

Agenda
ANC 6A Transportation & Public Space Committee Meeting
Monday, May 15, 2023 at 7:00 pm
Virtual Meeting via Zoom

For those attending via Zoom: use this link: <https://us06web.zoom.us/j/82707725713>

Call-in Number: 1 301 715 8592

Webinar ID (access code): 827 0772 5713

One tap mobile: +13017158592,,82707725713#

Public Meeting – All are welcome

Community comment welcome; may be limited to two minutes to provide opportunity for all to speak. Community comment time will be opened after each Old and New Business item.

- I. Call meeting to order.
- II. Introductions & Announcements.
- III. Old Business
 - A. DDOT update on H Street Priority Bus Lanes - Zack Gambetti-Mendez, AICP, Transportation Planner, Bus Priority Program, DDOT
 - B. 11th Street Traffic Calming: request for a comprehensive safety study and additional input for selected and pending Traffic Safety Investigations (TSIs) - Commissioners Shapiro, Gove, Velazquez, Chatterjee, Moilanen
- IV. New Business
 - A. Vision Zero Hardening at 13th Street/Constitution Avenue NE and 11th/East Capitol Streets - DDOT speaker TBC
 - B. Public Space Applications on H Street NE
 - i. #419662 at 1101 H Street NE (Paving: Driveway(s) Close Existing, Paving: Driveway(s) New- Commercial, Paving: Sidewalk(s), Projections: Bay Window(s), Projections: Marquee)
 - C. Metro's Better Bus Network Redesign Project
 - i. Overview and ways to provide comment
- V. Additional community comment (time permitting).
- VI. Adjourn meeting.

1101 H STREET NE / PUBLIC SPACE PERMIT #380565

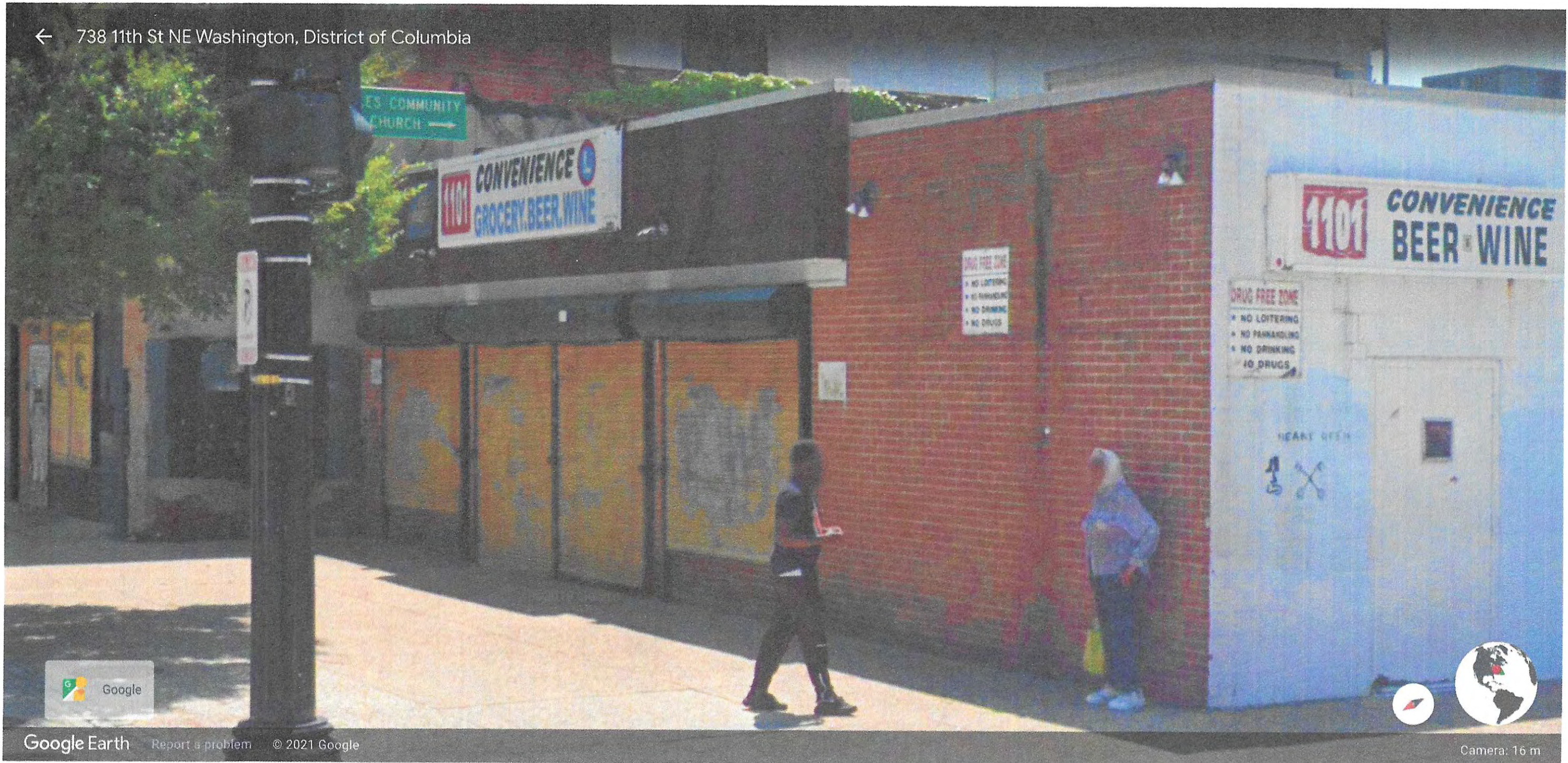
FEBRUARY 24, 2022

The following Architectural drawings dated 02.03.22 and submitted to DCRA under building permit #B2109279 are provided to address the open comments for public space permit #380565. Additional dimensions and notes have been added for clarity per the comments below, but no changes to the drainage, projections, overhangs, etc. have been made to the building permit drawings.

Reviewer	Description	Sheet References
IPMA/ Stormwater	Provide drainage information, including grading, drainage areas, inlets, and downspout locations to demonstrate that no impervious areas drain to the public space.	<p>A102 – 2nd – 6th Floor Plan shows dimensions for the projecting bays. 2ND Floor indicates terrace drainage is internal to property and no impervious areas spill to public way.</p> <p>A104 – Penthouse & Penthouse Roof Plan indicates roof drainage is internal to property and no impervious areas spill to public way. Downspouts from Penthouse roof to penthouse interior drains are indicated.</p> <p>A501 – Exterior Sections indicate impervious canopy drainage is directed to interior of building rather than public way.</p>
OP – Urban Design	<p>Provide additional floor plans that show parking locations and access route, so that OP can fully review the location and design of the proposed curb cut. Curb returns for the driveway must remain within the lot line extended to the curb. Curb returns may not cross over into the public space that is in front of an adjacent property.</p> <p>Please submit elevations, sections, and other relevant details regarding the proposed building projections and overhangs. Per the DCMR Title 12A Section 3202.7.1.1, building projections must maintain a minimum of 12' offset from streets with a right-of-way width of 90', such as H Street NE. Please reduce projecting distance of the proposed bay windows on H Street to maintain a minimum 12' from the curb line. OP</p>	<p>003 – Site Plan indicates dimensions from curb to projecting bay at H Street NE provided as 12'-0 3/8" minimum, and 24'-10 1/8" at 11th Street NE. note: Curb cut at driveway extends past the lot line when extended to the curb due to existing site constraints and is under review with DDOT.</p> <p>A101 – 1st Floor and Cellar Plan shows parking locations and access route.</p> <p>A102 – 2nd – 6th Floor Plan shows dimensions for the projecting bays. 2ND Floor indicates terrace drainage is</p>

	<p>can support the proposed bay window projection on 11th Street NE.</p>	<p>internal to property and no impervious areas spill to public way.</p> <p>A104 – Penthouse & Penthouse Roof Plan indicates roof drainage is internal to property and no impervious areas spill to public way. Downspouts from Penthouse roof to penthouse interior drains are indicated.</p> <p>A201 – Building Elevations indicate extent of projecting bays.</p> <p>A204 – Building Section indicates extent of projecting bays.</p> <p>A208 - Building Section indicates extent of projecting bays.</p> <p>A501 – Exterior Sections indicate impervious canopy drainage is directed to interior of building rather than public way.</p>
<p>Planning and Sustainability Division</p>	<p>Please revise site plan to provide (8) short term bicycle spaces (only 6 spaces are shown). Please submit the Architectural plans to confirm the building projection dimensions in public space.</p>	<p>003 – Site Plan indicates (4) short term bike spaces on H Street and (4) short term bike spaces on 11th Street. Street. Dimensions from curb to projecting bay at H Street NE provided as 12'-0 3/8" minimum, and 24'-10 1/8" at 11th Street NE.</p>

← 738 11th St NE Washington, District of Columbia



North Elevation of 1101 H Street.



