE 2.1):
 (a) EXCAVATE AND STABILIZE ALL TEMPORARY SWALES, SIDE DITCHES, OR BERMS THAT WILL BE USED
- TO CONVEY RUNOFF FROM THE EXCAVATION. (b) PERFORM PHASE 1 EXCAVATION, DRESS, AND STABILIZE.
- (c) PERFORM PHASE 2 EXCAVATION, DRESS, AND STABILIZE. OVERSEED PHASE 1 AREAS AS (d) PERFORM FINAL PHASE EXCAVATION, DRESS, AND STABILIZE. OVERSEED PREVIOUSLY SEEDED AREAS AS NECESSARY. NOTE: ONCE EXCAVATION HAS BEGUN THE OPERATION SHOULD BE

CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF

TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE

OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION. 6. INCREMENTAL STABILIZATION OF EMBANKMENTS -FILL SLOPES CONSTRUCT EMBANKMENTS IN LIFTS AS PRESCRIBED ON THE PLANS. IMMEDIATELY STABILIZE SLOPES WHEN THE VERTICAL HEIGHT OF THE MULTIPLE LIFTS REACHES 15 FEET, OR WHEN THE GRADING OPERATION CEASES AS PRESCRIBED IN THE PLANS, AT THE END OF EACH DAY, CONSTRUCT TEMPORARY BERMS AND PIPE SLOPE DRAINS ALONG

THE TOP EDGE OF THE EMBANKMENT TO INTERCEPT SURFACE RUNOFF AND CONVEY IT DOWN THE

SLOPE IN A NON-EROSIVE MANNER TO A SEDIMENT TRAPPING DEVICE. THE CONSTRUCTION SEQUENCE

- IS AS FOLLOWS (REFER TO FIGURE 2.2): (a) EXCAVATE AND STABILIZE ALL TEMPORARY SWALES, SIDE DITCHES, OR BERMS THAT WILL BE USED TO DIVERT RUNOFF AROUND THE FILL. CONSTRUCT SLOPE SILT FENCE ON LOW SIDE OF FILL AS SHOWN IN FIGURE 2.2, UNLESS OTHER METHODS SHOWN ON THE PLANS ADDRESS THIS AREA. (b) PLACE PHASE 1 EMBANKMENT, DRESS AND STABILIZE.
- (c) PLACE PHASE 2 EMBANKMENT, DRESS AND STABILIZE. (d) PLACE FINAL PHASE EMBANKMENT, DRESS AND STABILIZE. OVERSEED PREVIOUSLY SEEDED AREAS AS NECESSARY.
- NOTE: ONCE THE PLACEMENT OF FILL HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.

42.0 STANDARDS AND SPECIFICATIONS FOR

VEGETATIVE STABILIZATION (CONT'D)

GRASS MAINTENANCE:

- . INSPECT ALL SEEDED AREAS FOR FAILURES AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDINGS WITHIN THE PLANTING SEASON. 2. ONCE THE VEGETATION IS ESTABLISHED, THE SITE MUST HAVE 95% GROUND COVER TO BE CONSIDERED ADEQUATELY STABILIZED.
- 3. IF THE STAND PROVIDES LESS THAN 40% GROUND COVERAGE, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER, SEEDBED PREPARATION AND SEEDING RECOMMENDATIONS. 4. IF THE STAND PROVIDES BETWEEN 40% AND 94% GROUND COVERAGE, OVERSEEDING AND FERTILIZING USING HALF OF THE RATES ORIGINALLY APPLIED MAY BE NECESSARY. 5. MAINTENANCE FERTILIZER RATES FOR PERMANENT SEEDINGS ARE SHOWN IN TABLE 2.9.

SOD MAINTENANCE:

- 1. IN THE ABSENCE OF ADEQUATE RAINFALL, PERFORM WATERING DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER DURING THE HEAT OF THE DAY TO PREVENT WILTING. 2. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
- 3. DO NOT ATTEMPT THE FIRST MOWING OF SOD UNTIL THE SOD IS FIRMLY ROOTED. DO NOT REMO' MORE THAN A THIRD OF THE GRASS LEAF BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN GRASS HEIGHT BETWEEN 2 TO 3 INCHES UNLESS OTHERWISE SPECIFIED.

	D MIXTURE (HA M TABLE 43	FERTILIZER RATE	LIME RATE			
NO.	SPECIES	APPLICATION	SEEDING	SEEDING	(10–10–10)	
		RATE (lb/ac)	DATES	DEPTHS	(10 10 10)	
	RYE PLUS FOXTAIL MILLET	150	2/1-4/30 5/1-8/30 8/15-11/30	1	600 lb/ac (14 lb/1000 sf)	2 tons/ac (92 lb/1000sf)
	WEEPING LOVEGRASS	4	5/1-8/14	1/4	(14 lb/1000 sf)	

SECTION III - PERMANENT SEEDING

SEEDING GRASS AND LEGUMES TO ESTABLISH GROUND COVER FOR A MINIMUM PERIOD OF ONE YEAR ON DISTURBED AREAS GENERALLY RECEIVING LOW MAINTENANCE.

A. SEED MIXTURES - PERMANENT SEEDING SUMMARY

SEED MIXTURE (HARDINESS ZONE 7A) FROM TABLE 42					FERTILIZER RATE (10-20-20)		LIME RATE	
N0.	SPECIES	APPLICATION	SEEDING	SEEDING				
		RATE (lb/ac)	DATES	DEPTHS	N	P205	K20	
	TALL FESCUE (85%)	125	3/1–5/15	4 /4" MINI	90 lb/aç	1,75 lb/ac	1,75 lb/ac	2 tons/ac
	PERENNIAL RYEGRASS (10%)	15		1/4" MIN.	(2.0 lb/ 1000 sf)	(4 lb/ 1000 sf)	(4 lb/ 1000 sf)	(92 lb/ 1000 sf)
	KENTUCKY BLUEGRASS (5%)	10	8/15–11/15	2" MIN.				

9.1 STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

<u>DEFINITION:</u> CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS. PURPOSE: TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE I AND OFF-SITE DAMAGE, HEALTH HAZARDS, AND TRAFFIC SAFETY PROBLEMS. CONDITIONS WHERE PRACTICE APPLIES: THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST

BLOWING AND MOVEMENT WHERE ON AN OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. DESIGN CRITERIA: WHEN DESIGNING A DUST CONTROL PLAN FOR A SITE, THE AMOUNT OF SOIL EXPOSED WILL DICTATE THE QUANTITY OF DUST GENERATION AND TRANSPORT, THEREFORE. CONSTRUCTION SEQUENCING AND DISTURBING ONLY SMALL AREAS AT A TIME CAN GREATLY REDUCE PROBLEMATIC DUST FROM A SITE. IF LAND SHOULD BE DISTURBED, CONSIDER ADDITIONAL

TEMPORARY STABILIZATION MEASURES PRIOR TO DISTURBANCE.

- TEMPORARY METHODS: MULCHES -SEE SECTION 2.7 MULCHING. CHEMICAL OR WOOD CELLULOSE FIBER BINDERS MUST
- BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL. 2. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
- 3. SPRAY-ON ADHESIVES ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
- APPROPRIATE SOLUTION CAN BE IMPLEMENTED. BEGIN THE TILLAGE OPERATION ON THE WINDWARD SIDE OF SITE. USE A CHISEL-TYPE PLOWS TO PRODUCE THE BEST RESULTS. 5. SPRINKLING -THIS IS THE MOST COMMONLY USED DUST CONTROL PRACTICE. THE SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST AND REPEATED AS NEEDED. THIS

TILLAGE -THIS IS AN EMERGENCY TEMPORARY PRACTICE THAT WILL SCARIFY THE SOIL

SURFACE AND PREVENT OR REDUCE THE AMOUNT OF BLOWING DUST UNTIL A MORE

- ROUTES. THE SITE MUST NOT BE SPRINKLED TO THE POINT THAT RUNOFF OCCURS. 6. BARRIERS -SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, CRATE
- WALLS, OR SIMILAR MATERIALS CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. 7. CALCIUM CHLORIDE -CAN BE APPLIED AS FLAKES OR GRANULAR MATERIAL WITH A

MECHANICAL SPREADER AT A RATE THAT WILL KEEP THE SOIL SURFACE MOIST BUT NOT SO

PRACTICE CAN BE PARTICULARLY EFFECTIVE FOR ROAD CONSTRUCTION AND OTHER TRAFFIC

HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. CAN BE REAPPLIED AS NECESSARY.

HOSES AND MIST NOZZLES.

- CONSTRUCTION SPECIFICATIONS THE CONTRACTOR MUST CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE SO AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. USE DUST CONTROL THROUGHOUT THE
- THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL, AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
- 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES SHALL GENERALLY CONSIST OF

3. THE CONTRACTOR SHALL SUPPLY WATER-SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL

WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY

- WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS. 5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL: (a) APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, AND PUMP WITH DISCHARGE PRESSURE GAUGE.
- COMPLETE COVERAGE OF GROUND WITH WATER. (c) DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 KPA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.

(b) ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE

- 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL: a) APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE,
- b) LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS

c) APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND THE SITE

BOUNDARIES. BECAUSE DUST CONTROLS ARE DEPENDENT ON SPECIFIC SITE AND WEATHER CONDITIONS,

INSPECTION AND MAINTENANCE ARE UNIQUE FOR EACH SITE. GENERALLY, DUST CONTROL MEASURES INVOLVING APPLICATION OF EITHER WATER OR CHEMICALS REQUIRE MORE MONITORING THAN STRUCTURAL OR VEGETATIVE CONTROLS TO REMAIN EFFECTIVE. IF STRUCTURAL CONTROLS ARE USED, INSPECT THEM FOR DETERIORATION ON A REGULAR BASIS TO ENSURE THAT THEY ARE STILL ACHIEVING THEIR INTENDED PURPOSE.

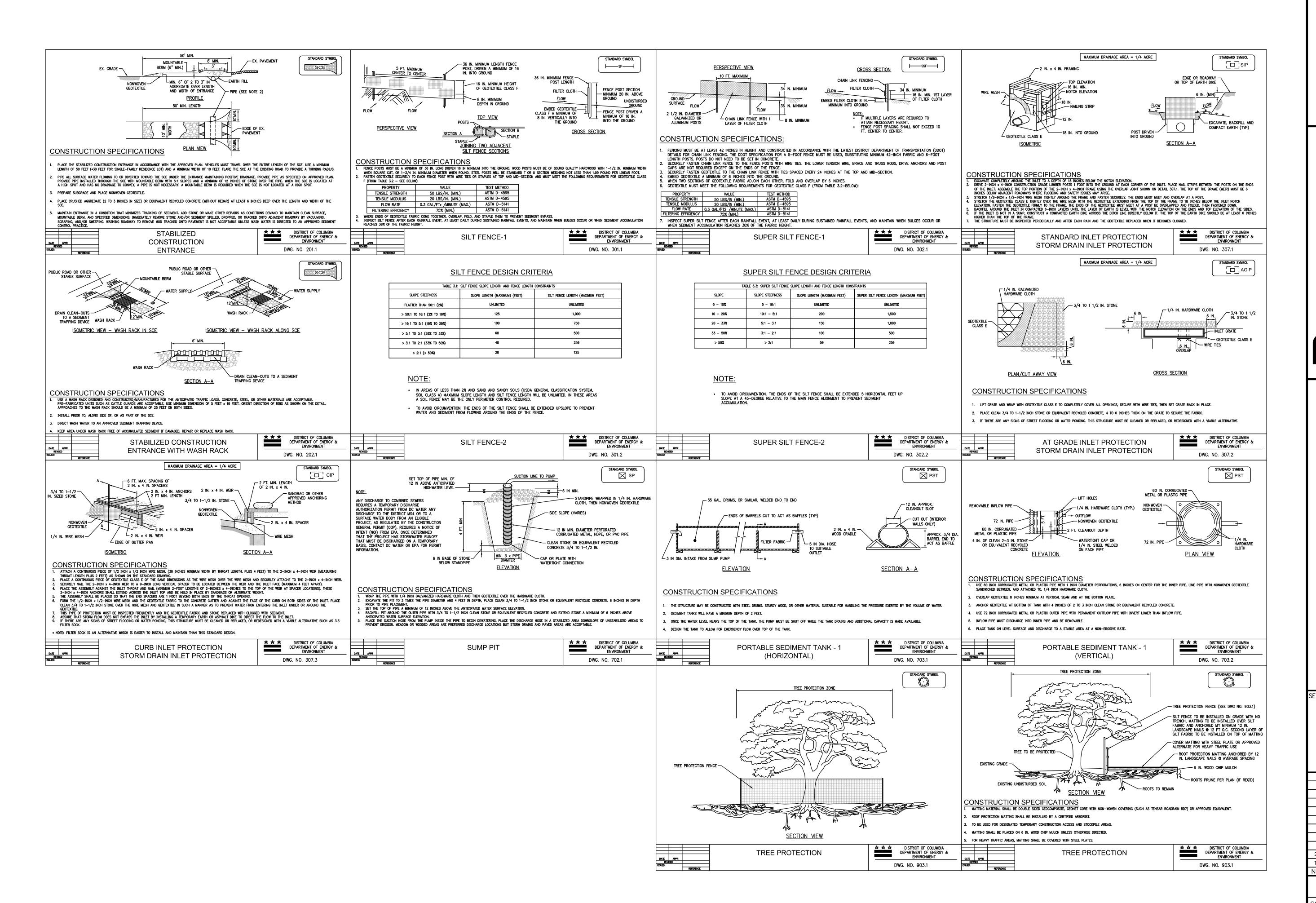
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SENENMAN No. 907776 03/01/2022 PLAN STATUS

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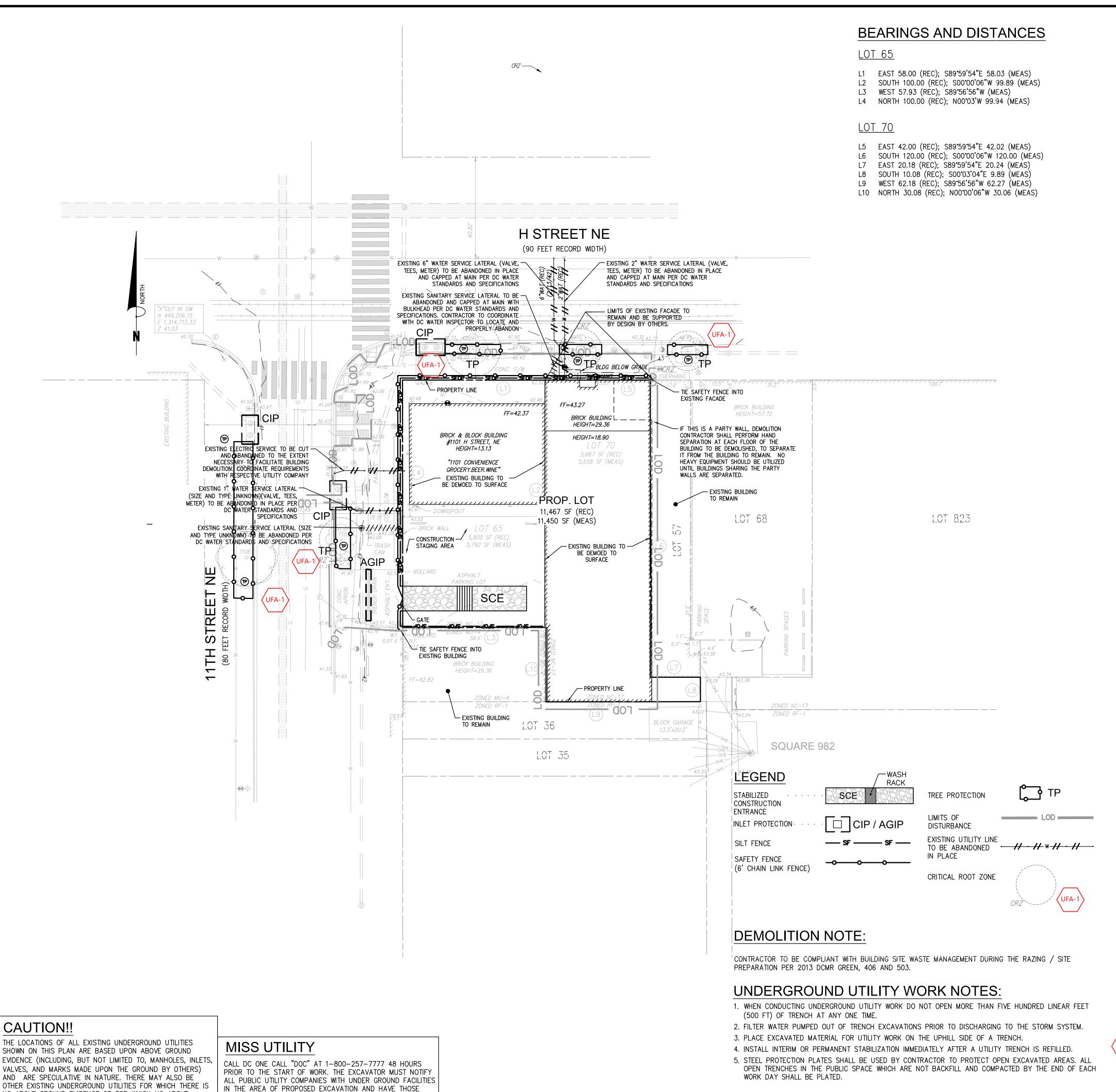


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DEMOLITION CONTROL NARRATIVE

INSTALL SEDIMENT AND EROSION CONTROL SILT FENCE AROUND BUILDING. LOADING OF DEBRIS WILL TAKE PLACE IN PARKING LOT SOUTH WEST OF THE OF THE EXISTING BUILDINGS. EXPOSED AREA TO BE COVERED WITH BRICKBAT AFTER DEMOLITION FOR GROUND COVER ONCE BUILDING SLAB HAS BEEN REMOVED. CONTROLS TO BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION AND REMOVED AFTER STABILIZATION. CONTACT DEPARTMENT OF ENERGY AND ENVIRONMENT, WATERSHED PROTECTION DIVISION AT 202-535-2240 TO SCHEDULE PRE-CONSTRUCTION MEETING.

DEMOLITION SEQUENCE:

1. CONTACT DC-WATERSHED PROTECTION DIVISION AT 202-535-2240 TO SCHEDULE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.

2. INSTALL SILT FENCE AND SAFETY FENCE AROUND PERIMETER OF PROPOSED WORK AS INDICATED. 3. INSTALL INLET AND TREE PROTECTION AS INDICATED. CONTRACTOR TO INSTALL INLET PROTECTION AT NEAREST DOWNSTREAM STORM INLET PRIOR TO THE LAND-DISTURBING ACTIVITY.

4. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.

5. REMOVE OR ABANDON EXISTING UTILITY CONNECTIONS AND PIPES.

6. KNOCK DOWN TWO EXISTING BUILDINGS.

6. REMOVE DEBRIS FROM SITE BY TRUCK.

7. STABILIZE ALL DISTURBED AREAS WITH SEED AND STRAW AS TEMPORARY GROUND COVER.

NOTES:

1. EXISTING UTILITIES ON THE EXISTING BUILDING THAT ARE NOT SHOWN ON THIS PLAN TO BE REMOVED AT THE MAIN IF NOT REQUIRED FOR FUTURE SERVICE, COORDINATE REQUIREMENTS WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO REMOVAL

2. EXISTING WATER SERVICE LATERAL, VALVES, AND TEES NOT SHOWN ON PLAN TO BE REMOVED AND CAPPED AT MAIN PER DC WATER STANDARDS AND SPECIFICATIONS.

3. EXISTING SEWER SERVICE LATERAL AND RELATED APPURTENANCES NOT SHOWN ON THIS PLAN TO BE REMOVED WITH BULKHEAD AT MAIN PER DC WATER STANDARDS AND SPECIFICATIONS. 4. CONTRACTOR TO INSTALL INLET PROTECTION AT THE NEAREST DOWNSTREAM STORM INLET PRIOR TO THE

LAND-DISTURBING ACTIVITY. REFER TO SHEET CIVO520 FOR DETAILS. 5. SEDIMENT TRAPS OR BASINS AND OTHER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED NO LATER THAN THE FIRST PHASE OF LAND GRADING.

6. SEDIMENT TRAPS OR BASINS AND OTHER ESCS SHALL BE INSTALLED AS SOON AS NEW SITE-RELATED RUNOFF IS DETECTED AND EMPLOYED AT ALL TIMES TO PROTECT INLETS OR STORM SEWERS BELOW SILT-PRODUCING AREAS

7. NO LATER THAN THE FIRST DAY OF CONSTRUCTION, INSTALL SITE ACCESS MEASURES TO MINIMIZE OFF-SITE VEHICLE TRACKING OF SEDIMENTS. EACH CONSTRUCTION ENTRANCE MUST BE STABILIZED AND INCLUDE EACH ADDITIONAL MEASURE REQUIRED TO KEEP SEDIMENT FROM BEING CARRIED ONTO PUBLIC STREETS BY CONSTRUCTION VEHICLES AND WASHED INTO A STORM DRAIN OR WATERWAYS.

8. REMOVE OFF-SITE ACCUMULATION OF SEDIMENT DAILY DURING CONSTRUCTION AND IMMEDIATELY AT THE REQUEST OF A DOEE INSPECTOR.

9. IMMEDIATELY AFTER DEBRIS BASINS, DIVERSIONS, WATERWAYS, AND RELATED STRUCTURES ARE BUILT, SEED AND MULCH, OR INSTALL SOD & STABILIZATION BLANKET 10. PERFORM ROUTINE MAINTENANCE TO PREVENT ANY NEW DESTABILIZED AREAS.

11. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF GUTTERS AND DOWNSPOUTS AS SOON AS PRACTICABLE.

12. MEASURES SHALL BE TAKEN TO ACHIEVE A NON-ERODING VELOCITY FOR STORMWATER EXITING FROM A ROOF OR DOWNSPOUT OR TO TEMPORARILY PIPE THAT STORMWATER DIRECTLY TO A STORM DRAIN

SITE DISTURBANCE

TOTAL SITE AREA: 11,450 OR 0.26 AC. LOT 65: 5,792 SF OR 0.13 AC. LOT 70: 5,658 SF OR 0.13 AC.

RAZE AREA OF DISTURBANCE: 8,465 SF OR 0.19 AC.

TOTAL VOLUME OF BUILDING TO BE REMOVED: 5.299 CUBIC YARDS

1101 H STREET: 1,071 CUBIC YARDS (2,225 SF BLDG FOOTPRINT TO BE REMOVED, 13' HEIGHT)

1107 H STREET: 4,228 CUBIC YARDS (5,548 SF BLDG FOOTPRINT TO BE REMOVED; 874 SF OF 29' HEIGHT, 4674 SF OF 19' HEIGHT)

CHAPTER 21 DCMR § 517 STORMWATER MANAGEMENT EXEMPTIONS

THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORM WATER MANAGEMENT REQUIREMENTS:

- CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS
- REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL

DUST CONTROL NOTES:

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE. 2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.

3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS. 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.

5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:

- A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE
- B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER:
- DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING. 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR

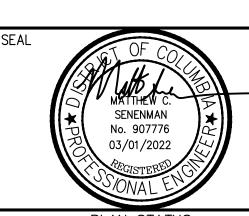
C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS

- SHALL: A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
- B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

TREE AND ROOT PROTECTION NOTES:

ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) - SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE THE CONFLICTING WORK.