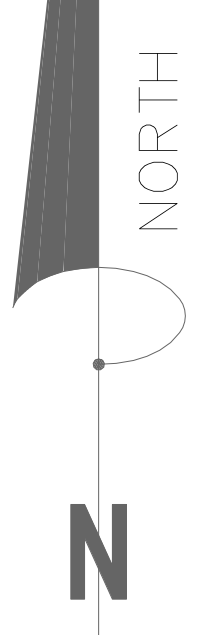
West Elevation 1101 H Street, NE.



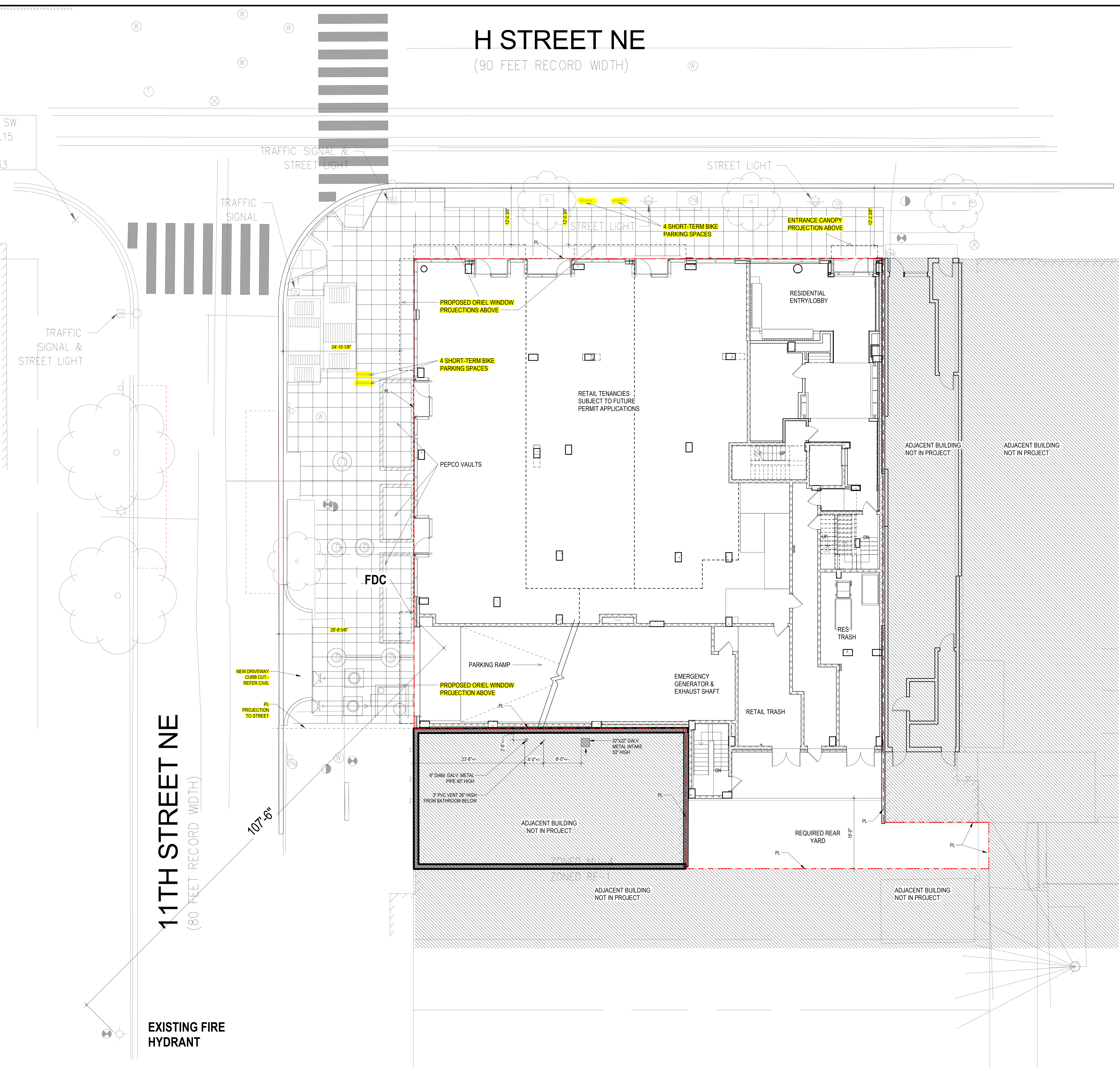
South Elevation of 1101 H Street, NE

H STREET NE

(90 FEET RECORD WIDTH)



"X" CUT IN SW
 N 449,206.15
 E 1,314,715.33
 Z 41.03



11TH STREET NE
 (80 FEET RECORD WIDTH)

EXISTING FIRE HYDRANT

AIRDOME, LLC

3400 IDAHO AVENUE, N.W., #500
 WASHINGTON, D.C. 20016



717 5TH STREET NW WASHINGTON, DC 20001

STRUCTURAL
 EHLERT BRYAN
 8609 WESTWOOD CENTER DRIVE, SUITE 800
 TYSONS, VA 22182

CIVIL/LANDSCAPE
 BOWMAN CONSULTING GROUP, LTD
 888 17TH ST NW, SUITE 510
 WASHINGTON, DC 20006

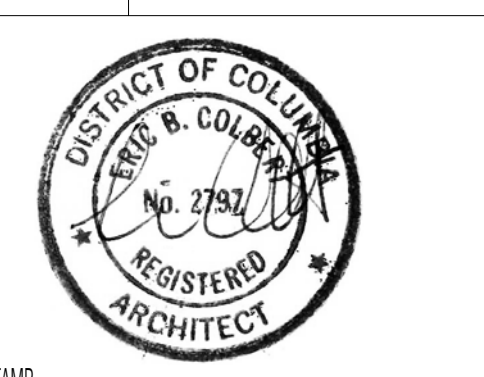
MEP
 SUMMIT ENGINEERS, INC
 5307 LEE HWY
 ARLINGTON, VA 22207

LEED
 SUSTAINABLE DESIGN CONSULTING
 1432 K STREET NW, 3RD FLOOR
 WASHINGTON, DC 20005

1101 H STREET NE

1101 H ST NE, WASHINGTON, DC 20002

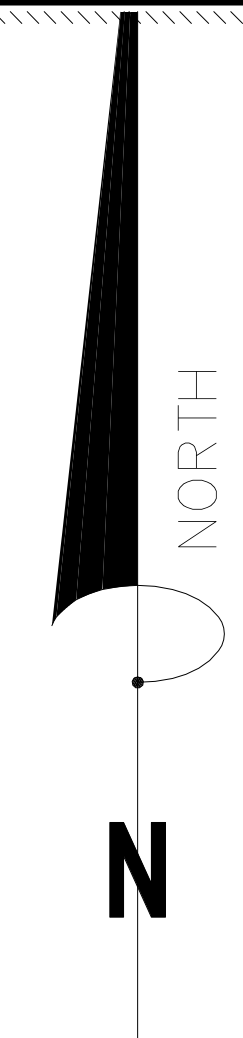
JOB NO.	DATE	DESCRIPTION
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7	02/03/22	PERMIT SUBMISSION