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COLUMBIA CODES AND REGULATIONS.

FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO

COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE

FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF

NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE

THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF

SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY

TOTAL AREAS - SOE:

SITE AREA: 11,492 SF OR 0.26 AC

AREA TO BE DISTURBED: 12,502 SF OR 0.29 AC (SOE ONLY)

EXCAVATION CUT/FILL

THE TOTAL VOLUME OF EXCAVATION = 10,057 SF (AREA) x 10 FT (DEPTH) / 27 = 3,724 CY \pm CUT (CY)-3,724 CY

FILL (CY)-0 CY

EXCAVATION OF UTILITY TRENCHING (CY)-11 CY

CHAPTER 21 DCMR § 517 STORMWATER MANAGEMENT EXEMPTIONS

CAUTION!!

MANAGEMENT REQUIREMENTS:

(500 FT) OF TRENCH AT ANY ONE TIME.

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORM WATER

. WHEN CONDUCTING UNDERGROUND UTILITY WORK DO NOT OPEN MORE THAN FIVE HUNDRED LINEAR FEET

2. FILTER WATER PUMPED OUT OF TRENCH EXCAVATIONS PRIOR TO DISCHARGING TO THE STORM SYSTEM.

CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS

REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL

UNDERGROUND UTILITY WORK NOTES:

3. PLACE EXCAVATED MATERIAL FOR UTILITY WORK ON THE UPHILL SIDE OF A TRENCH.

MISS UTILITY

CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.



BEARINGS AND DISTANCES

LOT 65

- L1 EAST 58.00 (REC); S89°59'54"E 58.03 (MEAS)
- L2 SOUTH 100.00 (REC); S00°00'06"W 99.89 (MEAS) L3 WEST 57.93 (REC); S89°56'56"W (MEAS)
- L4 NORTH 100.00 (REC); N00°03'W 99.94 (MEAS)

LOT 70

- L5 EAST 42.00 (REC); S89°59°54"E 42.02 (MEAS)
- SOUTH 120.00 (REC); S00°00'06"W 120.00 (MEAS) EAST 20.18 (REC); S89°59'54"E 20.24 (MEAS)
- L8 SOUTH 10.08 (REC); S00°03'04"E 9.89 (MEAS) L9 WEST 62.18 (REC); S89°56'56"W 62.27 (MEAS)
- L10 NORTH 30.08 (REC); N00°00'06"W 30.06 (MEAS)

DUST CONTROL NOTES:

- THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE
- 2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
- 3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
- 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
- 5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL: A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE
- GAUGE: B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER:
- C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR
- A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND
- B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS
- DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING. C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

CONSTRUCTION DATES:

THE PROPOSED WORK IS DUE TO COMMENCE IN Q4 2021 TO Q1 2023. EXACT BEGINNING AND END OF CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

SEDIMENT AND EROSION CONTROL NARRATIVE:

INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING SILT FENCE, INLET PROTECTION, TREE PROTECTION, AND STABILIZED CONSTRUCTION ENTRANCE AT SITE. FOLLOWING DISCONNECTION OF UTILITIES, BUILDING TO BE DEMOLISHED TO THE SURFACE USING DISTRICT APPROVED DEMOLITION METHODS. DURING DEMOLITION, DEBRIS WILL BE REMOVED FROM SITE BY TRUCK. CONTRACT DC DEPARTMENT OF THE ENVIRONMENT. WATERSHED PROTECTION DIVISION AT 202-535-2250 TO SCHEDULE PRE-CONSTRUCTION

TREE AND ROOT PROTECTION NOTES:

ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) - SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE THE CONFLICTING WORK.

TOTAL AREAS - SOE:

SITE AREA: 11,492 SF OR 0.26 AC AREA TO BE DISTURBED: 12,502 SF OR 0.29 AC (SOE ONLY)

EXCAVATION CUT/FILL:

THE TOTAL VOLUME OF EXCAVATION = 10,057 SF (AREA) x 10 FT (DEPTH) / 27 = 3,724 CY \pm

CUT (CY)-3,724 CY FILL (CY)-0 CY

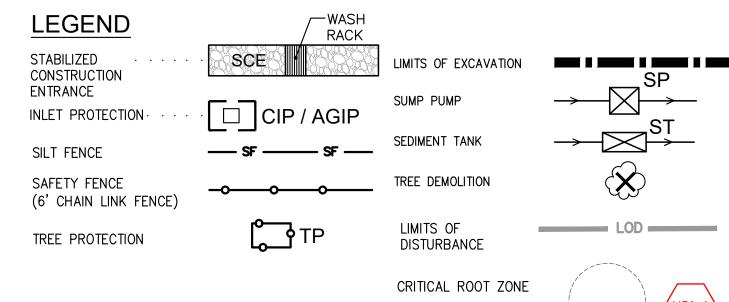
EXCAVATION OF UTILITY TRENCHING (CY)-11 CY

CHAPTER 21 DCMR § 517 STORMWATER MANAGEMENT EXEMPTIONS THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORM WATER MANAGEMENT REQUIREMENTS:

CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS

REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL

- **UNDERGROUND UTILITY WORK NOTES:**
- 1. WHEN CONDUCTING UNDERGROUND UTILITY WORK DO NOT OPEN MORE THAN FIVE HUNDRED LINEAR FEET (500 FT) OF TRENCH AT ANY ONE TIME.
- 2. FILTER WATER PUMPED OUT OF TRENCH EXCAVATIONS PRIOR TO DISCHARGING TO THE STORM SYSTEM.
- 3. PLACE EXCAVATED MATERIAL FOR UTILITY WORK ON THE UPHILL SIDE OF A TRENCH.
- 4. INSTALL INTERIM OR PERMANENT STABILIZATION IMMEDIATELY AFTER A UTILITY TRENCH IS REFILLED.
- 5. STEEL PROTECTION PLATES SHALL BE USED BY CONTRACTOR TO PROTECT OPEN EXCAVATED AREAS. ALL OPEN TRENCHES IN THE PUBLIC SPACE WHICH ARE NOT BACKFILL AND COMPACTED BY THE END OF EACH WORK DAY SHALL BE PLATED.



CONSTRUCTION AND STABILIZATION SEQUENCE:

CONTACT DC WATERSHED PROTECTION DIVISION AT 202-535-1364 TO SCHEDULE THE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.

- 2. CONTACT ELAINE WILSON OF DC WATER AT 202-787-4177 TO OBTAIN A DC WATER TEMPORARY DISCHARGE PERMIT FOR PORTABLE SEDIMENT TANK DISCHARGE TO THE COMBINED SEWER SYSTEM (CSS).
- TEMPORARY DISCHARGE PERMIT FROM DC WATER WILL BE OBTAINED FOR THE STORMWATER DISCHARGE FROM THE SEDIMENT STORAGE TANK OR DEWATERING BMP.
- INSTALL SEDIMENT AND EROSION CONTROL MEASURES AS NEEDED INCLUDING STABILIZED CONSTRUCTION ENTRANCE, WASH RACK, INLET PROTECTION, AND SILT FENCE AS INDICATED ON THIS SHEET, SEE SHEET CIVO520 FOR SEDIMENT AND EROSION CONTROL DETAILS.
- SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
- 6. AT THE COMPLETION OF THIS PHASE OF CONSTRUCTION, FOLLOWING SITE STABILIZATION AND UPON INSPECTOR'S APPROVAL, TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES CAN BE REMOVED.

EROSION AND SEDIMENT CONTROL NOTES:

- FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACES OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1): AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC). [21 DCMR § 542.9 (0)]
- 2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE. [21 DCMR § 543.6]
- 3. CONTACT DOEE INSPECTION (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY. [21 DCMR § 503.7 (A)]
- A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DOEE INSPECTORS. [21 DCMR § 542.15]
- ESC MEASURES SHALL BE IN PLACE TO STABILIZE AN EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE. [21 DCMR § 543.7].
- STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE. [21] DCMR § 543.16 (A)]
- 7. STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION. [21 DCMR § 543.16 (B)]
- FILL MATERIAL MUST BE FREE OF CONTAMINATION LEVELS OF ANY POLLUTANT THAT IS. OR MAY BE CONSIDERED TO REPRESENT, A POSSIBLE HEALTH HAZARD TO THE PUBLIC OR MAY BE DETRIMENTAL TO SURFACE OR GROUND WATER QUALITY. OR WHICH MAY CAUSE DAMAGE TO PROPERTY OR THE DRAINAGE SYSTEM. ALL FILL MATERIAL MUST BE FREE OF HAZARDOUS MATERIALS AND COMPLY WITH ALL
- PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION. [21 DCMR § 543.5]
- 10. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. [21 DCMR § 542.12 (A)]
- 11. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OF EROSION AND SEDIMENT CONTROLS. [21 DCMR § 542.12 (B)]
- 12. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING TWO CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES). [21 DCMR § 542.12 (B.1.B.2)]
- 13. FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF THIS SWPPP ON SITE. [21 DCMR § 543.10 (B)]
- POST A SIGN THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER POLLUTION. THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. EACH SIGN WILL BE NO LESS THAN 18 X 24 INCHES IN SIZE AND MADE OF MATERIALS THAT WILL WITHSTAND WEATHER FOR THE DURATION OF THE PROJECT. LETTERING WILL BE AT LEAST 1 INCH IN HEIGHT AND EASILY READABLE BY THE PUBLIC FROM A DISTANCE OF TWELVE FEET (12 FT). THE SIGN MUST DIRECT THE PUBLIC, IN SUBSTANTIALLY THE FOLLOWING FORM: "TO REPORT EROSION, RUNOFF, OR STORMWATER POLLUTION" AND WILL PROVIDE THE CONSTRUCTION SITE ADDRESS, DOEE'S TELEPHONE NUMBER (202-535-2977), DOEE'S E-MAIL ADDRESS (IEB.SCHEDULING@DC.GOV), AND THE 311 MOBILE APP HEADING ("CONSTRUCTION-EROSION RUNOFF"). [21 DCMR § 543.22]
- 15. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (A) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (C) SPEAK ON SITE WITH DOEE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (A) LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (B) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES. INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION. DURING CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE-APPROVED TRAINING PROGRAM. [21 DCMR § 547]

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SENENMAN No. 907776 03/01/2022 PLAN STATUS

2 9/22/21 PERMIT 1 2/24/21 DESIGN DEVELOPMENT NO. DATE DESCRIPTION JNC DESIGN DRAWN CHKD 1" = 2130133-01-00 SEPTEMBER, 202

CIV0132

BEARINGS AND DISTANCES LOT 65 L1 EAST 58.00 (REC); S89°59'54"E 58.03 (MEAS) L2 SOUTH 100.00 (REC); S00°00'06"W 99.89 (MEAS) L3 WEST 57.93 (REC); S89°56'56"W (MEAS) L4 NORTH 100.00 (REC); N00°03'W 99.94 (MEAS) LOT 70 H STREET NE L5 EAST 42.00 (REC); S89°59°54"E 42.02 (MEAS) 12"DIP WATER (REC SOUTH 120.00 (REC); S00°00'06"W 120.00 (MEAS) (90 FEET RECORD WIDTH) EAST 20.18 (REC); S89°59'54"E 20.24 (MEAS) L8 SOUTH 10.08 (REC); S00°03'04"E 9.89 (MEAS) L9 WEST 62.18 (REC); S89°56'56"W 62.27 (MEAS) L10 NORTH 30.08 (REC); N00°00'06"W 30.06 (MEAS) CONC. W/ -STREETCAR TRACKS CELLAR BRICK BUILDING 358 SF (MEAS) PROP. LOT 11,467 SF (REC) LOT 68 LOT 823 11,450 SF (MEAS) 5,800 SF (REC) 5,792 SF (MEAS) 빌 STRE EET RECORD CELLAR M V M L.UI / i BRICK BUILDING HEIGHT=29.36 SQUARE 982 **LEGEND** ∕—WASH RACK STABILIZED SCE TREE PROTECTION CONSTRUCTION ENTRANCE LIMITS OF INLET PROTECTION DISTURBANCE CRITICAL ROOT ZONE CONSTRUCTION AND STABILIZATION SEQUENCE TREE AND ROOT PROTECTION NOTES CONTACT DC WATERSHED PROTECTION DIVISION AT 202-535-1364 TO SCHEDULE THE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION. ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A INSTALL SEDIMENT AND EROSION CONTROL MEASURES AS NEEDED INCLUDING STABILIZED CONSTRUCTION (UFA-4) PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL ENTRANCE, WASH RACK, INLET PROTECTION, AND SILT FENCE AS INDICATED ON THIS SHEET. SEE SHEET PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT CIV502 FOR SEDIMENT AND EROSION CONTROL DETAILS. OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) - SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES. CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE

THE CONFLICTING WORK.

UNDERGROUND UTILITY WORK NOTES:

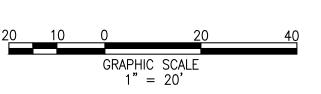
- 1. WHEN CONDUCTING UNDERGROUND UTILITY WORK DO NOT OPEN MORE THAN FIVE HUNDRED LINEAR FEET (500 FT) OF TRENCH AT ANY ONE TIME.
- 2. FILTER WATER PUMPED OUT OF TRENCH EXCAVATIONS PRIOR TO DISCHARGING TO THE STORM SYSTEM.
- 3. PLACE EXCAVATED MATERIAL FOR UTILITY WORK ON THE UPHILL SIDE OF A TRENCH.
- 4. INSTALL INTERIM OR PERMANENT STABILIZATION IMMEDIATELY AFTER A UTILITY TRENCH IS REFILLED.
- 5. STEEL PROTECTION PLATES SHALL BE USED BY CONTRACTOR TO PROTECT OPEN EXCAVATED AREAS. ALL OPEN TRENCHES IN THE PUBLIC SPACE WHICH ARE NOT BACKFILL AND COMPACTED BY THE END OF EACH WORK DAY SHALL BE PLATED.

MISS UTILITY

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CAUTION!!

CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.



- FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACES OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1); AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC). [21 DCMR § 542.9 (0)]
- 2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE. [21 DCMR § 543.6]
- CONTACT DOEE INSPECTION (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY. [21 DCMR § 503.7 (A)]
- STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE. [21]
- 7. STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION. [21 DCMR § 543.16 (B)]
- FILL MATERIAL MUST BE FREE OF CONTAMINATION LEVELS OF ANY POLLUTANT THAT IS, OR MAY BE CONSIDERED TO REPRESENT, A POSSIBLE HEALTH HAZARD TO THE PUBLIC OR MAY BE DETRIMENTAL TO SYSTEM. ALL FILL MATERIAL MUST BE FREE OF HAZARDOUS MATERIALS AND COMPLY WITH ALL APPLICABLE DISTRICT AND FEDERAL REGULATIONS.
- PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION, [21 DCMR § 543.5]
- 10. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. [21 DCMR § 542.12 (A)]
- 11. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OF EROSION AND SEDIMENT CONTROLS. [21 DCMR § 542.12 (B)]
- 12. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING TWO CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS,
- STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF THIS SWPPP ON
- 14. POST A SIGN THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER POLLUTION. THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. EACH SIGN WILL BE NO LESS THAN 18 X 24 INCHES IN SIZE AND MADE OF MATERIALS THAT WILL WITHSTAND WEATHER FOR THE DURATION OF THE PROJECT. LETTERING WILL BE AT LEAST 1 INCH IN HEIGHT AND EASILY READABLE BY THE PUBLIC FROM A DISTANCE OF TWELVE FEET (12 FT). THE SIGN MUST DIRECT THE PUBLIC, IN SUBSTANTIALLY THE FOLLOWING FORM: "TO REPORT EROSION, RUNOFF, OR STORMWATER POLLUTION" AND WILL PROVIDE THE CONSTRUCTION SITE ADDRESS, DOEE'S TELEPHONE NUMBER (202-535-2977), DOEE'S E-MAIL ADDRESS (IEB.SCHEDULING@DC.GOV), AND THE 311 MOBILE APP HEADING ("CONSTRUCTION-EROSION RUNOFF"). [21 DCMR § 543.22]
- 15. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (A) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (C) SPEAK ON SITE WITH DOEE TO REMEDY DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (B) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES. INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION. DURING CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE-APPROVED TRAINING PROGRAM. [21 DCMR § 547]

DUST CONTROL NOTES:

PREVENT DUST EMISSIONS.

- 1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE
- 2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
- 3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS. 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION
- PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO
- 5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
- A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE
- B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
- C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR
- A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
- B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

EROSION AND SEDIMENT CONTROL NOTES:

- 4. A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DOEE INSPECTORS. [21 DCMR § 542.15]
- ESC MEASURES SHALL BE IN PLACE TO STABILIZE AN EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE. [21 DCMR § 543.7].

- SURFACE OR GROUND WATER QUALITY, OR WHICH MAY CAUSE DAMAGE TO PROPERTY OR THE DRAINAGE

- OR GEOTEXTILES). [21 DCMR § 542.12 (B.1,B.2)]
- 13. FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED SITE. [21 DCMR § 543.10 (B)]

INSTALL NEW UTILITIES. REMOVE ANY TEMPORARY BLOCKING FROM PREVIOUS CONSTRUCTION PHASES.

AT THE COMPLETION OF THIS PHASE OF CONSTRUCTION, FOLLOWING SITE STABILIZATION AND UPON

THE PROPOSED WORK IS DUE TO COMMENCE IN Q4 2021 TO Q1 2023. EXACT BEGINNING AND END OF

SEDIMENT AND EROSION CONTROL NARRATIVE:

DEMOLITION, DEBRIS WILL BE REMOVED FROM SITE BY TRUCK. CONTRACT DC DEPARTMENT OF THE

INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING SILT FENCE, INLET PROTECTION, TREE

ENVIRONMENT. WATERSHED PROTECTION DIVISION AT 202-535-2250 TO SCHEDULE PRE-CONSTRUCTION

PROTECTION, AND STABILIZED CONSTRUCTION ENTRANCE AT SITE. FOLLOWING DISCONNECTION OF UTILITIES,

BUILDING TO BE DEMOLISHED TO THE SURFACE USING DISTRICT APPROVED DEMOLITION METHODS. DURING

INSPECTOR'S APPROVAL, TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES CAN BE REMOVED.

CONSTRUCT BUILDING AND ALL OTHER ABOVE GROUND UTILITIES.

FINAL GRADE THE SITE FOR SIDEWALK INSTALLATION.

FINAL GRADE LANDSCAPE AREAS AND STABILIZE.

CONSTRUCTION DATES:

MEETING.

CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

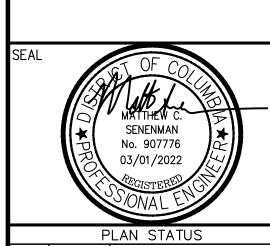
- EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (A) LICENSED IN THE

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2 9/22/21 PERMIT 1 2/24/21 DESIGN DEVELOPMENT NO. DATE DESCRIPTION MCS JNC MCS DESIGN DRAWN CHKD 1" = 20130133-01-00 JOB No. SEPTEMBER, 202 FILE No.

CIV0133

DOEE SOIL EROSION AND SEDIMENT CONTROL PLAN GENERAL NOTES

- 1. FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACES OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1); AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC).
- 3. CONTACT DOEE INSPECTION (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY.
- 4. A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE
- 5. ESC MEASURES SHALL BE IN PLACE TO STABILIZE AND EXPOSED AREA AS SOON AS PRACTICABLE FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE.
- STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE
- TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION.
- 8. PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION.
- 9. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROL, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
- 10. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE
- 11. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAVE BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES).
- 12. FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF
- POLLUTION. THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. EACH SIGN WILL BE LESS THAN 18 X 24 INCHES IN SIZE AND MADE OF MATERIALS THAT WILL WITHSTAND WEATHER FOR THE DURATION OF THE PROJECT. LETTERING WILL BE AT LEAST 1 INCH IN HEIGHT AND EASILY READABLE BY THE PUBLIC FROM A DISTANCE OF TWELVE FEET (12 FT). THE SIGN MUST DIRECT THE PUBLIC, IN SUBSTANTIALLY THE FOLLOWING FORM: "TO REPORT EROSION, RUNOFF, OR STORMWATER POLLUTION" AND WILL PROVIDE THE CONSTRUCTION ADDRESS, DOEE'S TELEPHONE NUMBER (202-535-2977), DOEE'S EMAIL ADDRESS (IEB.SCHEDULING@DC.GOV), AND THE 311 MOBILE APP HEADING ("CONSTRUCTION-EROSION

IF A SITE DISTURBS 5,000 SQUARE FEET OF LAND OR GREATER, THE ESC PLAN MUST CONTAIN THE FOLLOWING STATEMENT:

14. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (A) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (C) SPEAK ON SITE WITH DOEE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (A) LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (B) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES, INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION. DURING CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE APPROVED TRAINIGN PROGRAM.

STREET SWEEPING

- 1. STREETS WITHIN ONE MILE (1.6km) SHALL BE INSPECTED DAILY, ANY DROPPED SOIL, DUST AND/OR DEBRIS SHALL BE REMOVED.
- 2. VACUUM TYPE STREET CLEANER SHALL BE USED TO EFFECTIVELY REMOVE TOTAL DUST AND DIRT ON PAVED SURFACES.
- 3. ROADS SHALL BE SWEPT ON A WEEKLY BASIS (MINIMUM) DURING ALL ON AND OFF-SITE

STABLIZED CONSTRUCION ENTRANCE WITH WASH RACK

DEFINITION: A STABILIZED CONSTRUCTION ENTRANCE (SCE) WITH WASH RACK IS A TEMPORARY PAD OF AGGREGATE WITH A GEOTEXTILE UNDERLINER THAT IS ENHANCED USING A WASH RACK EMBEDDED IN THE SCE AND LOCATED WHERE VEHICLES ENTER OR LEAVE A CONSTRUCTION SITE.

<u>PURPOSE:</u> TO REDUCE THE AMOUNT OF SEDIMENT TRANSPORTED ONTO STREETS OR PUBLIC RIGHTS-OF-WAY BY VEHICLES EXITING THE CONSTRUCTION SITE.

CONDITIONS WHERE PRACTICE APPLIES: CONSIDER USING STABILIZED CONSTRUCTION ENTRANCES WITH WASH RACKS WHEREVER SOIL AND/OR TRAFFIC CONDITIONS ON SITE REQUIRE WASHING THE CONSTRUCTION VEHICLE WHEELS PRIOR TO EXITING THE SITE TO AVOID EXCESSIVE TRACKING OF MUD

DESIGN CRITERIA: A MINIMUM OF 50 FEET LENGTH SHALL BE USED (30 FEET FOR A SINGLE-FAMILY RESIDENCE LOT). A MINIMUM OF 10 FEET WIDTH SHALL BE USED AND FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. PLACE NONWOVEN GEOTEXTILE CLASS SE OVER THE EXISTING GROUND THE LENGTH AND WIDTH OF THE ENTRANCE. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES UNDER THE ENTRANCE TO MAINTAIN POSITIVE DRAINAGE. PROTECT THE PIPE INSTALLED UNDER THE SCE WITH A MOUNTABLE BERM. SIZE THE PIPE WITH A MINIMUM DIAMETER OF 6 INCHES TO CONVEY THE 2-YEAR, 24-HOUR STORM. A PIPE WILL NOT BE NECESSARY WHEN THE SCE IS LOCATED AT A HIGH SPOT AND CONVEYS NO DRAINAGE. LOCATE A STABILIZED CONSTRUCTION ENTRANCE AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE. WHERE POSSIBLE, LOCATE CONSTRUCTION ENTRANCES AT THE HIGH SIDE OF THE PROJECT AREA. WHERE THE STABILIZED CONSTRUCTION ENTRANCE CREATES AN OPENING IN THE PERIMETER SILT FENCE, SECURELY TIE THE SILT FENCE INTO THE MOUNTABLE BERM AT

CONSTRUCTION SPECIFICATIONS:

. USE A WASH RACK DESIGNED AND CONSTRUCTED/MANUFACTURED FOR THE ANTICIPATED TRAFFIC LOADS. CONCRETE, STEEL, OR OTHER MATERIALS ARE ACCEPTABLE. PREFABRICATED UNITS SUCH AS CATTLE GUARDS ARE ACCEPTABLE. USE A MINIMUM DIMENSION OF 6 FEET BY 10 FEET. ORIENT THE PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. DIRECTION OF RIBS AS SHOWN ON THE DETAIL. APPROACHES TO THE WASH RACK SHOULD BE A

MAINTAIN THE ENTRANCE IN A CONDITION THAT WILL MINIMIZE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTSOF-WAY. MAINTAIN STABILIZED CONSTRUCTION ENTRANCES WITH WASH RACKS TO THE SPECIFIED DIMENSIONS BY ADDING ROCK WHEN NECESSARY AT THE END OF EACH WORKDAY, MAINTAIN A STOCKPILE OF ROCK MATERIAL ON SITE FOR THIS PURPOSE. REPAIR DAMAGED WASH RACKS AS NECESSARY TO MAINTAIN THEIR EFFECTIVENESS. IMMEDIATELY REMOVE ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY BY VACUUMING, SWEEPING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE. A STABILIZED CONSTRUCTION ENTRANCE WITHOUT A WASH RACK IS SHOWN IN SECTION 2.1 STABILIZED CONSTRUCTION ENTRANCE AFTER CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED, REMOVE THE SCE AND STABILIZE THE SUBSEQUENT AREA UNLESS IT WILL BE USED AS AN UNDERLAYMENT FOR A DRIVEWAY.

2.5 STANDARDS AND SPECIFICATIONS FOR LAND GRADING

<u>DEFINITION:</u> RESHAPING OF THE EXISTING LAND SURFACE IN ACCORDANCE WITH A PLAN AS DETERMINED BY THE ENGINEERING SURVEY AND LAYOUT.

PURPOSE: TO PROVIDE FOR EROSION CONTROL AND VEGETATIVE ESTABLISHMENT ON AREAS WHERE THE EXISTING LAND SURFACE IS TO BE RESHAPED BY GRADING.

CONDITION WHERE PRACTICE APPLIES: ANY SITE WHERE LAND GRADING WILL OCCUR.

DESIGN CRITERIA: THE GRADING PLAN SHOULD INCORPORATE BUILDING DESIGNS AND STREET LAYOUTS THAT UTILIZE EXISTING TOPOGRAPHY, RETAIN DESIRABLE NATURAL SURROUNDINGS, AND AVOID EXTREME GRADE MODIFICATIONS. INFORMATION SUBMITTED MUST PROVIDE SUFFICIENT TOPOGRAPHIC SURVEYS AND SOIL INVESTIGATIONS TO DETERMINE LIMITATIONS THAT MUST BE IMPOSED ON THE GRADING OPERATION RELATED TO SLOPE STABILITY, EFFECT ON ADJACENT PROPERTIES AND DRAINAGE PATTERNS, MEASURES FOR DRAINAGE AND WATER REMOVAL AND VEGETATIVE TREATMENT, ETC.

THE PLAN MUST SHOW EXISTING AND PROPOSED CONTOURS OF THE AREA(S) TO BE GRADED. THE PLAN MUST ALSO INCLUDE PRACTICES FOR EROSION CONTROL, SLOPE STABILIZATION, SAFE DISPOSAL OF RUNOFF WATER AND DRAINAGE, SUCH AS WATERWAYS, LINED DITCHES, REVERSE SLOPE BENCHES (INCLUDE GRADE AND CROSS SECTION), GRADE STABILIZATION STRUCTURES, RETAINING WALLS, AND SURFACE AND SUBSURFACE DRAINS. THE PLAN MUST ALSO INCLUDE PHASING OF THESE PRACTICES. THE FOLLOWING MUST BE INCORPORATED INTO THE PLAN:

- BALANCE THE CUT AND FILL SLOPES WHERE POSSIBLE TO MINIMIZE OFF-SITE TRANSPORT OF SOILS, AND MINIMIZE THE LENGTH OF TIME THAT UNGRADED SLOPES ARE EXPOSED IN THE CONSTRUCTION SEQUENCE.
- 2. MAKE PROVISIONS TO SAFELY CONDUCT SURFACE RUNOFF TO STORM DRAINS, PROTECTED OUTLETS, OR STABLE WATER COURSES TO ENSURE THAT SURFACE RUNOFF WILL NOT DAMAGE SLOPES OR OTHER GRADED AREAS.
- CUT AND FILL SLOPES THAT ARE TO BE STABILIZED WITH GRASSES MUST NOT BE STEEPER THAN 2:1. (WHERE THE SLOPE IS TO BE MOWED THE SLOPE SHOULD BE NO STEEPER THAN 3:1; 4:1 SLOPES ARE PREFERRED BECAUSE OF SAFETY FACTORS RELATED TO MOWING STEEP SLOPES.) SLOPES EXCEEDING 2:1 REQUIRE SPECIAL DESIGN AND STABILIZATION CONSIDERATIONS THAT MUST BE ADEQUATELY SHOWN ON THE PLANS.
- 4. PROVIDE BENCHED SLOPES WHENEVER THE VERTICAL INTERVAL (HEIGHT) OF ANY 2:1 SLOPE EXCEEDS 20 FEET, ANY 3:1 SLOPE EXCEEDS 30 FEET, AND ANY 4:1 SLOPE EXCEEDS 40 FEET. LOCATE BENCHES TO DIVIDE THE SLOPE FACE AS EQUALLY AS POSSIBLE AND CONVEY THE WATER TO A STABLE OUTLET, TAKE INTO CONSIDERATION SOILS, SEEPS, ROCK OUTCROPS, AND OTHER TOPOGRAPHIC FEATURES WHEN DESIGNING BENCHES. BENCHES MUST BE A MINIMUM OF 6 FEET WIDE TO MAKE MAINTENANCE EASIER DESIGN BENCHES WITH A REVERSE SLOPE OF 6:1 OR FLATTER TO THE TOE OF THE UPPER SLOPE AND WITH A MINIMUM OF 1 FOOT IN DEPTH. BENCH GRADIENT TO THE OUTLET MUST BE BETWEEN 2% AND 3%, UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS. THE FLOW LENGTH WITHIN A BENCH MUST NOT EXCEED 800 FEET UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS. FOR FLOW CHANNEL STABILIZATION, SEE SECTION 4.4 TEMPORARY SWALES.
- DIVERT SURFACE WATER FROM THE FACE OF ALL CUT AND/OR FILL SLOPES USING EARTH DIKES, DITCHES, AND SWALES OR CONVEY DOWNSLOPE USING A DESIGNED STRUCTURE, EXCEPT WHERE
- (a) THE FACE OF THE SLOPE IS STABILIZED, AND THE FACE OF ALL GRADED SLOPES IS PROTECTED FROM SURFACE RUNOFF UNTIL THEY ARE STABILIZED.
- (b) THE FACE OF THE SLOPE IS NOT SUBJECT TO ANY CONCENTRATED FLOWS OF SURFACE WATER SUCH AS FROM NATURAL DRAINAGEWAYS, GRADED SWALES, DOWNSPOUTS, ETC.
- (c) THE FACE OF THE SLOPE IS PROTECTED BY SPECIAL EROSION CONTROL MATERIALS, INCLUDING, BUT NOT LIMITED TO, APPROVED VEGETATIVE STABILIZATION PRACTICES, RIP-RAP, OR OTHER APPROVED STABILIZATION METHODS.
- 6. USE SERRATED SLOPES (STEP CUTS) TO HOLD MOISTURE, LIME, FERTILIZER, AND SEED. THE STEEPEST ALLOWABLE SLOPE IS 1.5:1 FOR RIPPABLE ROCKS AND 2:1 FOR OTHER SURFACES. DIVERT OVERLAND FLOW FROM THE TOP OF ALL SERRATED CUT SLOPES AND CARRY TO A
- 7. PROVIDE SUBSURFACE DRAINAGE WHERE NECESSARY TO INTERCEPT SEEPAGE THAT WOULD OTHERWISE ADVERSELY AFFECT SLOPE STABILITY OR CREATE EXCESSIVELY WET SITE CONDITIONS.
- 8. DO NOT CREATE SLOPES SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTIES WITHOUT ADEQUATELY PROTECTING SUCH PROPERTIES AGAINST SEDIMENTATION, EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED DAMAGES.
- 9 FILL MATERIAL MUST BE LINCONTAMINATED AND IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS, MUST MEET THE ENGINEERING PROPERTIES DICTATED BY THE DESIGN ENGINEER, AND MUST MEET ALL APPLICABLE DESIGN STANDARDS AND REGULATIONS.
- 10. STABILIZE ALL DISTURBED AREAS STRUCTURALLY OR VEGETATIVELY IN COMPLIANCE WITH OTHER STANDARDS IN THIS DOCUMENT

FILL CRITERIA:

SUITABLE OUTLET.

- THE FILL MATERIAL MUST BE FREE OF CONTAMINATION LEVELS OF ANY POLLUTANT THAT IS. OR MAY BE CONSIDERED TO REPRESENT, A POSSIBLE HEALTH HAZARD TO THE PUBLIC OR MAY BE DETRIMENTAL TO SURFACE OR GROUND WATER QUALITY, OR WHICH MAY CAUSE DAMAGE TO PROPERTY OR THE DRAINAGE SYSTEM.
- 2. ALL FILL MATERIAL MUST BE FREE OF HAZARDOUS MATERIALS AND MUST COMPLY ALL APPLICABLE DISTRICT AND FEDERAL REGULATIONS.
- 3. FILL MUST BE COMPACTED IN COMPLIANCE WITH ENGINEERING PROPERTIES DICTATED BY THE

CONSTRUCTION SPECIFICATIONS:

PERMANENTLY.

- INSTALL PERIMETER CONTROLS, DIVERSION DITCHES, AND OTHER EROSION CONTROL MEASURES BEFORE EXPOSING CUT AND FILL SLOPES.
- 2. COMPLETE SITE CLEARING AND GRADING IN COMPLIANCE WITH THE CONSTRUCTION SEQUENCE IDENTIFIED ON THE ESC PLAN.
- PROVIDE EROSION AND SEDIMENT CONTROLS ON ALL TEMPORARY FILL PILES GENERATED DURING
- 4. ENSURE THAT ALL SUPPLEMENTAL FILL CREATED DURING THE GRADING PROCESS IS DISPOSED
- IN CASES WHERE FILL SLOPES OR SOIL PILES CANNOT BE STABILIZED BEFORE THE CLOSE OF THE WORK DAY, UTILIZE TEMPORARY EROSION CONTROL MEASURES SUCH AS PLASTIC SHEETING
- CONFIRM THAT ALL FILLS ARE COMPACTED IN COMPLIANCE WITH THE STANDARDS PRESCRIBED IN
- THE SITE PLAN. REMOVE TEMPORARY DIVERSIONS AND EROSION CONTROLS ONCE SLOPES HAVE BEEN STABILIZED
- IMMEDIATELY REPLACE ANY FAILED DIVERSION MEASURES, AND IMMEDIATELY REGRADE AND STABILIZE ANY PORTIONS OF THE SLOPES THAT HAVE BEGUN TO FORM RILLS OR GULLIES. ENSURE THAT STOCKPILES ARE STABILIZED WITH VEGETATION OR WITH ANOTHER TEMPORARY COVER THROUGHOUT

THE CONSTRUCTION PROCESS, MAINTAIN ALL DIVERSION MEASURES PER THE DETAILS OUTLINED IN

2.6 STANDARDS AND SPECIFICATIONS FOR

<u>PEFINITION:</u> PLACEMENT OF TOPSOIL OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

TO ENSURE THAT SOIL IS NOT EXPOSED.

CONDITIONS WHERE PRACTICE APPLIES

THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: 1. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.

2. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.

3. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.

4. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. THESE AREAS MUST HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE

2.6 STANDARDS AND SPECIFICATIONS FOR TOPSOIL (CONT'D)

DESIGN CRITERIA:

TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED IF IT MEETS THE STANDARDS IN THESE SPECIFICATIONS. PLACE TOPSOIL AND APPLY SOIL AMENDMENTS AS SPECIFIED IN SECTION 2.10 VEGETATIVE STABILIZATION. SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING SPECIFICATIONS:

- 1. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY DOEE REGARDLESS, TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 INCH IN
- 2. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS. QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OTHER POISONOUS PLANTS, OR OTHERS AS SPECIFIED IN SECTION 2.10 VEGETATIVE STABILIZATION. TOPSOIL MUST ALSO BE FREE FROM INVASIVE PLANTS OR PLANT PARTS.
- 3. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND 4. LIMESTONE AT THE RATE OF 4-8 TONS PER ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. DISTRIBUTE LIME UNIFORMLY OVER DESIGNATED AREAS AND WORK INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE NEXT

FOR SITES WITH DISTURBED AREAS OVER 5 ACRES, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN SECTION 2.10 VEGETATIVE STABILIZATION, ALTERNATIVES TO NATURAL TOPSOIL AND ALTERNATIVE SOIL AMENDMENTS. SUCH AS COMPOSTED SEWAGE SLUDGE OR OTHER COMPOSTED MATERIALS, MAY BE USED IN PLACE OF FERTILIZER AND LIME, AS ALLOWED BY OTHER APPLICABLE REGULATIONS AND AS APPROVED BY A CERTIFIED AGRONOMIST OR SOIL SCIENTIST.

- **CONSTRUCTION SPECIFICATIONS:** 1. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SILT FENCE, AND SEDIMENT TRAPS
- 2. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, MUST BE MAINTAINED, THOUGH NOW WITH AN ADDITIONAL 4 TO 8 INCHES HEIGHT IN ELEVATION.
- 3. AFTER THE AREAS TO BE TOPSOILED HAVE BEEN BROUGHT TO GRADE, AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, LOOSEN THE SUBGRADE BY DISCING OR BY SCARIFYING TO A DEPTH OF A LEAST 4 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SUBSOIL. PACK THE SUBSOIL BY PASSING A BULLDOZER UP AND DOWN OVER THE ENTIRE SURFACE AREA OF THE SLOPE TO CREATE HORIZONTAL EROSION CHECK SLOTS TO PREVENT TOPSOIL FROM SLIDING DOWN
- 4. UNIFORMLY DISTRIBUTE TOPSOIL IN A 4-INCH TO 8-INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. PERFORM SPREADING IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. CORRECT ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- 5. DO NOT PLACE TOPSOIL WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

AFTER PRECIPITATION EVENTS, CONFIRM THAT TOPSOIL AND SUBSOIL ARE PROPERLY BONDED AND NO

2.10 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION: USING VEGETATION AS COVER FOR BARREN SOIL TO PROTECT IT FROM FORCES THAT CAUSE EROSION. THIS SPECIFICATIONS INCLUDES BOTH TEMPORARY AND PERMANENT STABILIZATION.

PURPOSE: USE VEGETATIVE STABILIZATION SPECIFICATIONS TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED WHEN SOIL IS STABILIZED WITH VEGETATION, THE SOIL IS LESS LIKELY TO ERODE AND MORE LIKELY TO ALLOW INFILTRATION OF RAINFALL, THEREBY REDUCING SEDIMENT LOADS AND RUNOFF TO DOWNSTREAM AREAS AND IMPROVING WILDLIFE HABITAT AND VISUAL RESOURCES.

CONDITIONS WHERE PRACTICE APPLIES: USE THIS PRACTICE ON DENUDED AREAS AS SPECIFIED ON HE ESC AND SWM PLANS. IT MAY BE USED ON HIGHLY ERODIBLE OR CRITICALLY ERODING AREAS. THIS SPECIFICATION IS DIVIDED INTO TEMPORARY SEEDING, TO QUICKLY ESTABLISH VEGETATIVE COVER FOR SHORT DURATION (UP TO ONE YEAR), AND PERMANENT SEEDING, FOR LONG-TERM VEGETATIVE COVER. EXAMPLES OF APPLICABLE AREAS FOR TEMPORARY SEEDING ARE TEMPORARY SOIL STOCKPILES, CLEARED AREAS BEING LEFT IDLE BETWEEN CONSTRUCTION PHASES, AND EARTH DIKES OR OTHER TEMPORARY EROSION CONTROL MEASURES. EXAMPLES OF PERMANENT SEEDING INCLUDE LAWNS, DAMS, CUT AND FILL SLOPES, AND OTHER AREAS AT FINAL GRADE.

CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1 WITHIN 7 DAYS. ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE MUST BE STABILIZED

DESIGN CRITERIA: FOR BOTH TEMPORARY AND PERMANENT VEGETATIVE STABILIZATION INCLUDES SEED SPECIFICATIONS, SEED MIXTURES, AND SOIL AMENDMENTS. SEED SPECIFICATIONS FOR BOTH TEMPORARY AND PERMANENT SOIL STABILIZATION, SEED MUST MEET THE FOLLOWING SPECIFICATIONS:

- 1. ALL SEED MUST BE SUBJECT TO RETESTING BY A RECOGNIZED SEED LABORATORY WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON THE SITE. NOTE: SEED TAGS MUST BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY TYPE AND RATE OF SEED
- 2. SEED QUALITY MUST BE CONSISTENT WITH THE CRITERIA OUTLINED IN TABLE 2.2.
- 3. THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN-FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. DO NOT USE INOCULANTS BEYOND THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANT AS DIRECTED ON THE PACKAGE. USE 4 TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP THE INOCULANT AS COOL AS POSSIBLE UNTIL IT IS USED. TEMPERATURES ABOVE 75-80°F CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS

<u>TEMPORARY STABILIZATION:</u> USE TEMPORARY SEEDING TO PROVIDE COVER ON DISTURBED AREAS FOR UP TO 12 MONTHS. LONGER DURATION OF VEGETATIVE COVER REQUIRES PERMANENT SEEDING. INCLUDE IN THE PLAN THE FOLLOWING TEMPORARY SEEDING SUMMARY (TABLE 2.3) THAT IDENTIFIES TEMPORARY SEEDING MATERIALS RATES, SPECIES, AND FERTILIZER/LIME RATES. USE TABLE 2.4 TO COMPLETE THE SUMMARY TABLE. IF TABLE 2.3 IS NOT PUT ON THE PLANS AND COMPLETED. THEN TABLE 2.4 MUST BE PUT ON THE PLANS. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING BUT THE PLAN SHOULD IDENTIFY RECOMMENDED FERTILIZER AND/OR LIME APPLICATION RATES. IF SOII TESTING IS COMPLETED. REPORT THE TESTING AGENCY'S RESULTS ON THE PLANS. IF A SOIL TEST HAS BEEN PERFORMED, DELETE THE RATES SHOWN IN TABLE 2.3 AND WRITE IN THE RATES RECOMMENDED BY THE TESTING AGENCY.

<u>PERMANENT STABILIZATION:</u> FOR PERMANENT SEEDING, THE PLAN MUST INCLUDE THE PERMANENT SEEDING SUMMARY WITH THE FOLLOWING INFORMATION. USE TABLES 2.6 AND 2.7 TO COMPLETE THE SUMMARY TABLE.

TURFGRASS MIXTURES: SELECT A SEED MIXTURE FROM TABLE 2.6, USING TABLE 2.7 (CONDITIONS BY MIX) AS A GUIDELINE. SOME GUIDANCE FOR COMMON MIXES IS AS FOLLOWS:

1. KENTUCKY BLUEGRASS (FULL SUN MIXTURE) -FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. THE RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE IS 1.5 TO 2.0 POUNDS PER 1,000 SQUARE FEET. CHOOSE A MINIMUM OF THREE BLUEGRASS CULTIVARS RANGING FROM A MINIMUM OF 10% TO A MAXIMUM OF 35% OF THE MIXTURE BY

- 2. KENTUCKY BLUEGRASS/PERENNIAL RYE (FULL SUN MIXTURE) -FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. THE CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE IS 2 POUNDS MIXTURE PER 1,000 SQUARE FEET. A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS MUST BE CHOSEN, WITH EACH CULTIVAR RANGING FROM 10% TO 35% OF THE MIXTURE BY WEIGHT.
- 3. TALL FESCUE/KENTUCKY BLUEGRASS (FULL SUN MIXTURE) -FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. THE RECOMMENDED MIXTURE INCLUDES 95% TO100% CERTIFIED TALL FESCUE CULTIVARS AND 0% TO5% CERTIFIED KENTUCKY BLUEGRASS CULTIVARS. THE SEEDING RATE IS 5 TO 8 POUNDS PER L.000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.

BLUFGRASS LAWNS OR FOR ESTABLISHMENT IN HIGH QUALITY INTENSIVELY MANAGED TURE AREA.

THE MIXTURE INCLUDES 30% TO 40% CERTIFIED KENTUCKY BLUEGRASS CULTIVARS AND 60% TO 70% OF CERTIFIED FINE FESCUE. THE SEEDING RATE IS 1½ TO 3 POUNDS PER 1,000 SQUARE FFFT. A MINIMUM OF 3 KENTUCKY BLUFGRASS CULTIVARS MUST BE CHOSEN. WITH EACH CULTIVAR RANGING FROM A MINIMUM OF 10% TO A MAXIMUM OF 35% OF THE MIXTURE BY WEIGHT. NOTE: SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT MARYLAND—VIRGINIA TURFGRASS VARIETY RECOMMENDATION WORK GROUP LIST (HTTP://WWW.PUBS.EXT.VT.EDU/).

4. KENTUCKY BLUEGRASS/FINE FESCUE (SHADE MIXTURE) -FOR USE IN AREAS WITH SHADE IN

2.10 STANDARDS AND SPECIFICATIONS FOR **VEGETATIVE STABILIZATION (CONT'D)**

SOD GRASS: USE SOD GRASS TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER). 1. CLASS OF TURFGRASS SOD MUST COMPLY WITH THE GRASS VARIETIES LISTED IN TABLE 2.7. MAKE SOD

- LABELS AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. 2. MACHINE CUT SOD AT A UNIFORM SOIL THICKNESS OF %INCHES, PLUS OR MINUS 1/4 INCHES, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH.
- INDIVIDUAL PIECES OF SOD MUST BE CUT TO THE SUPPLIER'S WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS IS 5%. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE 3. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND
- RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10% OF THE SECTION. 4. DO NOT HARVEST OR TRANSPLANT SOD WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY
- ADVERSELY AFFECT ITS SURVIVAL. 5. HARVEST, DELIVER, AND INSTALL SOD WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN

THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

PLANTING DATES: THE RECOMMENDED PLANTING DATES FOR PERMANENT COVER CAN BE FOUND IN TABLE

MINIMUM SOIL CRITERIA: MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT INCLUDE THE FOLLOWING: 1. SOIL PH MUST BE BETWEEN 6.0 AND 7.0.