SITE PLAN

DRAWING TITLE
 SCALE: 1/8" = 1'-0"

003



"X" CUT IN SW
 N 449,206.15
 E 1,314,715.33
 Z 40.70
 41.03

EXISTING BUILDING

GRANITE CURB AND
 BRICK GUTTER

11TH STREET NE
 (80 FEET RECORD WIDTH)

EXISTING FIRE
 HYDRANT

107'-6"

ADA RAMPS

GRANITE CURB AND
 BRICK GUTTER

BRICK

CONC. S/W

FDC

LOT 71
 BRICK BUILDING
 HEIGHT=29.36
 ADJACENT BUILDING
 NOT IN PROJECT

22"x22" GALV. METAL INTAKE 8' HIGH
 3" PVC VENT 26" HIGH FROM BATHROOM BELOW
 4" DIAM. GALV. METAL PIPE 40" HIGH
 BOLLARD
 22'-8"

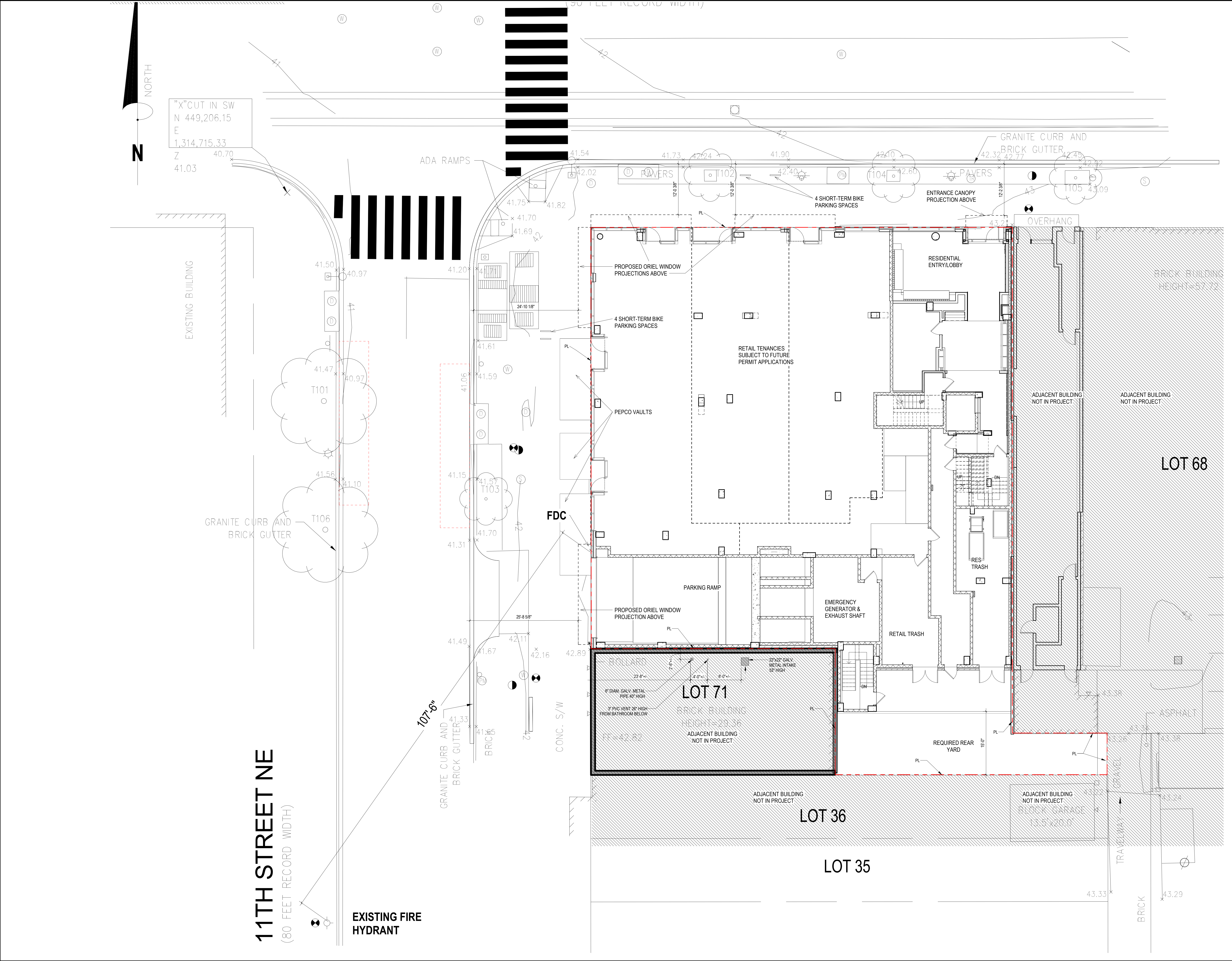
LOT 36

LOT 35

ADJACENT BUILDING
 NOT IN PROJECT
 BLOCK GARAGE
 13.5'x20.0'

LOT 68

BRICK BUILDING
 HEIGHT=57.72



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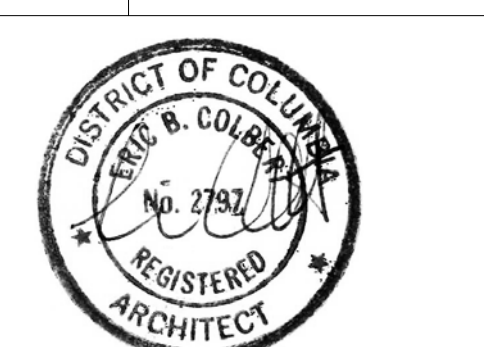
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 WASHINGTON, DC 20005

**1101 H STREET
 NE**

1101 H ST NE, WASHINGTON,
 DC 20002

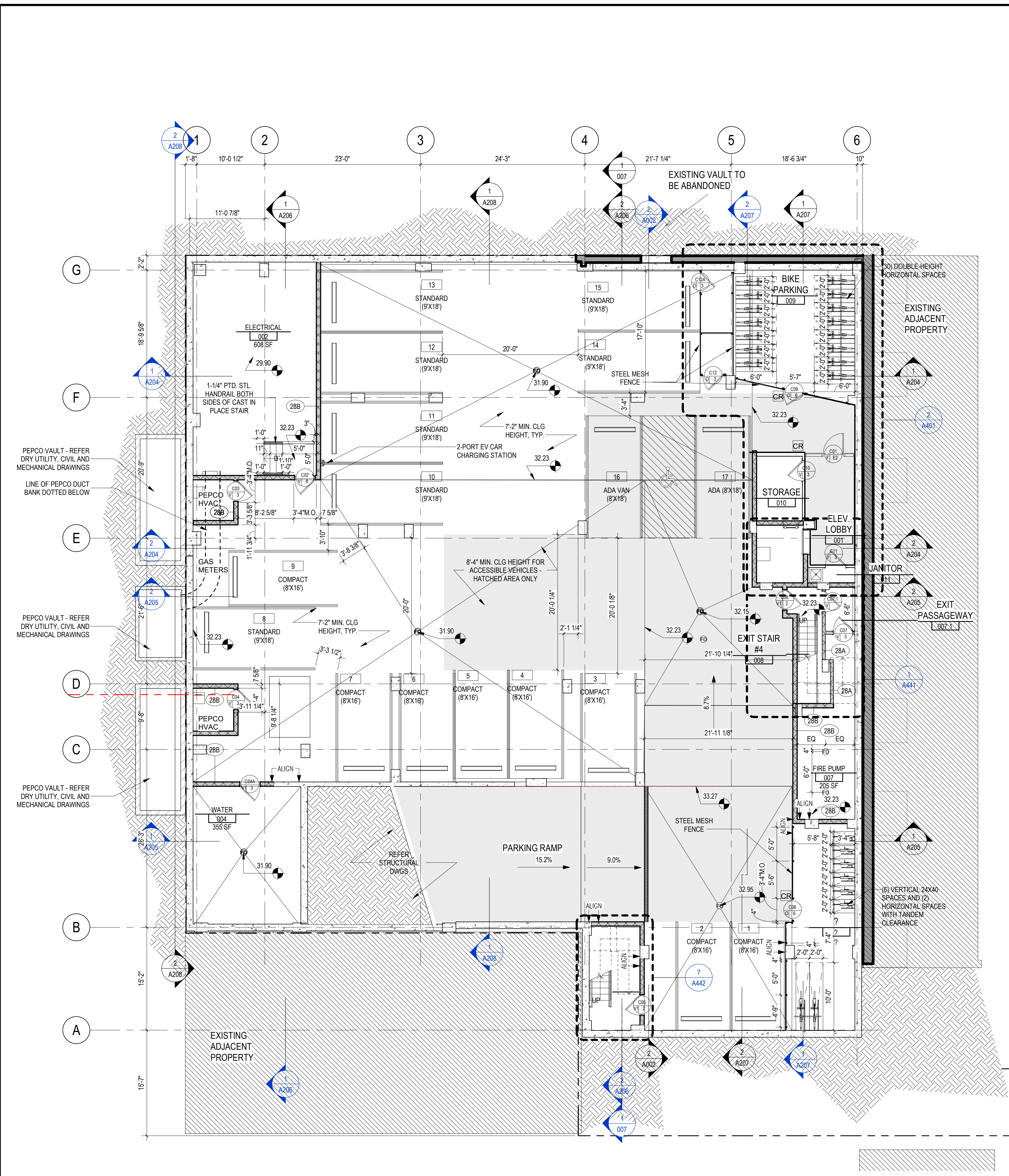
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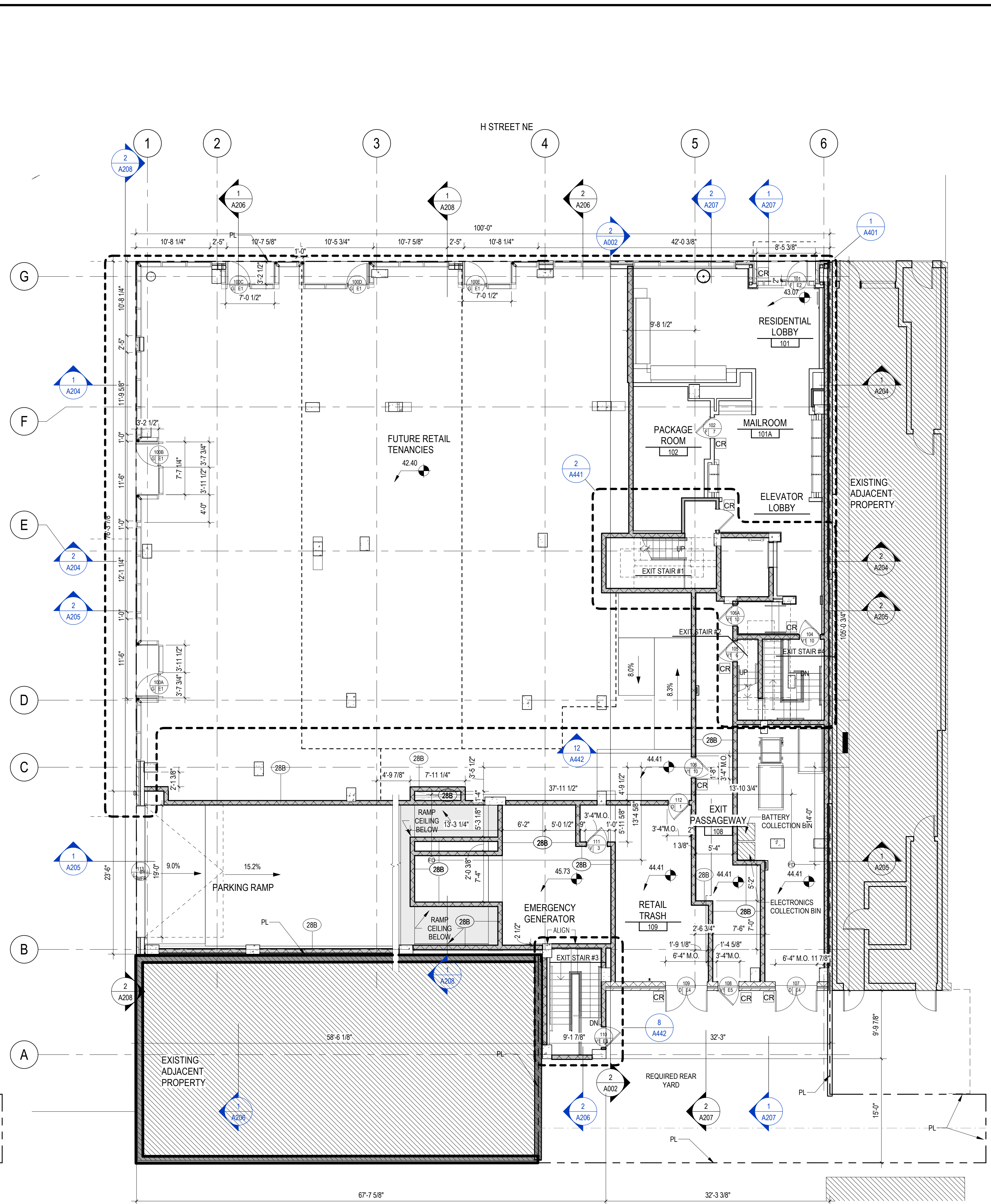
STAMP
SITE PLAN

DRAWING TITLE
 SCALE: 1/8" = 1'-0"