2. SOLUBLE SALTS MUST BE LESS THAN 500 PARTS PER MILLION (PPM). 3. THE SOIL MUST CONTAIN LESS THAN 40% CLAY BUT ENOUGH FINE GRAINED MATERIAL (> 30% SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AS AN

EXCEPTION, IT IS ACCEPTABLE TO PLANT LOVEGRASS OR SERECIA LESPEDEZA IN SANDY SOIL (< 30%

- SILT PLUS CLAY). 4. SOIL MUST CONTAIN 1.5% MINIMUM ORGANIC MATTER BY WEIGHT
- 5. SOIL MUST CONTAIN SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION. 6. IF THESE CONDITIONS CANNOT BE MET BY SOILS ON SITE, TOPSOIL MUST BE ADDED AS REQUIRED IN SECTION 2.6 TOPSOILING.

SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS):

NOT USUALLY NECESSARY FOR TEMPORARY SEEDING

- 1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES WITH DISTURBED AREAS OVER 5 ACRES. SOIL ANALYSIS MAY BE PERFORMED BY THE UNIVERSITY OF THE DISTRICT OF COLUMBIA OR A CERTIFIED COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL
- 2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING, AND SUITABLE FOR ACCURATE APPLICATION BY APPROVED EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM DOEE. DELIVER ALL FERTILIZERS TO THE SITE FULLY LABELED PER APPLICABLE LAWS

AND BEAR THE NAME, TRADE NAME OR TRADEMARK, AND WARRANTY OF THE PRODUCER.

3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED) CONTAINING AT LEAST 50% TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50% WILL PASS THROUGH A #100 MESH SIEVE AND 98% TO 100% WILL PASS THROUGH A #20 MESH SIEVE.

CONSTRUCTION SPECIFICATIONS:

- SITE PREPARATION: 1. INSTALL EROSION AND SEDIMENT CONTROL STRUCTURES (EITHER TEMPORARY OR PERMANENT) SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BERMS, WATERWAYS, OR SEDIMENT CONTROL BASINS. 2. PERFORM ALL GRADING OPERATIONS AT RIGHT ANGLES TO THE SLOPE. FINAL GRADING AND SHAPING IS
- 3. SCHEDULE REQUIRED SOIL TESTS TO DETERMINE SOIL AMENDMENT COMPOSITION AND APPLICATION RATES FOR SITES HAVING DISTURBED AREA OVER 5 ACRES.
- 4. DISTRIBUTE LIME AND FERTILIZER EVENLY AND INCORPORATE THEM INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. 5. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS PER ACRE (200 TO 400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

SEEDBED PREPARATION:

- 1. TEMPORARY SEEDING (a) SEEDBED PREPARATION MUST CONSIST OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, DO NOT ROLL OR DRAG SMOOTH BUT LEAVE IN THE ROUGHENED CONDITION. TRACK SLOPED AREAS (GREATER THAN 3:1) LEAVING THE SURFACE IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.
- (b) APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. (c) INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- 2. PERMANENT SEEDING -MAINTAIN AREAS PREVIOUSLY GRADED IN CONFORMANCE WITH THE DRAWINGS IN A TRUE AND EVEN GRADE, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREA AND TO CREATE HORIZONTAL EROSION CHECK SLOTS TO PREVENT TOPSOIL FROM SLIDING DOWN A SLOPE. APPLY SOIL AMENDMENTS AS PER SOIL TEST OR AS INCLUDED ON THE PLANS. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF TOPSOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE. TRACK STEEP SLOPES (STEEPER THAN 3:1) BY A DOZER LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. THE TOP 1 TO 3 INCHES OF SOIL SHOULD BE
- 3. METHODS OF SEEDING -APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED, FERTILIZER AND MULCH), BROADCAST OR DROP SEEDER, OR A CULTIPACKER SEEDER. (a) HYDROSEEDING i) IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING. THE APPLICATION RATES WILL NOT

LOOSE AND FRIABLE. SEEDBED LOOSENING MAY NOT BE NECESSARY ON NEWLY DISTURBED AREAS.

- EXCEED THE FOLLOWING: NITROGEN, MAXIMUM OF 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS ii) LIME -USE ONLY GROUND AGRICULTURAL LIMESTONE, (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS PER ACRE ARE APPLIED BY
- HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN iii) SEED AND FERTILIZER MUST BE MIXED ON SITE AND SEEDING MUST BE DONE IMMEDIATELY AND
- WITHOUT INTERRUPTION. iv) FIBER MULCH MAY BE INCORPORATED INTO THE HYDROSEEDING MIXTURE. CONSULT SECTION 2.7 MULCHING FOR STANDARDS AND SPECIFICATIONS FOR MULCH MATERIALS. (a) DRY SEEDING - THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. i) INCORPORATE SEED SPREAD DRY INTO THE SUBSOIL AT THE RATES PRESCRIBED ON THE TEMPORARY OR PERMANENT SEEDING SUMMARIES OR TABLES 2.4 OR 2.7. THE SEEDED AREA
- ii) WHERE PRACTICAL, APPLY SEED IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. (a) DRILL OR CULTIPACKER SEEDING -MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL. i) CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCHES OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.

MUST THEN BE ROLLED WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT

- ii) WHERE PRACTICAL, APPLY SEED IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. 4. SOD INSTALLATION -DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL. THE SUBSOIL MUST BE LIGHTLY IRRIGATED IMMEDIATELY PRIOR TO LAYING THE SOD. THE FIRST ROW OF SOD MUST BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS MUST BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS, WHICH WOULD CAUSE AIR DRYING OF THE ROOTS. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINT, ROLL AND TAMP, PEG. OR OTHERWISE SECURE SOD TO PREVENT SLIPPAGE ON SLOPES AND TO ENSURE SOLID CONTACT BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE. IMMEDIATELY WATER SOD FOLLOWING ROLLING OR TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF
- LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS. 5. INCREMENTAL STABILIZATION -CUT SLOPES DRESS, PREPARE, SEED, AND MULCH ALL CUT SLOPES AS THE WORK PROGRESSES. EXCAVATE AND STABILIZE SLOPES IN EQUAL INCREMENTS NOT TO EXCEED 15 FEET. THE CONSTRUCTION SEQUENCE IS AS FOLLOWS (REFER TO FIGURE 2.1):
 (a) EXCAVATE AND STABILIZE ALL TEMPORARY SWALES, SIDE DITCHES, OR BERMS THAT WILL BE USED
- TO CONVEY RUNOFF FROM THE EXCAVATION. (b) PERFORM PHASE 1 EXCAVATION, DRESS, AND STABILIZE.
- NECESSARY. (d) PERFORM FINAL PHASE EXCAVATION, DRESS, AND STABILIZE. OVERSEED PREVIOUSLY SEEDED AREAS AS NECESSARY. NOTE: ONCE EXCAVATION HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF

OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE

(c) PERFORM PHASE 2 EXCAVATION, DRESS, AND STABILIZE. OVERSEED PHASE 1 AREAS AS

APPLICATION OF TEMPORARY STABILIZATION. 6. INCREMENTAL STABILIZATION OF EMBANKMENTS -FILL SLOPES CONSTRUCT EMBANKMENTS IN LIFTS AS PRESCRIBED ON THE PLANS. IMMEDIATELY STABILIZE SLOPES WHEN THE VERTICAL HEIGHT OF THE MULTIPLE LIFTS REACHES 15 FEET, OR WHEN THE GRADING OPERATION CEASES AS PRESCRIBED IN THE PLANS, AT THE END OF EACH DAY, CONSTRUCT TEMPORARY BERMS AND PIPE SLOPE DRAINS ALONG THE TOP EDGE OF THE EMBANKMENT TO INTERCEPT SURFACE RUNOFF AND CONVEY IT DOWN THE

SLOPE IN A NON-EROSIVE MANNER TO A SEDIMENT TRAPPING DEVICE. THE CONSTRUCTION SEQUENCE

TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE

- IS AS FOLLOWS (REFER TO FIGURE 2.2): (a) EXCAVATE AND STABILIZE ALL TEMPORARY SWALES, SIDE DITCHES, OR BERMS THAT WILL BE USED TO DIVERT RUNOFF AROUND THE FILL. CONSTRUCT SLOPE SILT FENCE ON LOW SIDE OF FILL AS SHOWN IN FIGURE 2.2, UNLESS OTHER METHODS SHOWN ON THE PLANS ADDRESS THIS AREA. (b) PLACE PHASE 1 EMBANKMENT, DRESS AND STABILIZE.
- (c) PLACE PHASE 2 EMBANKMENT, DRESS AND STABILIZE. (d) PLACE FINAL PHASE EMBANKMENT, DRESS AND STABILIZE. OVERSEED PREVIOUSLY SEEDED AREAS AS NECESSARY.
- NOTE: ONCE THE PLACEMENT OF FILL HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.

42.0 STANDARDS AND SPECIFICATIONS FOR

VEGETATIVE STABILIZATION (CONT'D)

GRASS MAINTENANCE:

- . INSPECT ALL SEEDED AREAS FOR FAILURES AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDINGS WITHIN THE PLANTING SEASON. 2. ONCE THE VEGETATION IS ESTABLISHED, THE SITE MUST HAVE 95% GROUND COVER TO BE CONSIDERED ADEQUATELY STABILIZED.
- 3. IF THE STAND PROVIDES LESS THAN 40% GROUND COVERAGE, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER, SEEDBED PREPARATION AND SEEDING RECOMMENDATIONS. 4. IF THE STAND PROVIDES BETWEEN 40% AND 94% GROUND COVERAGE, OVERSEEDING AND FERTILIZING USING HALF OF THE RATES ORIGINALLY APPLIED MAY BE NECESSARY. 5. MAINTENANCE FERTILIZER RATES FOR PERMANENT SEEDINGS ARE SHOWN IN TABLE 2.9.

SOD MAINTENANCE:

- 1. IN THE ABSENCE OF ADEQUATE RAINFALL, PERFORM WATERING DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER DURING THE HEAT OF THE DAY TO PREVENT WILTING.
- 2. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT. MOISTURE CONTENT.

 3. DO NOT ATTEMPT THE FIRST MOWING OF SOD UNTIL THE SOD IS FIRMLY ROOTED. DO NOT REMOVE MORE THAN A THIRD OF THE GRASS LEAF BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN GRASS HEIGHT BETWEEN 2 TO 3 INCHES UNLESS OTHERWISE SPECIFIED.

	D MIXTURE (HA M TABLE 43	FERTILIZER RATE	LIME RATE			
NO.	SPECIES	APPLICATION	SEEDING	SEEDING	(10–10–10)	
		RATE (lb/ac)	DATES	DEPTHS	(10 10 10)	
	RYE PLUS FOXTAIL MILLET	150	2/1-4/30 5/1-8/30 8/15-11/30	1	600 lb/ac (14 lb/1000 sf)	2 tons/ac (92 lb/1000sf)
	WEEPING LOVEGRASS	4	5/1-8/14	1/4	(14 lb/1000 sf)	(92 lb/1000sf)

SECTION III - PERMANENT SEEDING

SEEDING GRASS AND LEGUMES TO ESTABLISH GROUND COVER FOR A MINIMUM PERIOD OF ONE YEAR ON DISTURBED AREAS GENERALLY RECEIVING LOW MAINTENANCE.

A. SEED MIXTURES - PERMANENT SEEDING SUMMARY

SEED MIXTURE (HARDINESS ZONE 7A) FROM TABLE 42						ER RATE 0–20)	LIME RATE	
N0.	SPECIES	APPLICATION	SEEDING	SEEDING				
		RATE (lb/ac)	DATES	DEPTHS	N	P205	K20	
	TALL FESCUE (85%)	125	3/1–5/15	4 /4" MINI	90 lb/ac	175 lb/ac	175 lb/ac	2 tons/ac
	PERENNIAL RYEGRASS (10%)	15		1/4" MIN.	(2.0 lb/ 1000 sf)	(4 lb/ 1000 sf)	(4 lb/ 1000 sf)	(92 lb/ 1000 sf)
	KENTUCKY BLUEGRASS (5%)	10	8/15–11/15	2" MIN.				

9.1 STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

<u>DEFINITION:</u> CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS. PURPOSE: TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE AND OFF-SITE DAMAGE, HEALTH HAZARDS, AND TRAFFIC SAFETY PROBLEMS.

DESIGN CRITERIA: WHEN DESIGNING A DUST CONTROL PLAN FOR A SITE, THE AMOUNT OF SOIL EXPOSED WILL DICTATE THE QUANTITY OF DUST GENERATION AND TRANSPORT, THEREFORE. CONSTRUCTION SEQUENCING AND DISTURBING ONLY SMALL AREAS AT A TIME CAN GREATLY REDUCE PROBLEMATIC DUST FROM A SITE. IF LAND SHOULD BE DISTURBED, CONSIDER ADDITIONAL

- MULCHES -SEE SECTION 2.7 MULCHING. CHEMICAL OR WOOD CELLULOSE FIBER BINDERS MUST
- 2. VEGETATIVE COVER SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.

BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL.

- 3. SPRAY-ON ADHESIVES ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
- PRACTICE CAN BE PARTICULARLY EFFECTIVE FOR ROAD CONSTRUCTION AND OTHER TRAFFIC ROUTES. THE SITE MUST NOT BE SPRINKLED TO THE POINT THAT RUNOFF OCCURS. 6. BARRIERS -SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, CRATE
- WALLS, OR SIMILAR MATERIALS CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. 7. CALCIUM CHLORIDE -CAN BE APPLIED AS FLAKES OR GRANULAR MATERIAL WITH A

MECHANICAL SPREADER AT A RATE THAT WILL KEEP THE SOIL SURFACE MOIST BUT NOT SO

- THE CONTRACTOR MUST CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE SO AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. USE DUST CONTROL THROUGHOUT THE
- THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL, AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.

3. THE CONTRACTOR SHALL SUPPLY WATER-SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL

- 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES SHALL GENERALLY CONSIST OF
- 5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL: (a) APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, AND PUMP WITH
- (c) DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 KPA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- a) APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES. b) LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE
- c) APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND THE SITE

BECAUSE DUST CONTROLS ARE DEPENDENT ON SPECIFIC SITE AND WEATHER CONDITIONS, INSPECTION AND MAINTENANCE ARE UNIQUE FOR EACH SITE. GENERALLY, DUST CONTROL MEASURES INVOLVING APPLICATION OF EITHER WATER OR CHEMICALS REQUIRE MORE MONITORING THAN STRUCTURAL OR VEGETATIVE CONTROLS TO REMAIN EFFECTIVE. IF STRUCTURAL CONTROLS ARE USED, INSPECT THEM FOR DETERIORATION ON A REGULAR BASIS TO ENSURE THAT THEY ARE STILL ACHIEVING THEIR INTENDED PURPOSE.

CONDITIONS WHERE PRACTICE APPLIES: THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AN OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

TEMPORARY STABILIZATION MEASURES PRIOR TO DISTURBANCE.

- TEMPORARY METHODS:
- TILLAGE -THIS IS AN EMERGENCY TEMPORARY PRACTICE THAT WILL SCARIFY THE SOIL SURFACE AND PREVENT OR REDUCE THE AMOUNT OF BLOWING DUST UNTIL A MORE
- APPROPRIATE SOLUTION CAN BE IMPLEMENTED. BEGIN THE TILLAGE OPERATION ON THE WINDWARD SIDE OF SITE. USE A CHISEL-TYPE PLOWS TO PRODUCE THE BEST RESULTS. 5. SPRINKLING -THIS IS THE MOST COMMONLY USED DUST CONTROL PRACTICE. THE SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST AND REPEATED AS NEEDED. THIS

HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. CAN BE REAPPLIED AS NECESSARY.

- CONSTRUCTION SPECIFICATIONS
- WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
- DISCHARGE PRESSURE GAUGE. (b) ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER.
- 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
- MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS

BOUNDARIES.

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S SENENMAN No. 907776 03/01/2022 PLAN STATUS

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2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE.

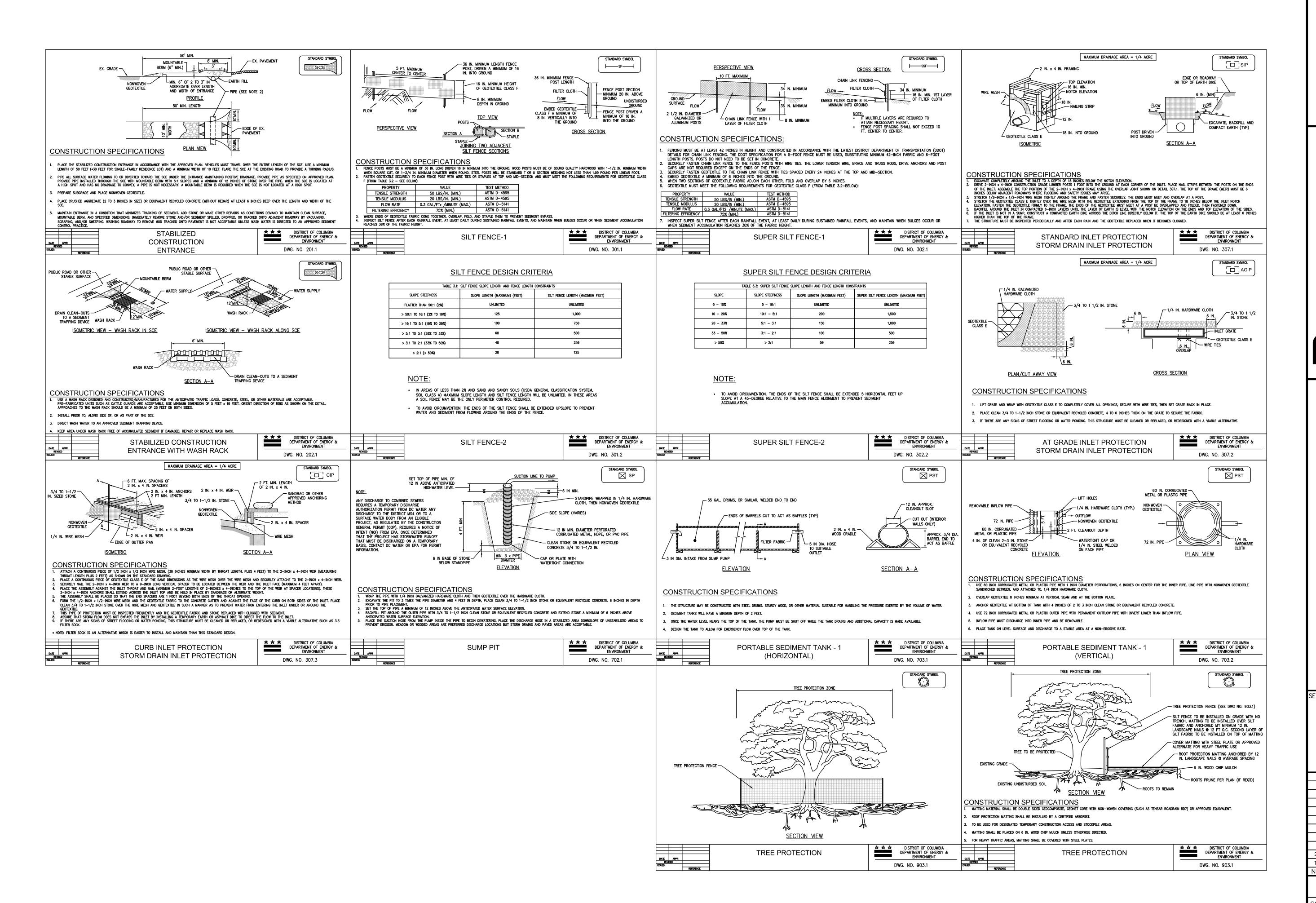
- AVAILABLE FOR DOEE INSPECTORS. AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN
- PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND
- STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH,
- THE REMOVAL OR EROSION AND SEDIMENT CONTROLS.
- 13. POST A SIGN THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER

HAULING OPERATIONS FOR UP TO ONE MILE 2.0 STANDARDS AND SPECIFICATIONS FOR

AND DIRT ONTO A ROADWAY. PRIOR TO PLACING STONE. PLACE CRUSHED AGGREGATE 2 INCHES TO 3 INCHES IN SIZE (SEE APPENDIX A, TABLE A.2) OR RECYCLED CONCRETE EQUIVALENT (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER CHAPTER 4 CONVEYANCE.

ITS CENTERLINE TO PROVIDE A CONTINUOUS BARRIER.

MINIMUM OF 25 FEET ON BOTH SIDES. INSTALL PRIOR TO, ALONGSIDE OF, OR AS PART OF THE SCE. 3. DIRECT WASH WATER TO AN APPROVED SEDIMENT TRAPPING DEVICE.

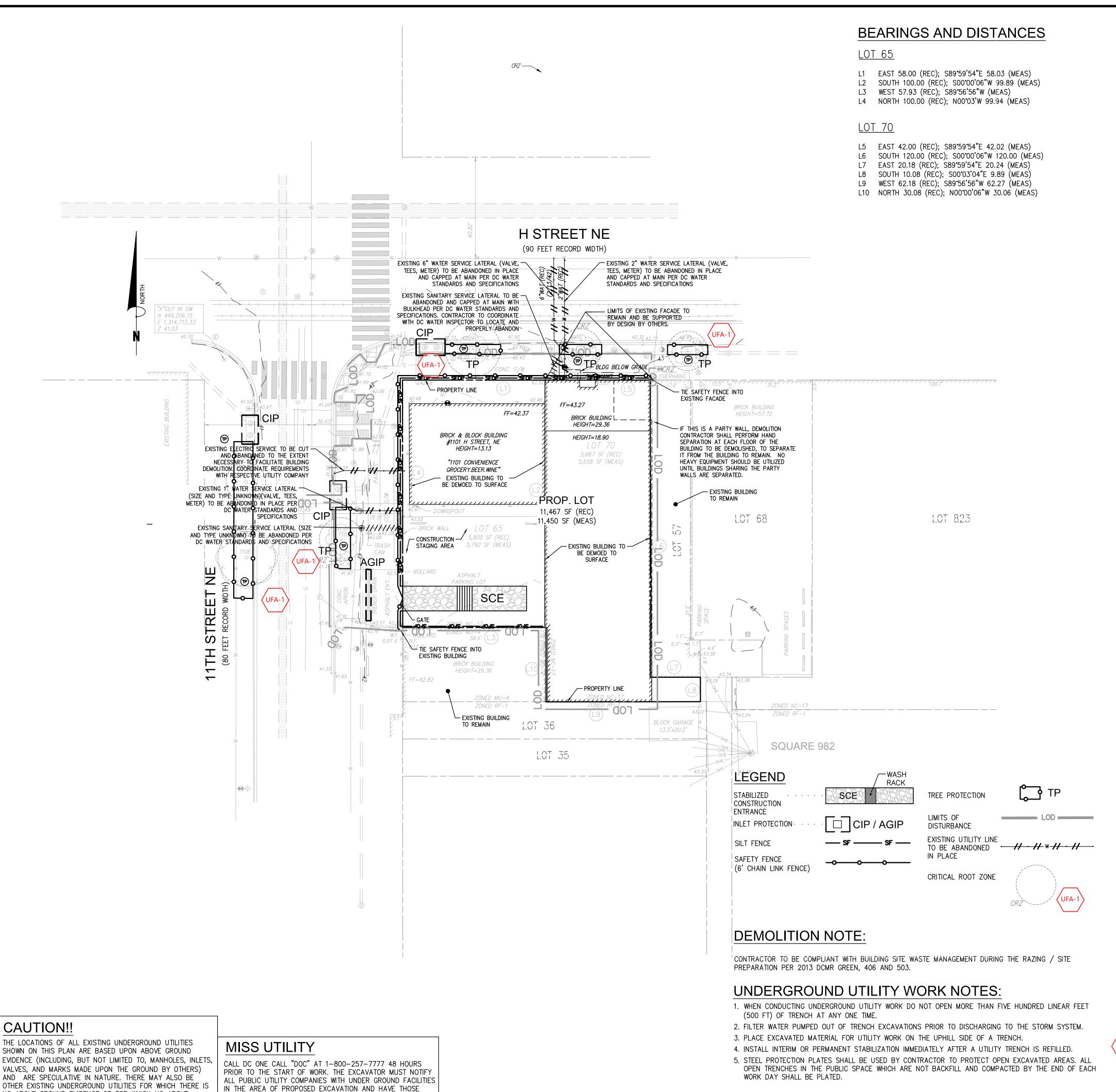


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DEMOLITION CONTROL NARRATIVE

INSTALL SEDIMENT AND EROSION CONTROL SILT FENCE AROUND BUILDING. LOADING OF DEBRIS WILL TAKE PLACE IN PARKING LOT SOUTH WEST OF THE OF THE EXISTING BUILDINGS. EXPOSED AREA TO BE COVERED WITH BRICKBAT AFTER DEMOLITION FOR GROUND COVER ONCE BUILDING SLAB HAS BEEN REMOVED. CONTROLS TO BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION AND REMOVED AFTER STABILIZATION. CONTACT DEPARTMENT OF ENERGY AND ENVIRONMENT, WATERSHED PROTECTION DIVISION AT 202-535-2240 TO SCHEDULE PRE-CONSTRUCTION MEETING.

DEMOLITION SEQUENCE:

1. CONTACT DC-WATERSHED PROTECTION DIVISION AT 202-535-2240 TO SCHEDULE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.

2. INSTALL SILT FENCE AND SAFETY FENCE AROUND PERIMETER OF PROPOSED WORK AS INDICATED. 3. INSTALL INLET AND TREE PROTECTION AS INDICATED. CONTRACTOR TO INSTALL INLET PROTECTION AT NEAREST DOWNSTREAM STORM INLET PRIOR TO THE LAND-DISTURBING ACTIVITY.

4. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.

5. REMOVE OR ABANDON EXISTING UTILITY CONNECTIONS AND PIPES.

6. KNOCK DOWN TWO EXISTING BUILDINGS.

6. REMOVE DEBRIS FROM SITE BY TRUCK.

7. STABILIZE ALL DISTURBED AREAS WITH SEED AND STRAW AS TEMPORARY GROUND COVER.

NOTES:

1. EXISTING UTILITIES ON THE EXISTING BUILDING THAT ARE NOT SHOWN ON THIS PLAN TO BE REMOVED AT THE MAIN IF NOT REQUIRED FOR FUTURE SERVICE, COORDINATE REQUIREMENTS WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO REMOVAL

2. EXISTING WATER SERVICE LATERAL, VALVES, AND TEES NOT SHOWN ON PLAN TO BE REMOVED AND CAPPED AT MAIN PER DC WATER STANDARDS AND SPECIFICATIONS.

3. EXISTING SEWER SERVICE LATERAL AND RELATED APPURTENANCES NOT SHOWN ON THIS PLAN TO BE REMOVED WITH BULKHEAD AT MAIN PER DC WATER STANDARDS AND SPECIFICATIONS. 4. CONTRACTOR TO INSTALL INLET PROTECTION AT THE NEAREST DOWNSTREAM STORM INLET PRIOR TO THE

LAND-DISTURBING ACTIVITY. REFER TO SHEET CIVO520 FOR DETAILS. 5. SEDIMENT TRAPS OR BASINS AND OTHER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED NO LATER THAN THE FIRST PHASE OF LAND GRADING.

6. SEDIMENT TRAPS OR BASINS AND OTHER ESCS SHALL BE INSTALLED AS SOON AS NEW SITE-RELATED RUNOFF IS DETECTED AND EMPLOYED AT ALL TIMES TO PROTECT INLETS OR STORM SEWERS BELOW SILT-PRODUCING AREAS

7. NO LATER THAN THE FIRST DAY OF CONSTRUCTION, INSTALL SITE ACCESS MEASURES TO MINIMIZE OFF-SITE VEHICLE TRACKING OF SEDIMENTS. EACH CONSTRUCTION ENTRANCE MUST BE STABILIZED AND INCLUDE EACH ADDITIONAL MEASURE REQUIRED TO KEEP SEDIMENT FROM BEING CARRIED ONTO PUBLIC STREETS BY CONSTRUCTION VEHICLES AND WASHED INTO A STORM DRAIN OR WATERWAYS.

8. REMOVE OFF-SITE ACCUMULATION OF SEDIMENT DAILY DURING CONSTRUCTION AND IMMEDIATELY AT THE REQUEST OF A DOEE INSPECTOR.

9. IMMEDIATELY AFTER DEBRIS BASINS, DIVERSIONS, WATERWAYS, AND RELATED STRUCTURES ARE BUILT, SEED AND MULCH, OR INSTALL SOD & STABILIZATION BLANKET 10. PERFORM ROUTINE MAINTENANCE TO PREVENT ANY NEW DESTABILIZED AREAS.

11. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF GUTTERS AND DOWNSPOUTS AS SOON AS PRACTICABLE.

12. MEASURES SHALL BE TAKEN TO ACHIEVE A NON-ERODING VELOCITY FOR STORMWATER EXITING FROM A ROOF OR DOWNSPOUT OR TO TEMPORARILY PIPE THAT STORMWATER DIRECTLY TO A STORM DRAIN

SITE DISTURBANCE

TOTAL SITE AREA: 11,450 OR 0.26 AC. LOT 65: 5,792 SF OR 0.13 AC. LOT 70: 5,658 SF OR 0.13 AC.

RAZE AREA OF DISTURBANCE: 8,465 SF OR 0.19 AC.

TOTAL VOLUME OF BUILDING TO BE REMOVED: 5.299 CUBIC YARDS

1101 H STREET: 1,071 CUBIC YARDS (2,225 SF BLDG FOOTPRINT TO BE REMOVED, 13' HEIGHT)

1107 H STREET: 4,228 CUBIC YARDS (5,548 SF BLDG FOOTPRINT TO BE REMOVED; 874 SF OF 29' HEIGHT, 4674 SF OF 19' HEIGHT)

CHAPTER 21 DCMR § 517 STORMWATER MANAGEMENT EXEMPTIONS

THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORM WATER MANAGEMENT REQUIREMENTS:

- CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS
- REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL

DUST CONTROL NOTES:

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE. 2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.

3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS. 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.

5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:

- A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE
- B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER:
- DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING. 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR

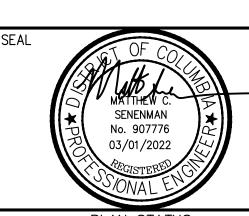
C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS

- SHALL: A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
- B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

TREE AND ROOT PROTECTION NOTES:

ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) - SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE THE CONFLICTING WORK.

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EROSION AND CONTROL PL

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COLUMBIA CODES AND REGULATIONS.

FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO

COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE

FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF

NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE

THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF

SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY

TOTAL AREAS - SOE:

SITE AREA: 11,492 SF OR 0.26 AC

AREA TO BE DISTURBED: 12,502 SF OR 0.29 AC (SOE ONLY)

EXCAVATION CUT/FILL

THE TOTAL VOLUME OF EXCAVATION = 10,057 SF (AREA) x 10 FT (DEPTH) / 27 = 3,724 CY \pm CUT (CY)-3,724 CY

FILL (CY)-0 CY

EXCAVATION OF UTILITY TRENCHING (CY)-11 CY

CHAPTER 21 DCMR § 517 STORMWATER MANAGEMENT EXEMPTIONS

CAUTION!!

MANAGEMENT REQUIREMENTS:

(500 FT) OF TRENCH AT ANY ONE TIME.

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORM WATER

. WHEN CONDUCTING UNDERGROUND UTILITY WORK DO NOT OPEN MORE THAN FIVE HUNDRED LINEAR FEET

2. FILTER WATER PUMPED OUT OF TRENCH EXCAVATIONS PRIOR TO DISCHARGING TO THE STORM SYSTEM.

CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS

REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL

UNDERGROUND UTILITY WORK NOTES:

3. PLACE EXCAVATED MATERIAL FOR UTILITY WORK ON THE UPHILL SIDE OF A TRENCH.

MISS UTILITY

CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.



BEARINGS AND DISTANCES

LOT 65

- L1 EAST 58.00 (REC); S89°59'54"E 58.03 (MEAS)
- L2 SOUTH 100.00 (REC); S00°00'06"W 99.89 (MEAS) L3 WEST 57.93 (REC); S89°56'56"W (MEAS)
- L4 NORTH 100.00 (REC); N00°03'W 99.94 (MEAS)

LOT 70

- L5 EAST 42.00 (REC); S89°59°54"E 42.02 (MEAS)
- SOUTH 120.00 (REC); S00°00'06"W 120.00 (MEAS) EAST 20.18 (REC); S89°59'54"E 20.24 (MEAS)
- L8 SOUTH 10.08 (REC); S00°03'04"E 9.89 (MEAS) L9 WEST 62.18 (REC); S89°56'56"W 62.27 (MEAS)
- L10 NORTH 30.08 (REC); N00°00'06"W 30.06 (MEAS)

DUST CONTROL NOTES:

- THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE
- 2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
- 3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
- 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
- 5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL: A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE
- GAUGE: B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER:
- C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR
- A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND
- B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS
- DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING. C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

CONSTRUCTION DATES:

THE PROPOSED WORK IS DUE TO COMMENCE IN Q4 2021 TO Q1 2023. EXACT BEGINNING AND END OF CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

SEDIMENT AND EROSION CONTROL NARRATIVE:

INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING SILT FENCE, INLET PROTECTION, TREE PROTECTION, AND STABILIZED CONSTRUCTION ENTRANCE AT SITE. FOLLOWING DISCONNECTION OF UTILITIES, BUILDING TO BE DEMOLISHED TO THE SURFACE USING DISTRICT APPROVED DEMOLITION METHODS. DURING DEMOLITION, DEBRIS WILL BE REMOVED FROM SITE BY TRUCK. CONTRACT DC DEPARTMENT OF THE ENVIRONMENT. WATERSHED PROTECTION DIVISION AT 202-535-2250 TO SCHEDULE PRE-CONSTRUCTION

TREE AND ROOT PROTECTION NOTES:

ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) - SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE THE CONFLICTING WORK.

TOTAL AREAS - SOE:

SITE AREA: 11,492 SF OR 0.26 AC AREA TO BE DISTURBED: 12,502 SF OR 0.29 AC (SOE ONLY)

EXCAVATION CUT/FILL:

THE TOTAL VOLUME OF EXCAVATION = 10,057 SF (AREA) x 10 FT (DEPTH) / 27 = 3,724 CY \pm

CUT (CY)-3,724 CY FILL (CY)-0 CY

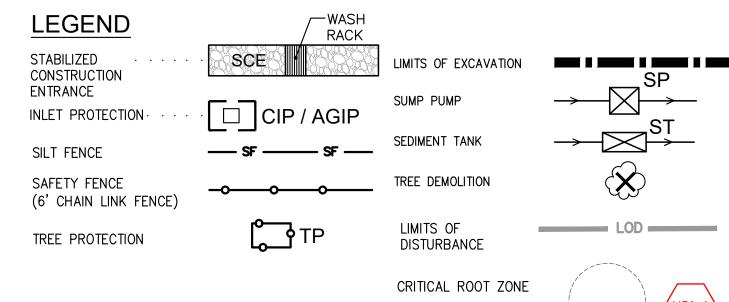
EXCAVATION OF UTILITY TRENCHING (CY)-11 CY

CHAPTER 21 DCMR § 517 STORMWATER MANAGEMENT EXEMPTIONS THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORM WATER MANAGEMENT REQUIREMENTS:

CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS

REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL

- **UNDERGROUND UTILITY WORK NOTES:**
- 1. WHEN CONDUCTING UNDERGROUND UTILITY WORK DO NOT OPEN MORE THAN FIVE HUNDRED LINEAR FEET (500 FT) OF TRENCH AT ANY ONE TIME.
- 2. FILTER WATER PUMPED OUT OF TRENCH EXCAVATIONS PRIOR TO DISCHARGING TO THE STORM SYSTEM.
- 3. PLACE EXCAVATED MATERIAL FOR UTILITY WORK ON THE UPHILL SIDE OF A TRENCH.
- 4. INSTALL INTERIM OR PERMANENT STABILIZATION IMMEDIATELY AFTER A UTILITY TRENCH IS REFILLED.
- 5. STEEL PROTECTION PLATES SHALL BE USED BY CONTRACTOR TO PROTECT OPEN EXCAVATED AREAS. ALL OPEN TRENCHES IN THE PUBLIC SPACE WHICH ARE NOT BACKFILL AND COMPACTED BY THE END OF EACH WORK DAY SHALL BE PLATED.



CONSTRUCTION AND STABILIZATION SEQUENCE:

CONTACT DC WATERSHED PROTECTION DIVISION AT 202-535-1364 TO SCHEDULE THE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.

- 2. CONTACT ELAINE WILSON OF DC WATER AT 202-787-4177 TO OBTAIN A DC WATER TEMPORARY DISCHARGE PERMIT FOR PORTABLE SEDIMENT TANK DISCHARGE TO THE COMBINED SEWER SYSTEM (CSS).
- TEMPORARY DISCHARGE PERMIT FROM DC WATER WILL BE OBTAINED FOR THE STORMWATER DISCHARGE FROM THE SEDIMENT STORAGE TANK OR DEWATERING BMP.
- INSTALL SEDIMENT AND EROSION CONTROL MEASURES AS NEEDED INCLUDING STABILIZED CONSTRUCTION ENTRANCE, WASH RACK, INLET PROTECTION, AND SILT FENCE AS INDICATED ON THIS SHEET, SEE SHEET CIVO520 FOR SEDIMENT AND EROSION CONTROL DETAILS.
- SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
- 6. AT THE COMPLETION OF THIS PHASE OF CONSTRUCTION, FOLLOWING SITE STABILIZATION AND UPON INSPECTOR'S APPROVAL, TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES CAN BE REMOVED.

EROSION AND SEDIMENT CONTROL NOTES:

- FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACES OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1): AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC). [21 DCMR § 542.9 (0)]
- 2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE. [21 DCMR § 543.6]
- 3. CONTACT DOEE INSPECTION (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY. [21 DCMR § 503.7 (A)]
- A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DOEE INSPECTORS. [21 DCMR § 542.15]
- ESC MEASURES SHALL BE IN PLACE TO STABILIZE AN EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE. [21 DCMR § 543.7].
- STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE. [21] DCMR § 543.16 (A)]
- 7. STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION. [21 DCMR § 543.16 (B)]
- FILL MATERIAL MUST BE FREE OF CONTAMINATION LEVELS OF ANY POLLUTANT THAT IS. OR MAY BE CONSIDERED TO REPRESENT, A POSSIBLE HEALTH HAZARD TO THE PUBLIC OR MAY BE DETRIMENTAL TO SURFACE OR GROUND WATER QUALITY. OR WHICH MAY CAUSE DAMAGE TO PROPERTY OR THE DRAINAGE SYSTEM. ALL FILL MATERIAL MUST BE FREE OF HAZARDOUS MATERIALS AND COMPLY WITH ALL
- PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION. [21 DCMR § 543.5]
- 10. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. [21 DCMR § 542.12 (A)]
- 11. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OF EROSION AND SEDIMENT CONTROLS. [21 DCMR § 542.12 (B)]
- 12. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING TWO CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES). [21 DCMR § 542.12 (B.1.B.2)]
- 13. FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF THIS SWPPP ON SITE. [21 DCMR § 543.10 (B)]
- POST A SIGN THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER POLLUTION. THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. EACH SIGN WILL BE NO LESS THAN 18 X 24 INCHES IN SIZE AND MADE OF MATERIALS THAT WILL WITHSTAND WEATHER FOR THE DURATION OF THE PROJECT. LETTERING WILL BE AT LEAST 1 INCH IN HEIGHT AND EASILY READABLE BY THE PUBLIC FROM A DISTANCE OF TWELVE FEET (12 FT). THE SIGN MUST DIRECT THE PUBLIC, IN SUBSTANTIALLY THE FOLLOWING FORM: "TO REPORT EROSION, RUNOFF, OR STORMWATER POLLUTION" AND WILL PROVIDE THE CONSTRUCTION SITE ADDRESS, DOEE'S TELEPHONE NUMBER (202-535-2977), DOEE'S E-MAIL ADDRESS (IEB.SCHEDULING@DC.GOV), AND THE 311 MOBILE APP HEADING ("CONSTRUCTION-EROSION RUNOFF"). [21 DCMR § 543.22]
- 15. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (A) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (C) SPEAK ON SITE WITH DOEE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (A) LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (B) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES. INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION. DURING CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE-APPROVED TRAINING PROGRAM. [21 DCMR § 547]

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SENENMAN No. 907776 03/01/2022 PLAN STATUS

2 9/22/21 PERMIT 1 2/24/21 DESIGN DEVELOPMENT NO. DATE DESCRIPTION JNC DESIGN DRAWN CHKD 1" = 2130133-01-00 SEPTEMBER, 202

CIV0132

BEARINGS AND DISTANCES LOT 65 L1 EAST 58.00 (REC); S89°59'54"E 58.03 (MEAS) L2 SOUTH 100.00 (REC); S00°00'06"W 99.89 (MEAS) L3 WEST 57.93 (REC); S89°56'56"W (MEAS) L4 NORTH 100.00 (REC); N00°03'W 99.94 (MEAS) LOT 70 H STREET NE L5 EAST 42.00 (REC); S89°59°54"E 42.02 (MEAS) 12"DIP WATER (REC SOUTH 120.00 (REC); S00°00'06"W 120.00 (MEAS) (90 FEET RECORD WIDTH) EAST 20.18 (REC); S89°59'54"E 20.24 (MEAS) L8 SOUTH 10.08 (REC); S00°03'04"E 9.89 (MEAS) L9 WEST 62.18 (REC); S89°56'56"W 62.27 (MEAS) L10 NORTH 30.08 (REC); N00°00'06"W 30.06 (MEAS) CONC. W/ -STREETCAR TRACKS CELLAR BRICK BUILDING 358 SF (MEAS) PROP. LOT 11,467 SF (REC) LOT 68 LOT 823 11,450 SF (MEAS) 5,800 SF (REC) 5,792 SF (MEAS) 빌 STRE EET RECORD CELLAR M V M L.UI / i BRICK BUILDING HEIGHT=29.36 SQUARE 982 **LEGEND** ∕—WASH RACK STABILIZED SCE TREE PROTECTION CONSTRUCTION ENTRANCE LIMITS OF INLET PROTECTION DISTURBANCE CRITICAL ROOT ZONE CONSTRUCTION AND STABILIZATION SEQUENCE TREE AND ROOT PROTECTION NOTES CONTACT DC WATERSHED PROTECTION DIVISION AT 202-535-1364 TO SCHEDULE THE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION. ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A INSTALL SEDIMENT AND EROSION CONTROL MEASURES AS NEEDED INCLUDING STABILIZED CONSTRUCTION (UFA-4) PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL ENTRANCE, WASH RACK, INLET PROTECTION, AND SILT FENCE AS INDICATED ON THIS SHEET. SEE SHEET PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT CIV502 FOR SEDIMENT AND EROSION CONTROL DETAILS. OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) - SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES. CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE

THE CONFLICTING WORK.

UNDERGROUND UTILITY WORK NOTES:

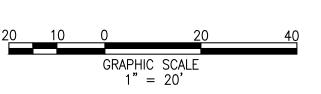
- 1. WHEN CONDUCTING UNDERGROUND UTILITY WORK DO NOT OPEN MORE THAN FIVE HUNDRED LINEAR FEET (500 FT) OF TRENCH AT ANY ONE TIME.
- 2. FILTER WATER PUMPED OUT OF TRENCH EXCAVATIONS PRIOR TO DISCHARGING TO THE STORM SYSTEM.
- 3. PLACE EXCAVATED MATERIAL FOR UTILITY WORK ON THE UPHILL SIDE OF A TRENCH.
- 4. INSTALL INTERIM OR PERMANENT STABILIZATION IMMEDIATELY AFTER A UTILITY TRENCH IS REFILLED.
- 5. STEEL PROTECTION PLATES SHALL BE USED BY CONTRACTOR TO PROTECT OPEN EXCAVATED AREAS. ALL OPEN TRENCHES IN THE PUBLIC SPACE WHICH ARE NOT BACKFILL AND COMPACTED BY THE END OF EACH WORK DAY SHALL BE PLATED.

MISS UTILITY

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CAUTION!!

CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.



- FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACES OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1); AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC). [21 DCMR § 542.9 (0)]
- 2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE. [21 DCMR § 543.6]
- CONTACT DOEE INSPECTION (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY. [21 DCMR § 503.7 (A)]
- STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE. [21]
- 7. STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION. [21 DCMR § 543.16 (B)]
- FILL MATERIAL MUST BE FREE OF CONTAMINATION LEVELS OF ANY POLLUTANT THAT IS, OR MAY BE CONSIDERED TO REPRESENT, A POSSIBLE HEALTH HAZARD TO THE PUBLIC OR MAY BE DETRIMENTAL TO SYSTEM. ALL FILL MATERIAL MUST BE FREE OF HAZARDOUS MATERIALS AND COMPLY WITH ALL APPLICABLE DISTRICT AND FEDERAL REGULATIONS.
- PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION, [21 DCMR § 543.5]
- 10. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. [21 DCMR § 542.12 (A)]
- 11. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OF EROSION AND SEDIMENT CONTROLS. [21 DCMR § 542.12 (B)]
- 12. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING TWO CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS,
- STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF THIS SWPPP ON
- 14. POST A SIGN THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER POLLUTION. THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. EACH SIGN WILL BE NO LESS THAN 18 X 24 INCHES IN SIZE AND MADE OF MATERIALS THAT WILL WITHSTAND WEATHER FOR THE DURATION OF THE PROJECT. LETTERING WILL BE AT LEAST 1 INCH IN HEIGHT AND EASILY READABLE BY THE PUBLIC FROM A DISTANCE OF TWELVE FEET (12 FT). THE SIGN MUST DIRECT THE PUBLIC, IN SUBSTANTIALLY THE FOLLOWING FORM: "TO REPORT EROSION, RUNOFF, OR STORMWATER POLLUTION" AND WILL PROVIDE THE CONSTRUCTION SITE ADDRESS, DOEE'S TELEPHONE NUMBER (202-535-2977), DOEE'S E-MAIL ADDRESS (IEB.SCHEDULING@DC.GOV), AND THE 311 MOBILE APP HEADING ("CONSTRUCTION-EROSION RUNOFF"). [21 DCMR § 543.22]
- 15. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (A) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (C) SPEAK ON SITE WITH DOEE TO REMEDY DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (B) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES. INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION. DURING CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE-APPROVED TRAINING PROGRAM. [21 DCMR § 547]

DUST CONTROL NOTES:

PREVENT DUST EMISSIONS.