003



2 CELLAR FLOOR PLAN
A101 / 1/8" = 1'-0" REF: 11/07



1 1ST FLOOR PLAN
A101 / 1/8" = 1'-0" REF: 11/07

PLAN NOTES

- REFER TO SHEET 005 FOR GENERAL NOTES AND CODE SUMMARY
- REFER TO STRUCTURAL DRAWINGS FOR ALLOWED FLOOR PENETRATIONS
- MISCELLANEOUS SMALL FLOOR PENETRATIONS ARE TO BE 2 HOUR RATED AS FOLLOWS (REFER LISTED UL DESIGN FOR FULL DETAILS):
 TYPE I CONSTRUCTION:
 UL CUL-1556 MULTIPLE 3" MAX STEEL OR IRON PIP OR CONDUIT, 1" COPPER PIPE OR TUBE, 2" FLEXIBLE STEEL GAS PIPING IN A SLAB OPENING MAX 32 SQ IN.
 UL C-AJ-3140 MULTIPLE ELECTRIC CABLES IN 8" DIA MAX SLAB OPENING
 UL F-A-2008" SINGLE 1" OR SMALLER DIA PVC OR uPVC PIPE IN MAXIMUM 7" DIA SLAB PENETRATION
 TYPE III CONSTRUCTION:
 LARGER OTHER OPENINGS: REFER FLOOR NOTES, WALL TYPE TAGS AND DOOR SCHEDULE, MEP DRAWINGS FOR FIRE AND SMOKE DAMPERS, OR OTHERWISE MAINTAIN THE INTEGRITY OF REQUIRED FIRE AND SMOKE SEPARATIONS INDICATED ON THE CODE SUMMARY/AS REQUIRED.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER DC BC 2406.3. LABEL SAFETY GLAZING PER DC BC SECTION 2406.
- ANSI A UNITS ARE IDENTIFIED AS ANSI A. IF A UNIT IS NOT TAGGED ANSI A, THEN THE UNIT IS ANSI B. REFER DRAWING 005 FOR ADDITIONAL ACCESSIBILITY NOTES.
- REFER TO 4 SERIES DRAWINGS FOR ENLARGED PLANS AND FRAMING NOTES REGARDING TYPICAL DEMISING PARTITION TYPES AND DOOR LOCATIONS
- ROOFING: 2ND FLOOR: CLASS A HOT FLUID APPLIED MEMBRANE SYSTEM INSTALLED ON STRUCTURAL SLAB WITH BALLASTED 7" R53 RIGID INSULATION ABOVE. REFER TO LANDSCAPE DRAWINGS.
 TYPICAL ROOFING: CLASS A FULLY ADHERED TPO ON 1/2" COVERSBOARD ON SLOPED POLYISO INSULATION MECHANICALLY FASTENED TO SHEATHING. PROVIDE ADDITIONAL FINISHES OVER THE MEMBRANE WHERE INDICATED ON ARCHITECTURAL AND LANDSCAPE DRAWINGS.
- SHADING INDICATES RATED WALLS. REFER A4 SERIES DRAWINGS FOR INFORMATION REGARDING INTERIOR RATED PARTITIONS.
 A. STRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #9349 AND UTILIZE FRT WOOD. REFER DETAIL SA402.
 B. STRUCTURAL MASONRY EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #9805.
 C. NONSTRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 6-HOUR RATING AND UTILIZE FRT WOOD. REFER DETAIL SA402.

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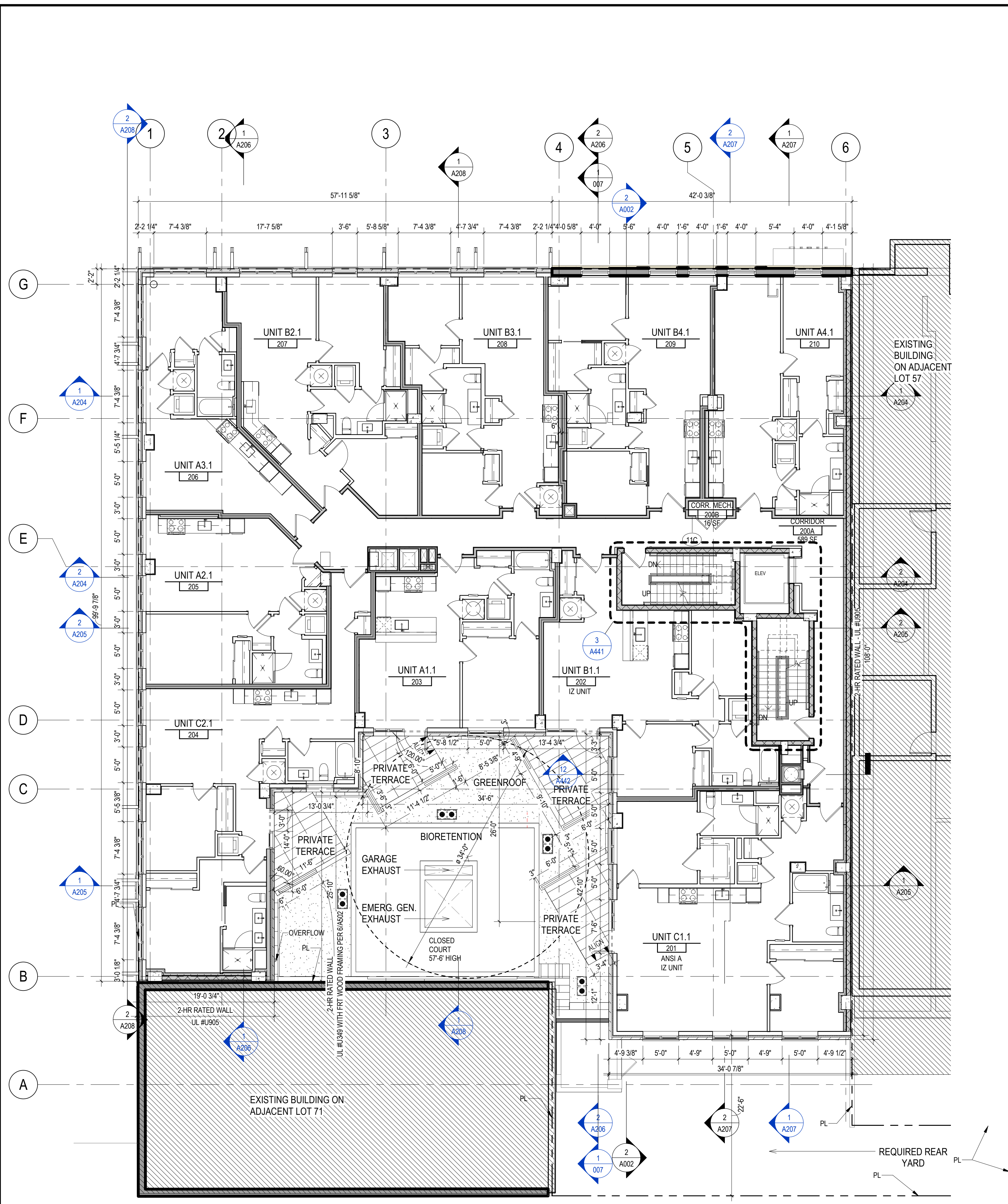
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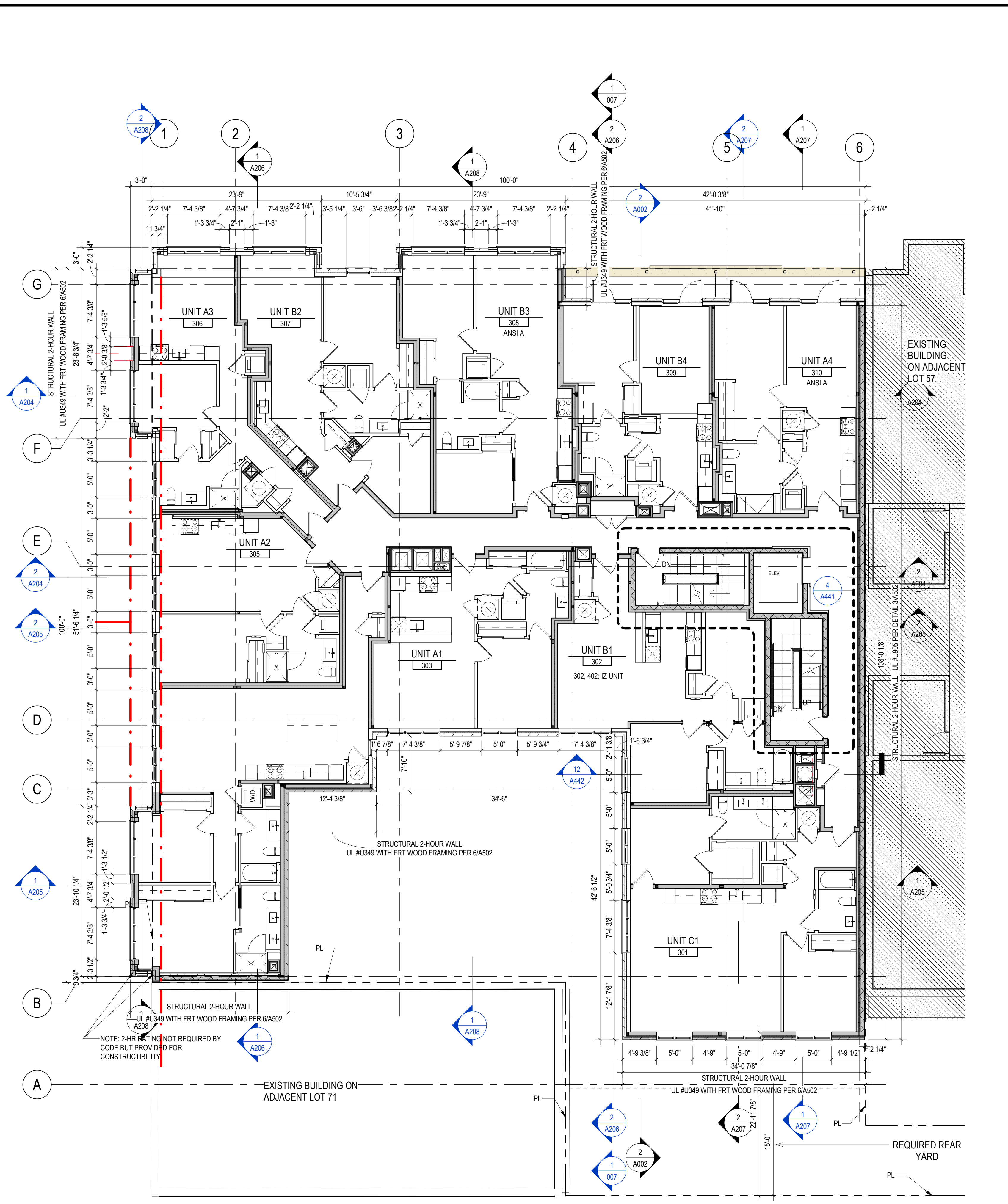
1ST FLOOR & CELLAR
PLANS