- 1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE
- 2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
- 3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS. 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION
- PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO
- 5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
- A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE
- B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
- C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR
- A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
- B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

EROSION AND SEDIMENT CONTROL NOTES:

- 4. A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DOEE INSPECTORS. [21 DCMR § 542.15]
- ESC MEASURES SHALL BE IN PLACE TO STABILIZE AN EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE. [21 DCMR § 543.7].

- SURFACE OR GROUND WATER QUALITY, OR WHICH MAY CAUSE DAMAGE TO PROPERTY OR THE DRAINAGE

- OR GEOTEXTILES). [21 DCMR § 542.12 (B.1,B.2)]
- 13. FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED SITE. [21 DCMR § 543.10 (B)]

INSTALL NEW UTILITIES. REMOVE ANY TEMPORARY BLOCKING FROM PREVIOUS CONSTRUCTION PHASES.

AT THE COMPLETION OF THIS PHASE OF CONSTRUCTION, FOLLOWING SITE STABILIZATION AND UPON

THE PROPOSED WORK IS DUE TO COMMENCE IN Q4 2021 TO Q1 2023. EXACT BEGINNING AND END OF

SEDIMENT AND EROSION CONTROL NARRATIVE:

DEMOLITION, DEBRIS WILL BE REMOVED FROM SITE BY TRUCK. CONTRACT DC DEPARTMENT OF THE

INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING SILT FENCE, INLET PROTECTION, TREE

ENVIRONMENT. WATERSHED PROTECTION DIVISION AT 202-535-2250 TO SCHEDULE PRE-CONSTRUCTION

PROTECTION, AND STABILIZED CONSTRUCTION ENTRANCE AT SITE. FOLLOWING DISCONNECTION OF UTILITIES,

BUILDING TO BE DEMOLISHED TO THE SURFACE USING DISTRICT APPROVED DEMOLITION METHODS. DURING

INSPECTOR'S APPROVAL, TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES CAN BE REMOVED.

CONSTRUCT BUILDING AND ALL OTHER ABOVE GROUND UTILITIES.

FINAL GRADE THE SITE FOR SIDEWALK INSTALLATION.

FINAL GRADE LANDSCAPE AREAS AND STABILIZE.

CONSTRUCTION DATES:

MEETING.

CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

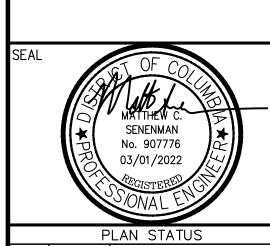
- EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (A) LICENSED IN THE

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CIV0133

DOEE SOIL EROSION AND SEDIMENT CONTROL PLAN GENERAL NOTES

- 1. FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACES OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1); AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC).
- 3. CONTACT DOEE INSPECTION (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY.
- 4. A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE
- 5. ESC MEASURES SHALL BE IN PLACE TO STABILIZE AND EXPOSED AREA AS SOON AS PRACTICABLE FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE.
- STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE
- TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION.
- 8. PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION.
- 9. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROL, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
- 10. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE
- 11. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAVE BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES).
- 12. FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF
- POLLUTION. THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. EACH SIGN WILL BE LESS THAN 18 X 24 INCHES IN SIZE AND MADE OF MATERIALS THAT WILL WITHSTAND WEATHER FOR THE DURATION OF THE PROJECT. LETTERING WILL BE AT LEAST 1 INCH IN HEIGHT AND EASILY READABLE BY THE PUBLIC FROM A DISTANCE OF TWELVE FEET (12 FT). THE SIGN MUST DIRECT THE PUBLIC, IN SUBSTANTIALLY THE FOLLOWING FORM: "TO REPORT EROSION, RUNOFF, OR STORMWATER POLLUTION" AND WILL PROVIDE THE CONSTRUCTION ADDRESS, DOEE'S TELEPHONE NUMBER (202-535-2977), DOEE'S EMAIL ADDRESS (IEB.SCHEDULING@DC.GOV), AND THE 311 MOBILE APP HEADING ("CONSTRUCTION-EROSION

IF A SITE DISTURBS 5,000 SQUARE FEET OF LAND OR GREATER, THE ESC PLAN MUST CONTAIN THE FOLLOWING STATEMENT:

14. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (A) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (C) SPEAK ON SITE WITH DOEE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (A) LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (B) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES, INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION. DURING CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE APPROVED TRAINIGN PROGRAM.

STREET SWEEPING

- 1. STREETS WITHIN ONE MILE (1.6km) SHALL BE INSPECTED DAILY, ANY DROPPED SOIL, DUST AND/OR DEBRIS SHALL BE REMOVED.
- 2. VACUUM TYPE STREET CLEANER SHALL BE USED TO EFFECTIVELY REMOVE TOTAL DUST AND DIRT ON PAVED SURFACES.
- 3. ROADS SHALL BE SWEPT ON A WEEKLY BASIS (MINIMUM) DURING ALL ON AND OFF-SITE

STABLIZED CONSTRUCION ENTRANCE WITH WASH RACK

DEFINITION: A STABILIZED CONSTRUCTION ENTRANCE (SCE) WITH WASH RACK IS A TEMPORARY PAD OF AGGREGATE WITH A GEOTEXTILE UNDERLINER THAT IS ENHANCED USING A WASH RACK EMBEDDED IN THE SCE AND LOCATED WHERE VEHICLES ENTER OR LEAVE A CONSTRUCTION SITE.

<u>PURPOSE:</u> TO REDUCE THE AMOUNT OF SEDIMENT TRANSPORTED ONTO STREETS OR PUBLIC RIGHTS-OF-WAY BY VEHICLES EXITING THE CONSTRUCTION SITE.

CONDITIONS WHERE PRACTICE APPLIES: CONSIDER USING STABILIZED CONSTRUCTION ENTRANCES WITH WASH RACKS WHEREVER SOIL AND/OR TRAFFIC CONDITIONS ON SITE REQUIRE WASHING THE CONSTRUCTION VEHICLE WHEELS PRIOR TO EXITING THE SITE TO AVOID EXCESSIVE TRACKING OF MUD

DESIGN CRITERIA: A MINIMUM OF 50 FEET LENGTH SHALL BE USED (30 FEET FOR A SINGLE-FAMILY RESIDENCE LOT). A MINIMUM OF 10 FEET WIDTH SHALL BE USED AND FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. PLACE NONWOVEN GEOTEXTILE CLASS SE OVER THE EXISTING GROUND THE LENGTH AND WIDTH OF THE ENTRANCE. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES UNDER THE ENTRANCE TO MAINTAIN POSITIVE DRAINAGE. PROTECT THE PIPE INSTALLED UNDER THE SCE WITH A MOUNTABLE BERM. SIZE THE PIPE WITH A MINIMUM DIAMETER OF 6 INCHES TO CONVEY THE 2-YEAR, 24-HOUR STORM. A PIPE WILL NOT BE NECESSARY WHEN THE SCE IS LOCATED AT A HIGH SPOT AND CONVEYS NO DRAINAGE. LOCATE A STABILIZED CONSTRUCTION ENTRANCE AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE. WHERE POSSIBLE, LOCATE CONSTRUCTION ENTRANCES AT THE HIGH SIDE OF THE PROJECT AREA. WHERE THE STABILIZED CONSTRUCTION ENTRANCE CREATES AN OPENING IN THE PERIMETER SILT FENCE, SECURELY TIE THE SILT FENCE INTO THE MOUNTABLE BERM AT

CONSTRUCTION SPECIFICATIONS:

. USE A WASH RACK DESIGNED AND CONSTRUCTED/MANUFACTURED FOR THE ANTICIPATED TRAFFIC LOADS. CONCRETE, STEEL, OR OTHER MATERIALS ARE ACCEPTABLE. PREFABRICATED UNITS SUCH AS CATTLE GUARDS ARE ACCEPTABLE. USE A MINIMUM DIMENSION OF 6 FEET BY 10 FEET. ORIENT THE PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. DIRECTION OF RIBS AS SHOWN ON THE DETAIL. APPROACHES TO THE WASH RACK SHOULD BE A

MAINTAIN THE ENTRANCE IN A CONDITION THAT WILL MINIMIZE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTSOF-WAY. MAINTAIN STABILIZED CONSTRUCTION ENTRANCES WITH WASH RACKS TO THE SPECIFIED DIMENSIONS BY ADDING ROCK WHEN NECESSARY AT THE END OF EACH WORKDAY, MAINTAIN A STOCKPILE OF ROCK MATERIAL ON SITE FOR THIS PURPOSE. REPAIR DAMAGED WASH RACKS AS NECESSARY TO MAINTAIN THEIR EFFECTIVENESS. IMMEDIATELY REMOVE ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY BY VACUUMING, SWEEPING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE. A STABILIZED CONSTRUCTION ENTRANCE WITHOUT A WASH RACK IS SHOWN IN SECTION 2.1 STABILIZED CONSTRUCTION ENTRANCE AFTER CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED, REMOVE THE SCE AND STABILIZE THE SUBSEQUENT AREA UNLESS IT WILL BE USED AS AN UNDERLAYMENT FOR A DRIVEWAY.

2.5 STANDARDS AND SPECIFICATIONS FOR LAND GRADING

<u>DEFINITION:</u> RESHAPING OF THE EXISTING LAND SURFACE IN ACCORDANCE WITH A PLAN AS DETERMINED BY THE ENGINEERING SURVEY AND LAYOUT.

PURPOSE: TO PROVIDE FOR EROSION CONTROL AND VEGETATIVE ESTABLISHMENT ON AREAS WHERE THE EXISTING LAND SURFACE IS TO BE RESHAPED BY GRADING.

CONDITION WHERE PRACTICE APPLIES: ANY SITE WHERE LAND GRADING WILL OCCUR.

DESIGN CRITERIA: THE GRADING PLAN SHOULD INCORPORATE BUILDING DESIGNS AND STREET LAYOUTS THAT UTILIZE EXISTING TOPOGRAPHY, RETAIN DESIRABLE NATURAL SURROUNDINGS, AND AVOID EXTREME GRADE MODIFICATIONS. INFORMATION SUBMITTED MUST PROVIDE SUFFICIENT TOPOGRAPHIC SURVEYS AND SOIL INVESTIGATIONS TO DETERMINE LIMITATIONS THAT MUST BE IMPOSED ON THE GRADING OPERATION RELATED TO SLOPE STABILITY, EFFECT ON ADJACENT PROPERTIES AND DRAINAGE PATTERNS, MEASURES FOR DRAINAGE AND WATER REMOVAL AND VEGETATIVE TREATMENT, ETC.

THE PLAN MUST SHOW EXISTING AND PROPOSED CONTOURS OF THE AREA(S) TO BE GRADED. THE PLAN MUST ALSO INCLUDE PRACTICES FOR EROSION CONTROL, SLOPE STABILIZATION, SAFE DISPOSAL OF RUNOFF WATER AND DRAINAGE, SUCH AS WATERWAYS, LINED DITCHES, REVERSE SLOPE BENCHES (INCLUDE GRADE AND CROSS SECTION), GRADE STABILIZATION STRUCTURES, RETAINING WALLS, AND SURFACE AND SUBSURFACE DRAINS. THE PLAN MUST ALSO INCLUDE PHASING OF THESE PRACTICES. THE FOLLOWING MUST BE INCORPORATED INTO THE PLAN:

- BALANCE THE CUT AND FILL SLOPES WHERE POSSIBLE TO MINIMIZE OFF-SITE TRANSPORT OF SOILS, AND MINIMIZE THE LENGTH OF TIME THAT UNGRADED SLOPES ARE EXPOSED IN THE CONSTRUCTION SEQUENCE.
- 2. MAKE PROVISIONS TO SAFELY CONDUCT SURFACE RUNOFF TO STORM DRAINS, PROTECTED OUTLETS, OR STABLE WATER COURSES TO ENSURE THAT SURFACE RUNOFF WILL NOT DAMAGE SLOPES OR OTHER GRADED AREAS.
- CUT AND FILL SLOPES THAT ARE TO BE STABILIZED WITH GRASSES MUST NOT BE STEEPER THAN 2:1. (WHERE THE SLOPE IS TO BE MOWED THE SLOPE SHOULD BE NO STEEPER THAN 3:1; 4:1 SLOPES ARE PREFERRED BECAUSE OF SAFETY FACTORS RELATED TO MOWING STEEP SLOPES.) SLOPES EXCEEDING 2:1 REQUIRE SPECIAL DESIGN AND STABILIZATION CONSIDERATIONS THAT MUST BE ADEQUATELY SHOWN ON THE PLANS.
- 4. PROVIDE BENCHED SLOPES WHENEVER THE VERTICAL INTERVAL (HEIGHT) OF ANY 2:1 SLOPE EXCEEDS 20 FEET, ANY 3:1 SLOPE EXCEEDS 30 FEET, AND ANY 4:1 SLOPE EXCEEDS 40 FEET. LOCATE BENCHES TO DIVIDE THE SLOPE FACE AS EQUALLY AS POSSIBLE AND CONVEY THE WATER TO A STABLE OUTLET, TAKE INTO CONSIDERATION SOILS, SEEPS, ROCK OUTCROPS, AND OTHER TOPOGRAPHIC FEATURES WHEN DESIGNING BENCHES. BENCHES MUST BE A MINIMUM OF 6 FEET WIDE TO MAKE MAINTENANCE EASIER DESIGN BENCHES WITH A REVERSE SLOPE OF 6:1 OR FLATTER TO THE TOE OF THE UPPER SLOPE AND WITH A MINIMUM OF 1 FOOT IN DEPTH. BENCH GRADIENT TO THE OUTLET MUST BE BETWEEN 2% AND 3%, UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS. THE FLOW LENGTH WITHIN A BENCH MUST NOT EXCEED 800 FEET UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS. FOR FLOW CHANNEL STABILIZATION, SEE SECTION 4.4 TEMPORARY SWALES.
- DIVERT SURFACE WATER FROM THE FACE OF ALL CUT AND/OR FILL SLOPES USING EARTH DIKES, DITCHES, AND SWALES OR CONVEY DOWNSLOPE USING A DESIGNED STRUCTURE, EXCEPT WHERE
- (a) THE FACE OF THE SLOPE IS STABILIZED, AND THE FACE OF ALL GRADED SLOPES IS PROTECTED FROM SURFACE RUNOFF UNTIL THEY ARE STABILIZED.
- (b) THE FACE OF THE SLOPE IS NOT SUBJECT TO ANY CONCENTRATED FLOWS OF SURFACE WATER SUCH AS FROM NATURAL DRAINAGEWAYS, GRADED SWALES, DOWNSPOUTS, ETC.
- (c) THE FACE OF THE SLOPE IS PROTECTED BY SPECIAL EROSION CONTROL MATERIALS, INCLUDING, BUT NOT LIMITED TO, APPROVED VEGETATIVE STABILIZATION PRACTICES, RIP-RAP, OR OTHER APPROVED STABILIZATION METHODS.
- 6. USE SERRATED SLOPES (STEP CUTS) TO HOLD MOISTURE, LIME, FERTILIZER, AND SEED. THE STEEPEST ALLOWABLE SLOPE IS 1.5:1 FOR RIPPABLE ROCKS AND 2:1 FOR OTHER SURFACES. DIVERT OVERLAND FLOW FROM THE TOP OF ALL SERRATED CUT SLOPES AND CARRY TO A
- 7. PROVIDE SUBSURFACE DRAINAGE WHERE NECESSARY TO INTERCEPT SEEPAGE THAT WOULD OTHERWISE ADVERSELY AFFECT SLOPE STABILITY OR CREATE EXCESSIVELY WET SITE CONDITIONS.
- 8. DO NOT CREATE SLOPES SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTIES WITHOUT ADEQUATELY PROTECTING SUCH PROPERTIES AGAINST SEDIMENTATION, EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED DAMAGES.
- 9 FILL MATERIAL MUST BE LINCONTAMINATED AND IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS, MUST MEET THE ENGINEERING PROPERTIES DICTATED BY THE DESIGN ENGINEER, AND MUST MEET ALL APPLICABLE DESIGN STANDARDS AND REGULATIONS.
- 10. STABILIZE ALL DISTURBED AREAS STRUCTURALLY OR VEGETATIVELY IN COMPLIANCE WITH OTHER STANDARDS IN THIS DOCUMENT

FILL CRITERIA:

SUITABLE OUTLET.

- THE FILL MATERIAL MUST BE FREE OF CONTAMINATION LEVELS OF ANY POLLUTANT THAT IS. OR MAY BE CONSIDERED TO REPRESENT, A POSSIBLE HEALTH HAZARD TO THE PUBLIC OR MAY BE DETRIMENTAL TO SURFACE OR GROUND WATER QUALITY, OR WHICH MAY CAUSE DAMAGE TO PROPERTY OR THE DRAINAGE SYSTEM.
- 2. ALL FILL MATERIAL MUST BE FREE OF HAZARDOUS MATERIALS AND MUST COMPLY ALL APPLICABLE DISTRICT AND FEDERAL REGULATIONS.
- 3. FILL MUST BE COMPACTED IN COMPLIANCE WITH ENGINEERING PROPERTIES DICTATED BY THE

CONSTRUCTION SPECIFICATIONS:

PERMANENTLY.

- INSTALL PERIMETER CONTROLS, DIVERSION DITCHES, AND OTHER EROSION CONTROL MEASURES BEFORE EXPOSING CUT AND FILL SLOPES.
- 2. COMPLETE SITE CLEARING AND GRADING IN COMPLIANCE WITH THE CONSTRUCTION SEQUENCE IDENTIFIED ON THE ESC PLAN.
- PROVIDE EROSION AND SEDIMENT CONTROLS ON ALL TEMPORARY FILL PILES GENERATED DURING
- 4. ENSURE THAT ALL SUPPLEMENTAL FILL CREATED DURING THE GRADING PROCESS IS DISPOSED
- IN CASES WHERE FILL SLOPES OR SOIL PILES CANNOT BE STABILIZED BEFORE THE CLOSE OF THE WORK DAY, UTILIZE TEMPORARY EROSION CONTROL MEASURES SUCH AS PLASTIC SHEETING
- CONFIRM THAT ALL FILLS ARE COMPACTED IN COMPLIANCE WITH THE STANDARDS PRESCRIBED IN
- THE SITE PLAN. REMOVE TEMPORARY DIVERSIONS AND EROSION CONTROLS ONCE SLOPES HAVE BEEN STABILIZED
- IMMEDIATELY REPLACE ANY FAILED DIVERSION MEASURES, AND IMMEDIATELY REGRADE AND STABILIZE ANY PORTIONS OF THE SLOPES THAT HAVE BEGUN TO FORM RILLS OR GULLIES. ENSURE THAT STOCKPILES ARE STABILIZED WITH VEGETATION OR WITH ANOTHER TEMPORARY COVER THROUGHOUT

THE CONSTRUCTION PROCESS, MAINTAIN ALL DIVERSION MEASURES PER THE DETAILS OUTLINED IN

2.6 STANDARDS AND SPECIFICATIONS FOR

<u>PEFINITION:</u> PLACEMENT OF TOPSOIL OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

TO ENSURE THAT SOIL IS NOT EXPOSED.

CONDITIONS WHERE PRACTICE APPLIES

THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: 1. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.

2. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.

3. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.

4. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. THESE AREAS MUST HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE

2.6 STANDARDS AND SPECIFICATIONS FOR TOPSOIL (CONT'D)

DESIGN CRITERIA:

TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED IF IT MEETS THE STANDARDS IN THESE SPECIFICATIONS. PLACE TOPSOIL AND APPLY SOIL AMENDMENTS AS SPECIFIED IN SECTION 2.10 VEGETATIVE STABILIZATION. SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING SPECIFICATIONS:

- 1. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY DOEE REGARDLESS, TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 INCH IN
- 2. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS. QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OTHER POISONOUS PLANTS, OR OTHERS AS SPECIFIED IN SECTION 2.10 VEGETATIVE STABILIZATION. TOPSOIL MUST ALSO BE FREE FROM INVASIVE PLANTS OR PLANT PARTS.
- 3. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND 4. LIMESTONE AT THE RATE OF 4-8 TONS PER ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. DISTRIBUTE LIME UNIFORMLY OVER DESIGNATED AREAS AND WORK INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE NEXT

FOR SITES WITH DISTURBED AREAS OVER 5 ACRES, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN SECTION 2.10 VEGETATIVE STABILIZATION, ALTERNATIVES TO NATURAL TOPSOIL AND ALTERNATIVE SOIL AMENDMENTS. SUCH AS COMPOSTED SEWAGE SLUDGE OR OTHER COMPOSTED MATERIALS, MAY BE USED IN PLACE OF FERTILIZER AND LIME, AS ALLOWED BY OTHER APPLICABLE REGULATIONS AND AS APPROVED BY A CERTIFIED AGRONOMIST OR SOIL SCIENTIST.

- **CONSTRUCTION SPECIFICATIONS:** 1. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SILT FENCE, AND SEDIMENT TRAPS
- 2. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, MUST BE MAINTAINED, THOUGH NOW WITH AN ADDITIONAL 4 TO 8 INCHES HEIGHT IN ELEVATION.
- 3. AFTER THE AREAS TO BE TOPSOILED HAVE BEEN BROUGHT TO GRADE, AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, LOOSEN THE SUBGRADE BY DISCING OR BY SCARIFYING TO A DEPTH OF A LEAST 4 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SUBSOIL. PACK THE SUBSOIL BY PASSING A BULLDOZER UP AND DOWN OVER THE ENTIRE SURFACE AREA OF THE SLOPE TO CREATE HORIZONTAL EROSION CHECK SLOTS TO PREVENT TOPSOIL FROM SLIDING DOWN
- 4. UNIFORMLY DISTRIBUTE TOPSOIL IN A 4-INCH TO 8-INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. PERFORM SPREADING IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. CORRECT ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- 5. DO NOT PLACE TOPSOIL WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

AFTER PRECIPITATION EVENTS, CONFIRM THAT TOPSOIL AND SUBSOIL ARE PROPERLY BONDED AND NO

2.10 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION: USING VEGETATION AS COVER FOR BARREN SOIL TO PROTECT IT FROM FORCES THAT CAUSE EROSION. THIS SPECIFICATIONS INCLUDES BOTH TEMPORARY AND PERMANENT STABILIZATION.

PURPOSE: USE VEGETATIVE STABILIZATION SPECIFICATIONS TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED WHEN SOIL IS STABILIZED WITH VEGETATION, THE SOIL IS LESS LIKELY TO ERODE AND MORE LIKELY TO ALLOW INFILTRATION OF RAINFALL, THEREBY REDUCING SEDIMENT LOADS AND RUNOFF TO DOWNSTREAM AREAS AND IMPROVING WILDLIFE HABITAT AND VISUAL RESOURCES.