SCALE: 1/8" = 1'-0"

A101



1 2ND FLOOR PLAN
A102 / 1/8" = 1'-0" REF: 1/10/21



2 3RD-6TH FLOOR PLAN
A102 / 1/8" = 1'-0" REF: 1/10/21

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TYPICAL ROOFING: CLASS A FULLY ADHERED TPO ON 1/2" COVERSBOARD ON SLOPED POLYISO INSULATION MECHANICALLY FASTENED TO SHEATHING. PROVIDE ADDITIONAL FINISHES OVER THE MEMBRANE WHERE INDICATED ON ARCHITECTURAL AND LANDSCAPE DRAWINGS.
- SHADING INDICATES RATED WALLS. REFER A4 SERIES DRAWINGS FOR INFORMATION REGARDING INTERIOR RATED PARTITIONS.
A. STRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #1349 AND UTILIZE FRT WOOD. REFER DETAIL SA902.
B. STRUCTURAL MASONRY EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #1895.
C. NONSTRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 6-HOUR RATING AND UTILIZE FRT WOOD. REFER DETAIL SA902.

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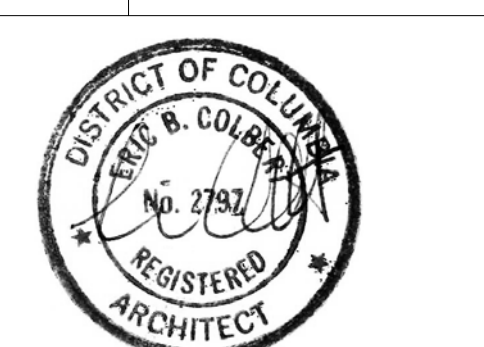
MEP
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WASHINGTON, DC 20005

1101 H STREET
NE

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JOB NO.	DATE	DESCRIPTION
2	10/05/21	DESIGN DEVELOPMENT
3	01/01/21	PERMIT SUBMISSION
4	02/22/21	PERMIT
5	11/22/21	PERMIT
6	02/28/21	100% CD
7	02/03/22	PERMIT SUBMISSION



2ND - 6TH FLOOR
PLANS

SCALE: 1/8" = 1'-0"

A102

AIRDOME, LLC

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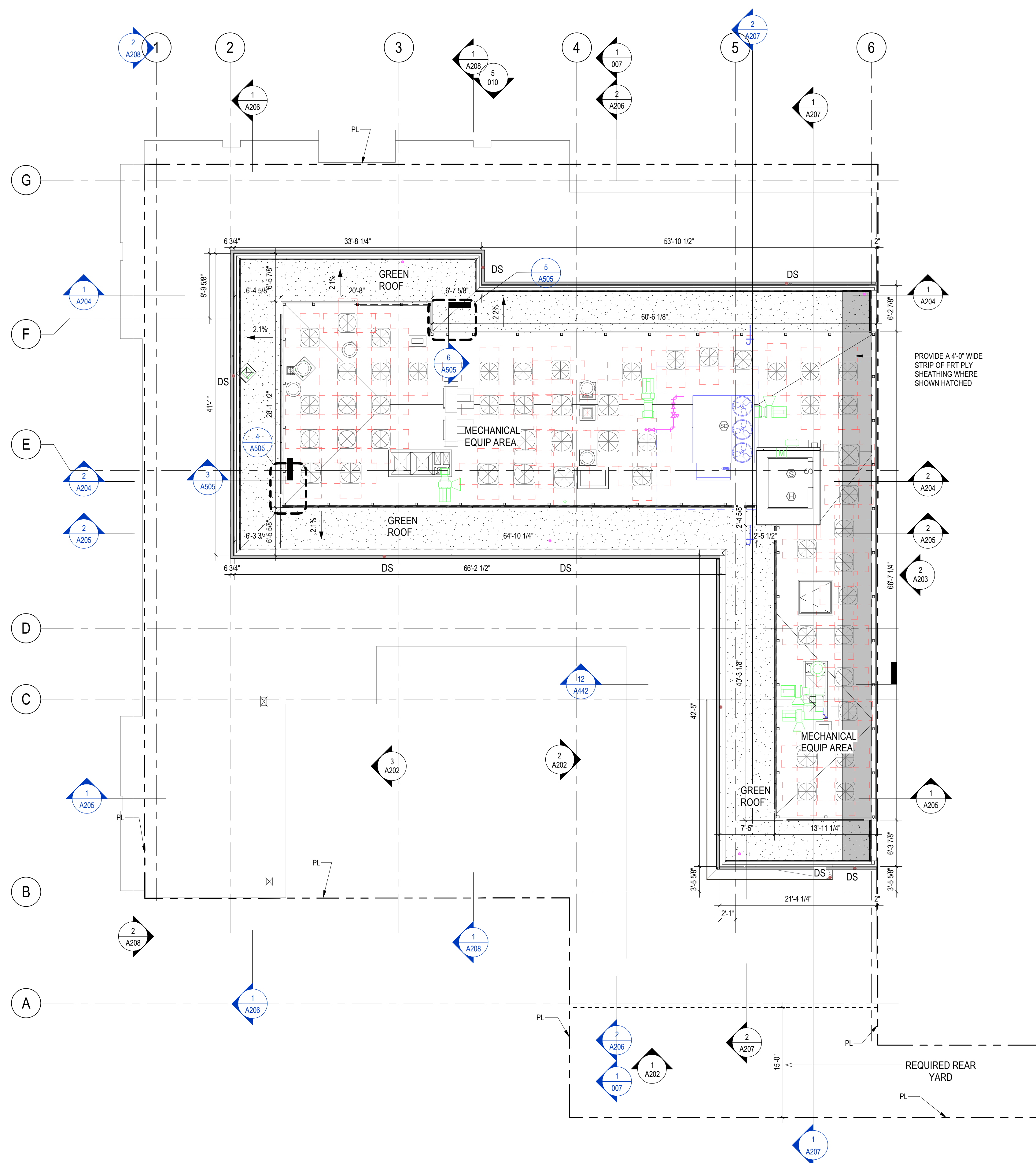
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5	11/23/21	PERMIT
6	09/29/21	100% CD
7	02/03/22	PERMIT SUBMISSION



PENTHOUSE &
PENTHOUSE ROOF

SCALE: As indicated
A104

SHEET NO.

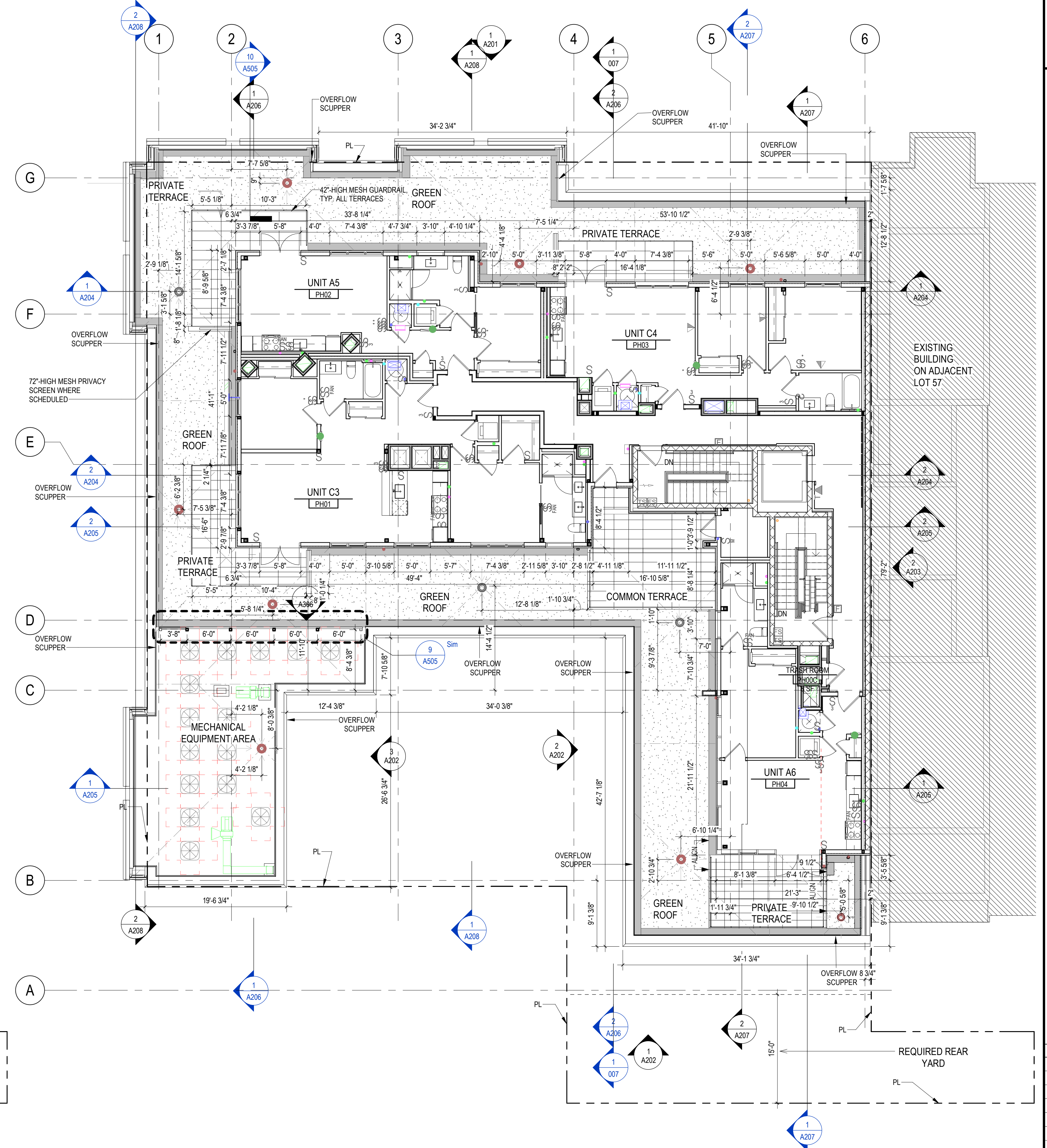


1 PENTHOUSE ROOF
A104 1/8" = 1'-0" REF: 1/10/21

ROOF AREAS

MAIN ROOF: 4180 SF
VEGETATIVE ROOF (4" MIN. MEDIA) - 2115 SF
PEDESTAL PAVER TERRACES - 805 SF
FULLY ADHERED TPO - 735 SF
PERIMETER BALLAST - 525 SF

PENTHOUSE ROOF: 4245 SF
VEGETATIVE ROOF (4" MIN. MEDIA) - 1455 SF
FULLY ADHERED TPO - 2790 SF



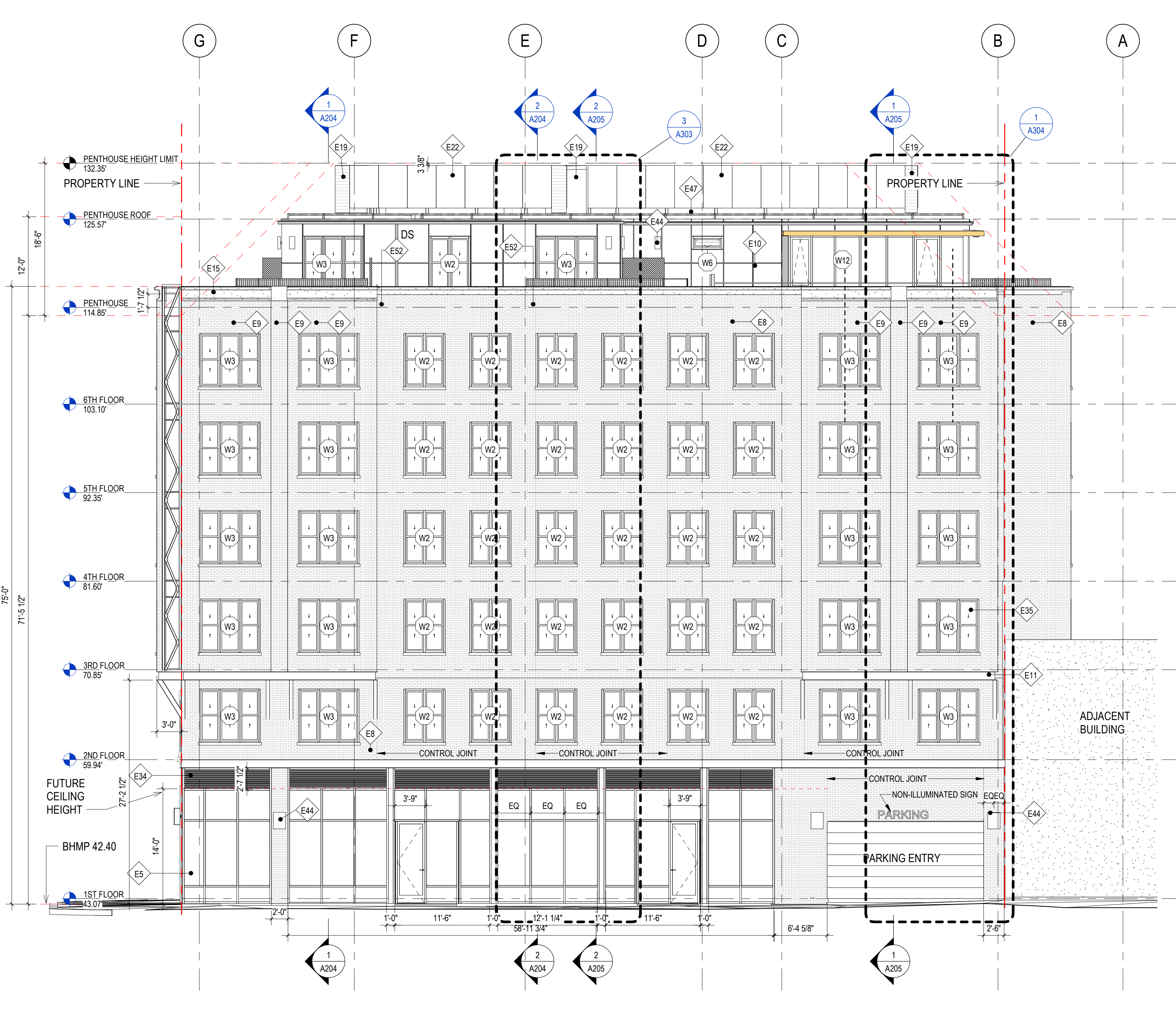
2 PENTHOUSE
A104 1/8" = 1'-0" REF: 1/10/21