CONDITIONS WHERE PRACTICE APPLIES: USE THIS PRACTICE ON DENUDED AREAS AS SPECIFIED ON HE ESC AND SWM PLANS. IT MAY BE USED ON HIGHLY ERODIBLE OR CRITICALLY ERODING AREAS. THIS SPECIFICATION IS DIVIDED INTO TEMPORARY SEEDING, TO QUICKLY ESTABLISH VEGETATIVE COVER FOR SHORT DURATION (UP TO ONE YEAR), AND PERMANENT SEEDING, FOR LONG-TERM VEGETATIVE COVER. EXAMPLES OF APPLICABLE AREAS FOR TEMPORARY SEEDING ARE TEMPORARY SOIL STOCKPILES, CLEARED AREAS BEING LEFT IDLE BETWEEN CONSTRUCTION PHASES, AND EARTH DIKES OR OTHER TEMPORARY EROSION CONTROL MEASURES. EXAMPLES OF PERMANENT SEEDING INCLUDE LAWNS, DAMS, CUT AND FILL SLOPES, AND OTHER AREAS AT FINAL GRADE.

CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1 WITHIN 7 DAYS. ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE MUST BE STABILIZED

DESIGN CRITERIA: FOR BOTH TEMPORARY AND PERMANENT VEGETATIVE STABILIZATION INCLUDES SEED SPECIFICATIONS, SEED MIXTURES, AND SOIL AMENDMENTS. SEED SPECIFICATIONS FOR BOTH TEMPORARY AND PERMANENT SOIL STABILIZATION, SEED MUST MEET THE FOLLOWING SPECIFICATIONS:

- 1. ALL SEED MUST BE SUBJECT TO RETESTING BY A RECOGNIZED SEED LABORATORY WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON THE SITE. NOTE: SEED TAGS MUST BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY TYPE AND RATE OF SEED
- 2. SEED QUALITY MUST BE CONSISTENT WITH THE CRITERIA OUTLINED IN TABLE 2.2.
- 3. THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN-FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. DO NOT USE INOCULANTS BEYOND THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANT AS DIRECTED ON THE PACKAGE. USE 4 TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP THE INOCULANT AS COOL AS POSSIBLE UNTIL IT IS USED. TEMPERATURES ABOVE 75-80°F CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS

<u>TEMPORARY STABILIZATION:</u> USE TEMPORARY SEEDING TO PROVIDE COVER ON DISTURBED AREAS FOR UP TO 12 MONTHS. LONGER DURATION OF VEGETATIVE COVER REQUIRES PERMANENT SEEDING. INCLUDE IN THE PLAN THE FOLLOWING TEMPORARY SEEDING SUMMARY (TABLE 2.3) THAT IDENTIFIES TEMPORARY SEEDING MATERIALS RATES, SPECIES, AND FERTILIZER/LIME RATES. USE TABLE 2.4 TO COMPLETE THE SUMMARY TABLE. IF TABLE 2.3 IS NOT PUT ON THE PLANS AND COMPLETED. THEN TABLE 2.4 MUST BE PUT ON THE PLANS. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING BUT THE PLAN SHOULD IDENTIFY RECOMMENDED FERTILIZER AND/OR LIME APPLICATION RATES. IF SOII TESTING IS COMPLETED. REPORT THE TESTING AGENCY'S RESULTS ON THE PLANS. IF A SOIL TEST HAS BEEN PERFORMED, DELETE THE RATES SHOWN IN TABLE 2.3 AND WRITE IN THE RATES RECOMMENDED BY THE TESTING AGENCY.

<u>PERMANENT STABILIZATION:</u> FOR PERMANENT SEEDING, THE PLAN MUST INCLUDE THE PERMANENT SEEDING SUMMARY WITH THE FOLLOWING INFORMATION. USE TABLES 2.6 AND 2.7 TO COMPLETE THE SUMMARY TABLE.

TURFGRASS MIXTURES: SELECT A SEED MIXTURE FROM TABLE 2.6, USING TABLE 2.7 (CONDITIONS BY MIX) AS A GUIDELINE. SOME GUIDANCE FOR COMMON MIXES IS AS FOLLOWS:

1. KENTUCKY BLUEGRASS (FULL SUN MIXTURE) -FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. THE RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE IS 1.5 TO 2.0 POUNDS PER 1,000 SQUARE FEET. CHOOSE A MINIMUM OF THREE BLUEGRASS CULTIVARS RANGING FROM A MINIMUM OF 10% TO A MAXIMUM OF 35% OF THE MIXTURE BY

- 2. KENTUCKY BLUEGRASS/PERENNIAL RYE (FULL SUN MIXTURE) -FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. THE CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE IS 2 POUNDS MIXTURE PER 1,000 SQUARE FEET. A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS MUST BE CHOSEN, WITH EACH CULTIVAR RANGING FROM 10% TO 35% OF THE MIXTURE BY WEIGHT.
- 3. TALL FESCUE/KENTUCKY BLUEGRASS (FULL SUN MIXTURE) -FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. THE RECOMMENDED MIXTURE INCLUDES 95% TO100% CERTIFIED TALL FESCUE CULTIVARS AND 0% TO5% CERTIFIED KENTUCKY BLUEGRASS CULTIVARS. THE SEEDING RATE IS 5 TO 8 POUNDS PER L.000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.

BLUFGRASS LAWNS OR FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURE AREA.

THE MIXTURE INCLUDES 30% TO 40% CERTIFIED KENTUCKY BLUEGRASS CULTIVARS AND 60% TO 70% OF CERTIFIED FINE FESCUE. THE SEEDING RATE IS 1½ TO 3 POUNDS PER 1,000 SQUARE FFFT. A MINIMUM OF 3 KENTUCKY BLUFGRASS CULTIVARS MUST BE CHOSEN. WITH EACH CULTIVAR RANGING FROM A MINIMUM OF 10% TO A MAXIMUM OF 35% OF THE MIXTURE BY WEIGHT. NOTE: SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT MARYLAND—VIRGINIA TURFGRASS VARIETY RECOMMENDATION WORK GROUP LIST (HTTP://WWW.PUBS.EXT.VT.EDU/).

4. KENTUCKY BLUEGRASS/FINE FESCUE (SHADE MIXTURE) -FOR USE IN AREAS WITH SHADE IN

2.10 STANDARDS AND SPECIFICATIONS FOR **VEGETATIVE STABILIZATION (CONT'D)**

SOD GRASS: USE SOD GRASS TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER). 1. CLASS OF TURFGRASS SOD MUST COMPLY WITH THE GRASS VARIETIES LISTED IN TABLE 2.7. MAKE SOD

- LABELS AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. 2. MACHINE CUT SOD AT A UNIFORM SOIL THICKNESS OF %INCHES, PLUS OR MINUS 1/4 INCHES, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH.
- INDIVIDUAL PIECES OF SOD MUST BE CUT TO THE SUPPLIER'S WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS IS 5%. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE 3. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND
- RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10% OF THE SECTION. 4. DO NOT HARVEST OR TRANSPLANT SOD WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY
- ADVERSELY AFFECT ITS SURVIVAL. 5. HARVEST, DELIVER, AND INSTALL SOD WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN

THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

PLANTING DATES: THE RECOMMENDED PLANTING DATES FOR PERMANENT COVER CAN BE FOUND IN TABLE

MINIMUM SOIL CRITERIA: MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT INCLUDE THE FOLLOWING: 1. SOIL PH MUST BE BETWEEN 6.0 AND 7.0.

2. SOLUBLE SALTS MUST BE LESS THAN 500 PARTS PER MILLION (PPM). 3. THE SOIL MUST CONTAIN LESS THAN 40% CLAY BUT ENOUGH FINE GRAINED MATERIAL (> 30% SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AS AN

EXCEPTION, IT IS ACCEPTABLE TO PLANT LOVEGRASS OR SERECIA LESPEDEZA IN SANDY SOIL (< 30%

- SILT PLUS CLAY). 4. SOIL MUST CONTAIN 1.5% MINIMUM ORGANIC MATTER BY WEIGHT
- 5. SOIL MUST CONTAIN SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION. 6. IF THESE CONDITIONS CANNOT BE MET BY SOILS ON SITE, TOPSOIL MUST BE ADDED AS REQUIRED IN SECTION 2.6 TOPSOILING.

SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS):

NOT USUALLY NECESSARY FOR TEMPORARY SEEDING

- 1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES WITH DISTURBED AREAS OVER 5 ACRES. SOIL ANALYSIS MAY BE PERFORMED BY THE UNIVERSITY OF THE DISTRICT OF COLUMBIA OR A CERTIFIED COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL
- 2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING, AND SUITABLE FOR ACCURATE APPLICATION BY APPROVED EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM DOEE. DELIVER ALL FERTILIZERS TO THE SITE FULLY LABELED PER APPLICABLE LAWS

AND BEAR THE NAME, TRADE NAME OR TRADEMARK, AND WARRANTY OF THE PRODUCER.

3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED) CONTAINING AT LEAST 50% TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50% WILL PASS THROUGH A #100 MESH SIEVE AND 98% TO 100% WILL PASS THROUGH A #20 MESH SIEVE.

CONSTRUCTION SPECIFICATIONS:

- SITE PREPARATION: 1. INSTALL EROSION AND SEDIMENT CONTROL STRUCTURES (EITHER TEMPORARY OR PERMANENT) SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BERMS, WATERWAYS, OR SEDIMENT CONTROL BASINS. 2. PERFORM ALL GRADING OPERATIONS AT RIGHT ANGLES TO THE SLOPE. FINAL GRADING AND SHAPING IS
- 3. SCHEDULE REQUIRED SOIL TESTS TO DETERMINE SOIL AMENDMENT COMPOSITION AND APPLICATION RATES FOR SITES HAVING DISTURBED AREA OVER 5 ACRES.
- 4. DISTRIBUTE LIME AND FERTILIZER EVENLY AND INCORPORATE THEM INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. 5. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS PER ACRE (200 TO 400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

SEEDBED PREPARATION:

- 1. TEMPORARY SEEDING (a) SEEDBED PREPARATION MUST CONSIST OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, DO NOT ROLL OR DRAG SMOOTH BUT LEAVE IN THE ROUGHENED CONDITION. TRACK SLOPED AREAS (GREATER THAN 3:1) LEAVING THE SURFACE IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.
- (b) APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. (c) INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- 2. PERMANENT SEEDING -MAINTAIN AREAS PREVIOUSLY GRADED IN CONFORMANCE WITH THE DRAWINGS IN A TRUE AND EVEN GRADE, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREA AND TO CREATE HORIZONTAL EROSION CHECK SLOTS TO PREVENT TOPSOIL FROM SLIDING DOWN A SLOPE. APPLY SOIL AMENDMENTS AS PER SOIL TEST OR AS INCLUDED ON THE PLANS. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF TOPSOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE. TRACK STEEP SLOPES (STEEPER THAN 3:1) BY A DOZER LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. THE TOP 1 TO 3 INCHES OF SOIL SHOULD BE
- 3. METHODS OF SEEDING -APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED, FERTILIZER AND MULCH), BROADCAST OR DROP SEEDER, OR A CULTIPACKER SEEDER. (a) HYDROSEEDING i) IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING. THE APPLICATION RATES WILL NOT

LOOSE AND FRIABLE. SEEDBED LOOSENING MAY NOT BE NECESSARY ON NEWLY DISTURBED AREAS.

- EXCEED THE FOLLOWING: NITROGEN, MAXIMUM OF 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS ii) LIME -USE ONLY GROUND AGRICULTURAL LIMESTONE, (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS PER ACRE ARE APPLIED BY
- HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN iii) SEED AND FERTILIZER MUST BE MIXED ON SITE AND SEEDING MUST BE DONE IMMEDIATELY AND
- WITHOUT INTERRUPTION. iv) FIBER MULCH MAY BE INCORPORATED INTO THE HYDROSEEDING MIXTURE. CONSULT SECTION 2.7 MULCHING FOR STANDARDS AND SPECIFICATIONS FOR MULCH MATERIALS. (a) DRY SEEDING - THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. i) INCORPORATE SEED SPREAD DRY INTO THE SUBSOIL AT THE RATES PRESCRIBED ON THE TEMPORARY OR PERMANENT SEEDING SUMMARIES OR TABLES 2.4 OR 2.7. THE SEEDED AREA
- ii) WHERE PRACTICAL, APPLY SEED IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. (a) DRILL OR CULTIPACKER SEEDING -MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL. i) CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCHES OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.

MUST THEN BE ROLLED WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT

- ii) WHERE PRACTICAL, APPLY SEED IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. 4. SOD INSTALLATION -DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL. THE SUBSOIL MUST BE LIGHTLY IRRIGATED IMMEDIATELY PRIOR TO LAYING THE SOD. THE FIRST ROW OF SOD MUST BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS MUST BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS, WHICH WOULD CAUSE AIR DRYING OF THE ROOTS. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINT, ROLL AND TAMP, PEG. OR OTHERWISE SECURE SOD TO PREVENT SLIPPAGE ON SLOPES AND TO ENSURE SOLID CONTACT BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE. IMMEDIATELY WATER SOD FOLLOWING ROLLING OR TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF
- LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS. 5. INCREMENTAL STABILIZATION -CUT SLOPES DRESS, PREPARE, SEED, AND MULCH ALL CUT SLOPES AS THE WORK PROGRESSES. EXCAVATE AND STABILIZE SLOPES IN EQUAL INCREMENTS NOT TO EXCEED 15 FEET. THE CONSTRUCTION SEQUENCE IS AS FOLLOWS (REFER TO FIGURE 2.1):
 (a) EXCAVATE AND STABILIZE ALL TEMPORARY SWALES, SIDE DITCHES, OR BERMS THAT WILL BE USED
- TO CONVEY RUNOFF FROM THE EXCAVATION. (b) PERFORM PHASE 1 EXCAVATION, DRESS, AND STABILIZE.
- NECESSARY. (d) PERFORM FINAL PHASE EXCAVATION, DRESS, AND STABILIZE. OVERSEED PREVIOUSLY SEEDED AREAS AS NECESSARY. NOTE: ONCE EXCAVATION HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF

OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE

(c) PERFORM PHASE 2 EXCAVATION, DRESS, AND STABILIZE. OVERSEED PHASE 1 AREAS AS

APPLICATION OF TEMPORARY STABILIZATION. 6. INCREMENTAL STABILIZATION OF EMBANKMENTS -FILL SLOPES CONSTRUCT EMBANKMENTS IN LIFTS AS PRESCRIBED ON THE PLANS. IMMEDIATELY STABILIZE SLOPES WHEN THE VERTICAL HEIGHT OF THE MULTIPLE LIFTS REACHES 15 FEET, OR WHEN THE GRADING OPERATION CEASES AS PRESCRIBED IN THE PLANS, AT THE END OF EACH DAY, CONSTRUCT TEMPORARY BERMS AND PIPE SLOPE DRAINS ALONG THE TOP EDGE OF THE EMBANKMENT TO INTERCEPT SURFACE RUNOFF AND CONVEY IT DOWN THE

SLOPE IN A NON-EROSIVE MANNER TO A SEDIMENT TRAPPING DEVICE. THE CONSTRUCTION SEQUENCE

TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE

- IS AS FOLLOWS (REFER TO FIGURE 2.2): (a) EXCAVATE AND STABILIZE ALL TEMPORARY SWALES, SIDE DITCHES, OR BERMS THAT WILL BE USED TO DIVERT RUNOFF AROUND THE FILL. CONSTRUCT SLOPE SILT FENCE ON LOW SIDE OF FILL AS SHOWN IN FIGURE 2.2, UNLESS OTHER METHODS SHOWN ON THE PLANS ADDRESS THIS AREA. (b) PLACE PHASE 1 EMBANKMENT, DRESS AND STABILIZE.
- (c) PLACE PHASE 2 EMBANKMENT, DRESS AND STABILIZE. (d) PLACE FINAL PHASE EMBANKMENT, DRESS AND STABILIZE. OVERSEED PREVIOUSLY SEEDED AREAS AS NECESSARY.
- NOTE: ONCE THE PLACEMENT OF FILL HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.

42.0 STANDARDS AND SPECIFICATIONS FOR

VEGETATIVE STABILIZATION (CONT'D)

GRASS MAINTENANCE:

- . INSPECT ALL SEEDED AREAS FOR FAILURES AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDINGS WITHIN THE PLANTING SEASON. 2. ONCE THE VEGETATION IS ESTABLISHED, THE SITE MUST HAVE 95% GROUND COVER TO BE CONSIDERED ADEQUATELY STABILIZED.
- 3. IF THE STAND PROVIDES LESS THAN 40% GROUND COVERAGE, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER, SEEDBED PREPARATION AND SEEDING RECOMMENDATIONS. 4. IF THE STAND PROVIDES BETWEEN 40% AND 94% GROUND COVERAGE, OVERSEEDING AND FERTILIZING USING HALF OF THE RATES ORIGINALLY APPLIED MAY BE NECESSARY. 5. MAINTENANCE FERTILIZER RATES FOR PERMANENT SEEDINGS ARE SHOWN IN TABLE 2.9.

SOD MAINTENANCE:

- 1. IN THE ABSENCE OF ADEQUATE RAINFALL, PERFORM WATERING DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER DURING THE HEAT OF THE DAY TO PREVENT WILTING.
- 2. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT. MOISTURE CONTENT.

 3. DO NOT ATTEMPT THE FIRST MOWING OF SOD UNTIL THE SOD IS FIRMLY ROOTED. DO NOT REMOVE MORE THAN A THIRD OF THE GRASS LEAF BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN GRASS HEIGHT BETWEEN 2 TO 3 INCHES UNLESS OTHERWISE SPECIFIED.

	D MIXTURE (HA M TABLE 43	FERTILIZER RATE	LIME RATE			
NO.	SPECIES	APPLICATION	SEEDING	SEEDING	(10–10–10)	
		RATE (lb/ac)	DATES	DEPTHS	(10 10 10)	
	RYE PLUS FOXTAIL MILLET	150	2/1-4/30 5/1-8/30 8/15-11/30	1	600 lb/ac (14 lb/1000 sf)	2 tons/ac (92 lb/1000sf)
	WEEPING LOVEGRASS	4	5/1-8/14	1/4	(14 lb/1000 sf)	(92 lb/1000sf)

SECTION III - PERMANENT SEEDING

SEEDING GRASS AND LEGUMES TO ESTABLISH GROUND COVER FOR A MINIMUM PERIOD OF ONE YEAR ON DISTURBED AREAS GENERALLY RECEIVING LOW MAINTENANCE.

A. SEED MIXTURES - PERMANENT SEEDING SUMMARY

SEED MIXTURE (HARDINESS ZONE 7A) FROM TABLE 42						ER RATE 0–20)	LIME RATE	
N0.	SPECIES	APPLICATION	SEEDING	SEEDING				
		RATE (lb/ac)	DATES	DEPTHS	N	P205	K20	
	TALL FESCUE (85%)	125	3/1–5/15	4 /4" MINI	90 lb/ac	175 lb/ac	175 lb/ac	2 tons/ac
	PERENNIAL RYEGRASS (10%)	15		1/4" MIN.	(2.0 lb/ 1000 sf)	(4 lb/ 1000 sf)	(4 lb/ 1000 sf)	(92 lb/ 1000 sf)
	KENTUCKY BLUEGRASS (5%)	10	8/15–11/15	2" MIN.				

9.1 STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

<u>DEFINITION:</u> CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS. PURPOSE: TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE AND OFF-SITE DAMAGE, HEALTH HAZARDS, AND TRAFFIC SAFETY PROBLEMS.

DESIGN CRITERIA: WHEN DESIGNING A DUST CONTROL PLAN FOR A SITE, THE AMOUNT OF SOIL EXPOSED WILL DICTATE THE QUANTITY OF DUST GENERATION AND TRANSPORT, THEREFORE. CONSTRUCTION SEQUENCING AND DISTURBING ONLY SMALL AREAS AT A TIME CAN GREATLY REDUCE PROBLEMATIC DUST FROM A SITE. IF LAND SHOULD BE DISTURBED, CONSIDER ADDITIONAL

- MULCHES -SEE SECTION 2.7 MULCHING. CHEMICAL OR WOOD CELLULOSE FIBER BINDERS MUST
- 2. VEGETATIVE COVER SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.

BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL.

- 3. SPRAY-ON ADHESIVES ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
- PRACTICE CAN BE PARTICULARLY EFFECTIVE FOR ROAD CONSTRUCTION AND OTHER TRAFFIC ROUTES. THE SITE MUST NOT BE SPRINKLED TO THE POINT THAT RUNOFF OCCURS. 6. BARRIERS -SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, CRATE
- WALLS, OR SIMILAR MATERIALS CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. 7. CALCIUM CHLORIDE -CAN BE APPLIED AS FLAKES OR GRANULAR MATERIAL WITH A

MECHANICAL SPREADER AT A RATE THAT WILL KEEP THE SOIL SURFACE MOIST BUT NOT SO

- THE CONTRACTOR MUST CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE SO AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. USE DUST CONTROL THROUGHOUT THE
- THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL, AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.

3. THE CONTRACTOR SHALL SUPPLY WATER-SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL

- 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES SHALL GENERALLY CONSIST OF
- 5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL: (a) APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, AND PUMP WITH
- (c) DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 KPA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- a) APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES. b) LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE
- c) APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND THE SITE

BECAUSE DUST CONTROLS ARE DEPENDENT ON SPECIFIC SITE AND WEATHER CONDITIONS, INSPECTION AND MAINTENANCE ARE UNIQUE FOR EACH SITE. GENERALLY, DUST CONTROL MEASURES INVOLVING APPLICATION OF EITHER WATER OR CHEMICALS REQUIRE MORE MONITORING THAN STRUCTURAL OR VEGETATIVE CONTROLS TO REMAIN EFFECTIVE. IF STRUCTURAL CONTROLS ARE USED, INSPECT THEM FOR DETERIORATION ON A REGULAR BASIS TO ENSURE THAT THEY ARE STILL ACHIEVING THEIR INTENDED PURPOSE.

CONDITIONS WHERE PRACTICE APPLIES: THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AN OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

TEMPORARY STABILIZATION MEASURES PRIOR TO DISTURBANCE.

- TEMPORARY METHODS:
- TILLAGE -THIS IS AN EMERGENCY TEMPORARY PRACTICE THAT WILL SCARIFY THE SOIL SURFACE AND PREVENT OR REDUCE THE AMOUNT OF BLOWING DUST UNTIL A MORE
- APPROPRIATE SOLUTION CAN BE IMPLEMENTED. BEGIN THE TILLAGE OPERATION ON THE WINDWARD SIDE OF SITE. USE A CHISEL-TYPE PLOWS TO PRODUCE THE BEST RESULTS. 5. SPRINKLING -THIS IS THE MOST COMMONLY USED DUST CONTROL PRACTICE. THE SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST AND REPEATED AS NEEDED. THIS

HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. CAN BE REAPPLIED AS NECESSARY.

- CONSTRUCTION SPECIFICATIONS
- WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
- DISCHARGE PRESSURE GAUGE. (b) ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER.
- 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
- MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS

BOUNDARIES.

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S SENENMAN No. 907776 03/01/2022 PLAN STATUS

2 | 9/22/21 | PERMIT 1 2/24/21 DESIGN DEVELOPMENT NO. | DATE | DESCRIPTION JNC DESIGN DRAWN CHKD AS SHOWN 130133-01-00 SEPTEMBER, 202

Cad file name: V: \130133 - 1101-1107 H Street NE\130133-01-001 (ENG) - 1101-1107 H Street NE\Engineering\Engineering\Engineering Plans\ENG set\130133-DetSht.dwg 3/2/2022

2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE.

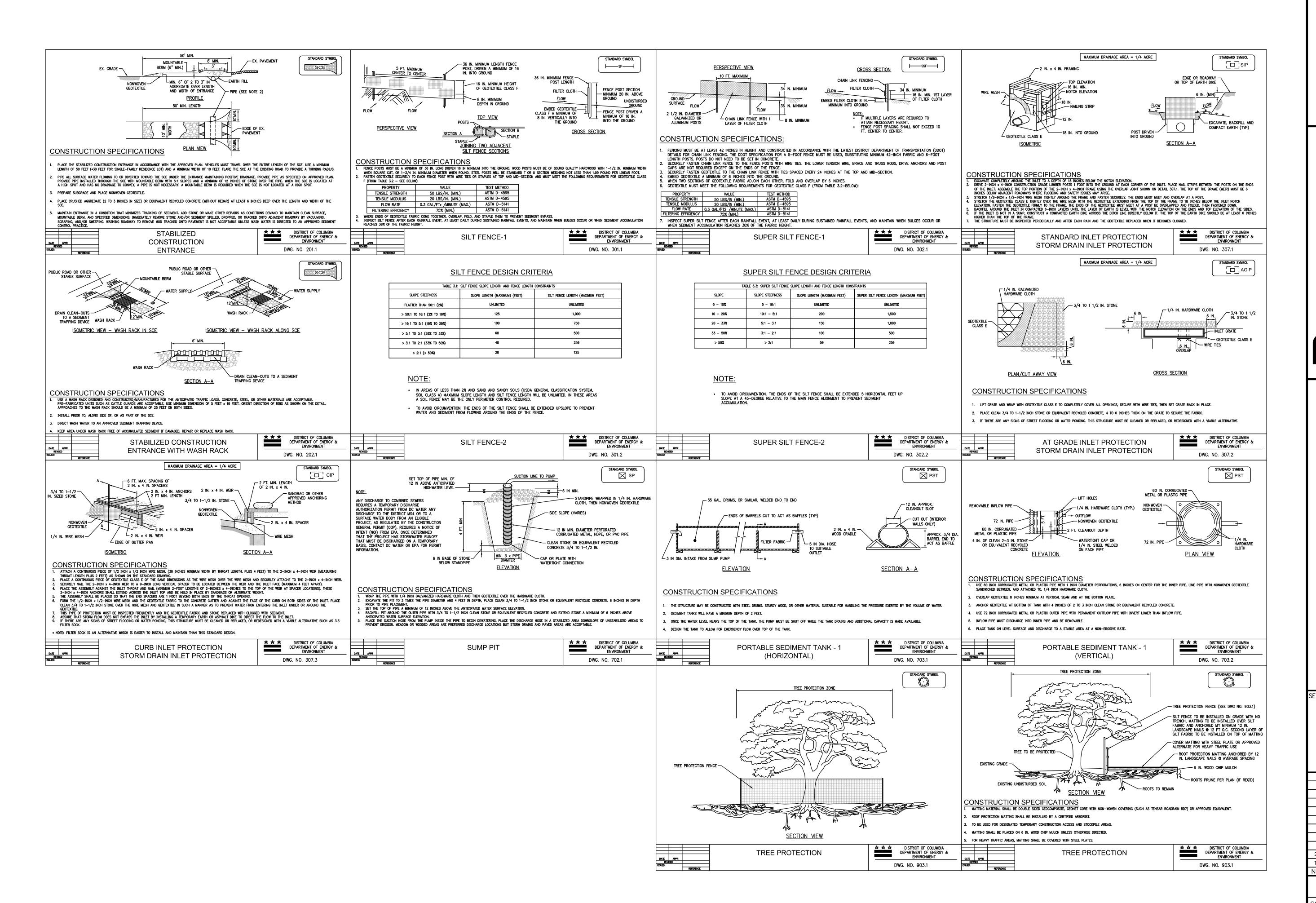
- AVAILABLE FOR DOEE INSPECTORS. AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN
- PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND
- STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH,
- THE REMOVAL OR EROSION AND SEDIMENT CONTROLS.
- 13. POST A SIGN THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER

HAULING OPERATIONS FOR UP TO ONE MILE 2.0 STANDARDS AND SPECIFICATIONS FOR

AND DIRT ONTO A ROADWAY. PRIOR TO PLACING STONE. PLACE CRUSHED AGGREGATE 2 INCHES TO 3 INCHES IN SIZE (SEE APPENDIX A, TABLE A.2) OR RECYCLED CONCRETE EQUIVALENT (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER CHAPTER 4 CONVEYANCE.

ITS CENTERLINE TO PROVIDE A CONTINUOUS BARRIER.

MINIMUM OF 25 FEET ON BOTH SIDES. INSTALL PRIOR TO, ALONGSIDE OF, OR AS PART OF THE SCE. 3. DIRECT WASH WATER TO AN APPROVED SEDIMENT TRAPPING DEVICE.

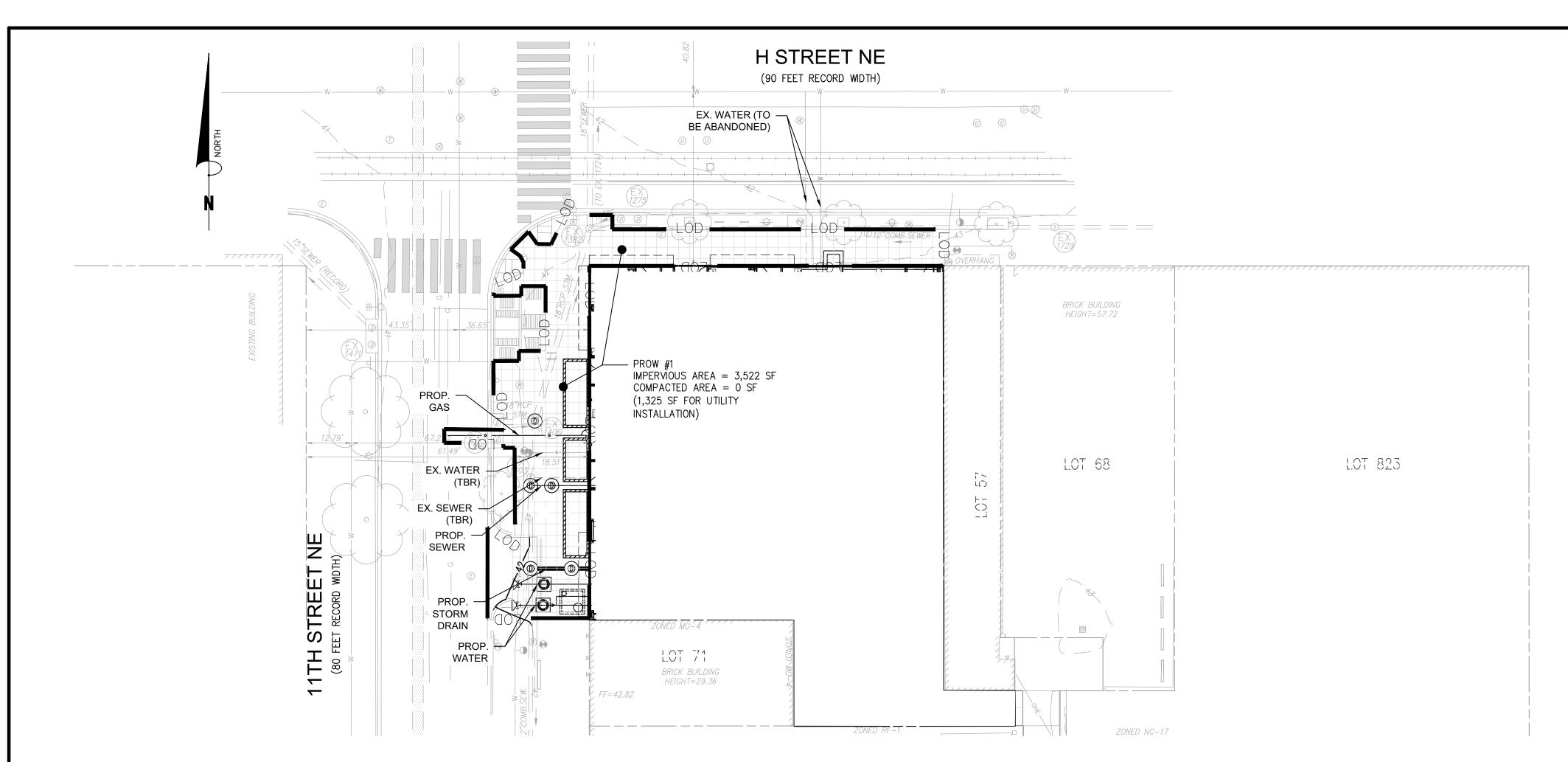


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SENENMAN No. 907776 03/01/2022 PLAN STATUS

2 9/22/21 PERMIT 1 2/24/21 DESIGN DEVELOPMENT NO. DATE DESCRIPTION JNC MCS DESIGN DRAWN CHKD AS SHOW 130133-01-00 SEPTEMBER, 202

CIV0520



LEGEND:

LIMITS OF DISTURBANCE IN PUBLIC SPACE

888 17th Street NW, Suite 510
Washington, DC 20006
Phone: (202) 750-2474

ATER MANAGEMENT IGHT OF WAY PLAN

1101 H ST. NE ONSTRUCTION DOCUMI

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DESIGN DRAWN CHKD

SCALE 1" = 20

JOB No. 130133-01-00

DATE SEPTEMBER, 202

CIV0750

CHAPTER 21 DCMR § 517

STORMWATER MANAGEMENT EXEMPTIONS

THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORMWATER MANAGEMENT REQUIREMENTS:

- CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS.
- REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL.

SW-1

MEP NARRATIVE FOR SWM IN PUBLIC SPACE:

- STEP 1: DRAINAGE AREA AND STORMWATER MANAGEMENT RETENTION VOLUME (SWRv)
- a) THE TOTAL LOD IN THE PUBLIC SPACE IS 3,673 SF
- b) THE PROPOSED LAND COVER:
- i. COMPACTED = 0 SF ii. IMPERVIOUS = 3,673 SF
- ij. BMP = 0 SF
- c) SWRv REQUIRED = 340 CF

STEP 2: INFILTRATION

- a) HISTORICAL DATA AND GENERAL KNOWLEDGE OF EXISTING SITE HAS DETERMINED THE TYPE OF SOIL TO NOT BE CONDUCIVE OF INFILTRATION PRACTICES.
- b) GEOTECHNICAL REPORT INDICATES FILL SOILS UP TO 15 FEET BELOW EXISTING SURFACE, CONCLUDING THAT INFILTRATION PRACTICES ARE NOT VIABLE WITHIN THE PUBLIC RIGHT OF WAY.

STEP 3: EXISTING INFRASTRUCTURE

- a) COMPLETE SURVEY OF EXISTING UTILITIES ARE SHOWN AND LABELED ON PLAN
- b) EXISTING UTILITIES WITHIN PUBLIC RIGHT OF WAY HAVE BEEN IDENTIFIED

STEP 4: LAND COVER CONVERSION

a) NOT APPLICABLE TO TYPE 2 PROJECTS.

STEP 5: BMPs

a) NO BMPs ARE PROPOSED IN THE PUBLIC RIGHT—OF—WAY.

STEP 6: ZERO-RETENTION PRACTICES

a) SITE IS LOCATED IN THE CSS AND THEREFORE NOT REQUIRED TO ADDRESS WATER QUALITY

THE ABOVE INFORMATION OUTLINES EACH STEP IN FOLLOWING THE DISTRICT'S STORMWATER MANAGEMENT APPROACH FOR THE MAXIMUM EXTENT PRACTICABLE PROCESS WITHIN THE PUBLIC RIGHT OF WAY. DUE TO TOPOGRAPHICAL CHALLENGES, SOIL CONSTRAINTS AND UTILITY CONFLICTS, DESIGN OF VIABLE STORMWATER MANAGEMENT PRACTICES IN THE PUBLIC RIGHT OF WAY HAVE BEEN IMPLEMENTED TO THE MAXIMUM EXTENT PRACTICABLE.

CAUTION!!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

MISS UTILITY

CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

		emo for PROW Type 2				
Di	rainage Area #	PROW I				
	Description	Public space improvements associated with private parcel development in the road right-of-ways for 1101 H Street.				
S	WM Proposed	Tree Plantings				
Stormwater Re Provided	etention Volume (SWRv)	30 CF				
BMP Group	<u>Practice</u>	Justification				
1	Green Roofs	Not applicable. No buildings, Proposed right-of-way is limited to sidewalk.				
2	Rainwater Harvesting	Not applicable. No buildings. Proposed right-of-way is limited to sidewalk.				
3	Impervious Surface Disconnection	Sidewalk right-of-way is too narrow to provide the mininum 10 feet disconnection and the pedestrian walkway.				
4	Permeable Pavement Systems	There is no room for permeable pavement systems on the PROW due to proximity to existing utilities.				
5	Bioretention	No room for bioretention or planter boxes in the PROW due to available sidewalk width and existing trees.				
7	Infiltration	Site and surrouding area soils consist of predominanty urban land, making infiltration practices unfeasible.				
8	Open Channel Systems	Many paved connections to the roadside climinate any significant length to install effective swales. Furthermore, any potential area to install the swales is occupied by proposed tree planting areas and planting beds.				
13	Tree Planting	There is 1 new tree being planted and 1 existing tree being				

preserved in the PROW.



March 3, 2022

DDOT 1100 4th Street, SW Washington DC 20024

Re: Airdome – 1101 H Street NE

TOPS Comment/Response Tracking Number 380565

This letter shall serve as the "comment/response" narrative relative to the design comments from DDOT for the public space improvements under DDOT TOPS Tracking number 380565. The provided comments and their associated responses are as follows:

IPMA/Stormwater - Julie Pike

Comment:



Provide the limits of disturbance and the area disturbed by this project. As the disturbance is over 5000 SF, please provide stormwater management plans and calculations including an MEP memo for the work in the public right of way. Please also provide drainage information, including grading, drainage areas, inlets, and downspout locations to demonstrate that no impervious areas drain to the public space and the site complies with DC Plumbing Code. Please also provide drainage and spread information for the catch basins on 11th Street and H Street.

Response:

Please refer to sheet CIV0750 [CIV0750 SWM PROW (2022-03-01).pdf], which shows the stormwater management plan within the limits of the public right-of-way. The latest grading plan is found on sheet CIV0160 [AirDome Site Plan (2022-03-01).pdf]. We have developed a new sheet CIV0200 [CIV0200 DA Map and Computations.pdf] to clearly demonstrate the flow of runoff within the private property, public property, and the existing inlet capacity.

Refer to sheet A102, which shows 2nd floor indicates terrace drainage is internal to property and no impervious areas spill to public way. Refer to sheet A104 which indicates roof drainage is internal to property and no impervious areas spill to public way. Downspouts from Penthouse roof to penthouse interior drains are indicated. Refer to sheet A501, which indicates impervious canopy drainage is directed to interior of building rather than public way.

UFA – Sharon Dendy

Comment 1:



Show the critical and structural root zones of the adjacent street trees so that Urban Forestry can assess any negative impacts in relation to the proposed projections. Refer to the uploaded diagram for CRZ-SRZ layout. Response may require additional revisions. DDOT-UFD Street Tree Inventory can be found at the following link under Services & Plantings; scroll down to OPEN STREET TREE MAP - https://ddot-urban-forestrydcgis.hub.arcgis.com/

Response:

The critical root zone limits have been revised on our Erosion and Sediment Control plan. We've verified the tree size from the open street tree map and revised our tree protection limits. Refer to sheets CIV0130, CIV0131, and CIV0132 within the uploaded PDF [Erosion and Sediment Control Sheets (2022-03-01).pdf]

Comment 2:



Show distance between the existing street tree on 11th Street and the driveway/curb cut. Minimum 10 ft. distance must be maintained between the near side of the existing street tree (Overcup Oak) on 11th Street (and edge line of the driveway.

Response:

We've added a dimension showing the driveway is greater than 10 feet away from the existing tree on 11th Street. Refer to CIV0140 [AirDome Site Plan (2022-03-01).pdf].

Comment 3:



Add the uploaded DDOT Standard Drawings 608.10, 608.11, and 608.12 for tree protection.

Response:

These tree protection details have been included in our landscape plans on L0420 [L0420 Landscape Details (2022-03-01).pdf].

Comment 4:



Upload the following DDOT Tree Protection Notes The contractor must adhere to the following tree protection conditions. All protection measures and excavation operations shall comply with the 2013 District Department of Transportation Standard Specifications for Highways and Structures (Gold Book) – Sections 207.03, 608.07 and 608.08 and DDOT Standard Drawings 608.10, 608.11, and 608.12 * Trees within or directly adjacent to the limits of work must be protected with 6 ft. tall chain link fence to the extent of the tree box (minimum 4 ft. x 9 ft.) or to the critical root zone in a planting strip/open space; refer to the uploaded diagram. If the tree is on a slope, multi-stemmed and/or splits below 4.5 feet, please refer to the following link for measuring DBH -

http://www.phytosphere.com/treeord/measuringdbh.htm * None of the following shall occur within the critical root zone of a tree: alteration or disturbance to existing grade, staging/storage of construction materials, equipment, soil, or debris; disposal of any liquids e.g. concrete, gas, oil, paint; and blacktop, and trenching. * Install only trenchless silt/super silt fence methods within the critical root zone of a tree; trenchless methods such as Filter logs, Silt Soxx, straw bales, or an approved equivalent shall be used. * No heavy equipment shall be used to excavate within the critical root zone. Excavations shall proceed with care by use of hand tools or equipment that will not cause injury to tree trunks, branches, and roots. * No roots greater than two (2) inches in diameter shall be cut without an Arborists permission. Exposed roots 2 inches and larger in diameter shall be wrapped in burlap or other approved material and kept moist at all times. * If for any

reason the scope of the project requires work to be performed within the fenced protection zone, the permit holder must call the District Department of Transportation's Urban Forestry Division (UFD) at 202-671-5133 to receive clearance to continue the conflicting work. DDOT Arborist Alex Grieve, alexander.grieve@dc.gov Feb 25 2022 3:51PM sdendy wrote - Applicant has not addressed comments from October 2021.

Response:

We've updated the Tree Protection Notes on our Erosion and Sediment Control plan. Refer to sheets CIV0130, CIV0131, and CIV0132 within the uploaded PDF [Erosion and Sediment Control Sheets (2022-03-01).pdf]

<u>Streetcar – Ulysses Johnson</u>

Comment 1:

SC-1

Please reach out to Ulysses Johnson at 202-763-4630. There are no traffic control plans attached and a further discussion is needed to determine the impact on Streetcar Operations and Safety.

Response:

We've provided traffic control plans in this submission. Refer to the file "AirDome TCP PS (2022-03-01).pdf".

Comment 2:



APPLICATION WILL BE APPROVED ONCE THE APPLICANT ATTENDS A WEEKLY TRACK ALLOCATION MEETING. THE NEXT MEETING IS 2/17/2022 AT 12:00 PM [NOON] AT 2550 BENNING RD NE. CONTACT STREETCAR.PERMITTING@DC.GOV FOR MORE INFORMATION. - - - Track Allocation Meetings occur weekly on Thursdays at 12:00pm [Noon] EST at the RDMT office at 2550 Benning Rd NE (Benning Rd and 26th St NE; enter from the Benning Rd side and identify with the guard at the guard desk.) - - - IF YOU DO NOT ATTEND A TRACK ALLOCATION MEETING BY _______, YOUR PERMIT REQUEST WILL BE DENIED.

Response:

Steve Baikness with Holladay Corporation attended a meeting held on February 24, 2022.

<u>OP-Urban Design – Timothy Maher</u>

Comment 1:



Please submit elevations, sections, and other relevant details regarding the proposed building projections and overhangs. - Submit details for the surface treatment of the proposed utility vaults within the 11th Street right-of-way. OP may only support closed-top vaults at this location within the sidewalk, designed to match the adjacent sidewalk color, material and scoring pattern. - Provide additional floor plans that show parking locations and access route, so OP can fully review the location and design of the proposed curb cut. - Curb cut must be located a minimum of 10 feet away from any existing, healthy street trees. - Curb returns for the driveway must remain within the lot line extended to the curb. Curb returns may not cross over into the public space that is in front of an adjacent property.

Response:

Refer to sheet 003 which indicates dimensions from curb to projecting bay at H Street NE provided as 12'-0 3/8" minimum, and 24'-10 1/8" at 11th Street NE. Replacement driveway curb cut is with lot line when projected to the curb. Sheet 010 indicates the extent and locations of projecting bays. Sheet A101 shows

parking locations and access route. Sheet A102 shows dimensions for the projecting bays. Sheets A201, A204, and A208 indicate the extent of projecting bays.

We're proposing the utility vaults as closed top matching the adjacent sidewalk with DDOT standards. The curb cut is proposed at a distance greater than 10 feet away from the existing street tree. The curb returns have been adjusted to the north so as to not cross over into the public space in front of the adjacent property. Refer to CIV0140 for the dimensions of the curb cut [AirDome Site Plan (2022-03-01).pdf].

Comment 2:

Please submit elevations, sections, and other relevant details regarding the proposed building projections and overhangs. Per the DCMR Title 12A Construction Code, Section 3202.7.1.1, building projections must maintain a minimum 12' offset from streets with a right-of-way width of 90', such as H Street NE. Please reduce the projecting distance of the proposed bay windows on H Street to maintain a minimum 12' distance from the curb line. - OP can support the proposed bay window projection on 11th Street NE.

Response:

Refer to sheet 003 which indicates dimensions from curb to projecting bay at H Street NE provided as 12'-0 3/8" minimum, and 24'-10 1/8" at 11th Street NE. Sheet 010 indicates the extent and locations of projecting bays. Sheet A102 shows dimensions for the projecting bays. Sheets A201, A204, and A208 indicate the extent of projecting bays.

The curb cut is proposed at a distance greater than 10 feet away from the existing street tree. The curb returns have been adjusted to the north so as to not cross over into the public space in front of the adjacent property. Refer to CIV0140 for the dimensions of the curb cut [AirDome Site Plan (2022-03-01).pdf].

<u>Planning and Sustainability Division – Kimberly Vacca</u>

Comment:



Please revise the site plan to provide 8 short-term bicycle spaces (only 6 spaces are shown). Please submit the Architectural Plans to confirm the building projection dimensions in public space. Please submit a curbside management signage plan for the curbs adjacent to the development.

Response:

We've identified the location of the bike racks on CIV0140 [AirDome Site Plan (2022-03-01).pdf]. These are existing double bike racks which will remain. Two racks located along H Street NE account for four (4) spaces and two racks are located along 11th Street NE account for four (4) spaces, which total the required eight (8) short-term bicycle spaces.

Sheet 003 indicates (4) short term bike spaces on H Street and (4) short term bike spaces on 11th Street. Street. Dimensions from curb to projecting bay at H Street NE provided as 12'-0 3/8" minimum, and 24'-10 1/8" at 11th Street NE. Sheet 010 indicates extent and locations of projecting bays.

In closing, this letter is meant to address the comments for the above referenced project. Any questions or comments please call (202) 750-2474 or e-mail **msenenman@bowman.com**.

Best.

Matthew C. Senenman, PE

Bowman Consulting