PLAN NOTES

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UL C-AL-1550: MULTIPLE 3" MAX STEEL OR IRON PIP OR CONDUIT, 1" COPPER PIPE OR TUBE, 2" FLEXIBLE STEEL GAS PIPING IN A SLAB OPENING MAX 32 SQ IN.
UL C-AJ-3140: MULTIPLE ELECTRIC CABLES IN 8" DIA MAX SLAB OPENING
UL F-A-2000: SINGLE 1" OR SMALLER DIA PVC OR uPVC PIPE IN MAXIMUM 7" DIA SLAB PENETRATION
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B. STRUCTURAL MASONRY EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #985.
C. NONSTRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 6-HOUR RATING AND UTILIZE FRT WOOD. REFER DETAIL SA902.

ELEVATION KEYNOTES

- E1 EXISTING BRICK FACADE TO REMAIN, CLEAN & REPAIR AS NECESSARY
- E2 EXISTING BRICK SILL TO REMAIN
- E3 EXISTING FACADE ORNAMENTATION TO REMAIN & BE CLEANED
- E5 ALUM. STOREFRONT WINDOWS &/OR DOORS, SEE WINDOW SCHEDULE
- E8 ENTRANCE CANOPY
- E8 BRICK COLOR 2 - ENDICOTT SIENNA IRONSPOT SMOOTH
- E9 BRICK COLOR 3 - BELDEN SEA GRAY VELOUR Section E
- E10 METAL PANEL - REFER FINISH SCHEDULE
- E11 12" GALV. STL. CHANNEL PTD. SW 6990 CAVIAR REFER STRUCTURAL
- E14 ALUM. WINDOW AS SCHEDULED - DARK BRONZE
- E15 CAST STONE COPING AS SCHEDULED
- E18 CMU WALL
- E19 MECH. SCREEN - REFER DETAILS ON A505
- E20 GALV. STL. GUARDRAIL
- E22 SOLAR PANEL
- E23 IPE WOOD CLAD PRIVACY PARTITION
- E26 CAST STONE SILL AS SCHEDULED
- E28 PREFIN. MTL. GUTTER - PAC CLAD SIERRA TAN
- E31 NEW ALUM. WINDOW AS SCHEDULED IN EXISTING OPENING - CHAMPAGNE ANODIZED FINISH
- E34 ALUM. LOUVER, SEE WINDOW SCHEDULE
- E35 ALUM. WINDOW, SEE WINDOW SCHEDULE
- E43 PTD. STL. ANGLE & CABLE GREEN SCREEN, SEE DETAILS ON A512
- E44 LIGHT FIXTURE, SEE RCPS
- E46 PREFIN. MTL. DOWNSPOUT
- E47 PTD. STL. EDGING @ GREENROOF - REFER DETAIL 3/A54
- E48 PTD. STL. POST - SEE STRUCTURAL
- E49 NEW TEXTURED ELASTOMERIC FINISH OVER EXISTING/ NEW MASONRY AND CONCRETE, MATCH COLOR OF EXISTING ADJACENT STONE Section E
- E51 PTD FIN EXT GWB SOFFIT ON MTL. HAT CHANNELS ON NON-METALLIC GIRTS - SEE 6/A202
- E52 OVERFLOW SCUPPER - SEE DETAILS



1 NORTH FACADE - BUILDING ELEVATION
A201 1/8" = 1'-0" REF: 2/A154

2 WEST FACADE - BUILDING ELEVATION
A201 1/8" = 1'-0"

ELEVATION NOTES

1. REFER TO THE A806 SERIES DRAWINGS FOR EXTERIOR MATERIAL SCHEDULE.
2. ALL WINDOW CONTROL HARDWARE TO BE MIN. 15" AFF AND MAX. 48" AFF.
3. TEMPERED GLASS TO BE PROVIDED IN ALL WINDOWS WHERE THE BOTTOM OF THE GLASS IS LESS THAN 18" ABOVE THE ADJACENT FLOOR, IN DOORS, ADJACENT TO DOORS AND ELSEWHERE AS REQUIRED BY THE BUILDING CODE. SEE D200 SEC. 2406.
4. PROVIDE LOUVERS WHERE SHOWN. LOUVERS SHALL BE 4" DEEP 50% FREE AREA. PROVIDE INSULATED BLANKING PANELS ON RETAIL FRONTAGE. GARAGE OUTSIDE AIR LOUVERS SHALL BE HAVE INSECT MESH. LOUVERS IN PLUNCHED OPENINGS ARE SHOWN IN THE LOUVER SCHEDULE ON DRAWING A8...
5. ROOF AND ACCESSORIES SHALL BE ASSEMBLED IN ACCORDANCE WITH SIMACNATRE #5-09 AND #1-08 AND THE SIMACNA MANUAL TO ES-1-2003 FOR THE WIND UPLIFTLLOADS INDICATED ON STRUCTURAL DRAWINGS
6. PROVIDE EXPANSION JOINTS IN BRICKWORK AS FOLLOWS: INTERNAL CORNERS AND AT A MINIMUM OF 20' O.C. VERTICALLY. PROVIDE A VERTICAL EXPANSION JOINT ON AT LEAST ONE SIDE OF WINDOW/DOOR OPENINGS
7. PROVIDE SCREENS AT ALL OPERABLE WINDOW UNITS.

AIRDOME, LLC

3400 IDAHO AVENUE, N.W., #500
WASHINGTON, D.C. 20016



717 5TH STREET NW WASHINGTON, DC 20001

STRUCTURAL
EHLERT BRYAN
8609 WESTWOOD CENTER DRIVE, SUITE 800
TYSONS, VA 22182

CIVIL/LANDSCAPE
BOWMAN CONSULTING GROUP, LTD
888 17TH ST NW, SUITE 510
WASHINGTON, DC 20006

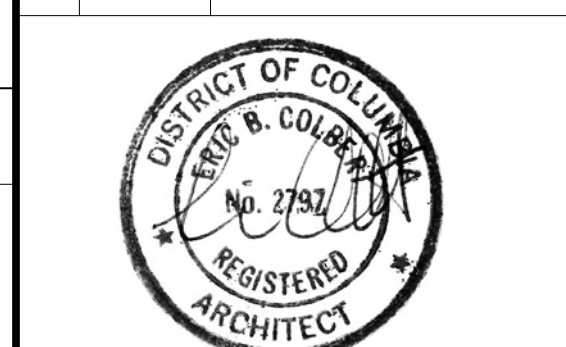
MEP
SUMMIT ENGINEERS, INC
5307 LEE HWY
ARLINGTON, VA 22207

LEED
SUSTAINABLE DESIGN CONSULTING
1432 K STREET NW, 3RD FLOOR
WASHINGTON, DC 20005

1101 H STREET
NE

1101 H ST NE, WASHINGTON,
DC 20002

JOB NO.	DATE	DESCRIPTION
2	10/05/21	DESIGN DEVELOPMENT
3	01/01/21	PERMIT SUBMISSION
4	9/22/21	PERMIT
5	11/22/21	PERMIT
6	9/29/21	100% CD
7	02/03/22	PERMIT SUBMISSION



STAMP
BUILDING ELEVATIONS

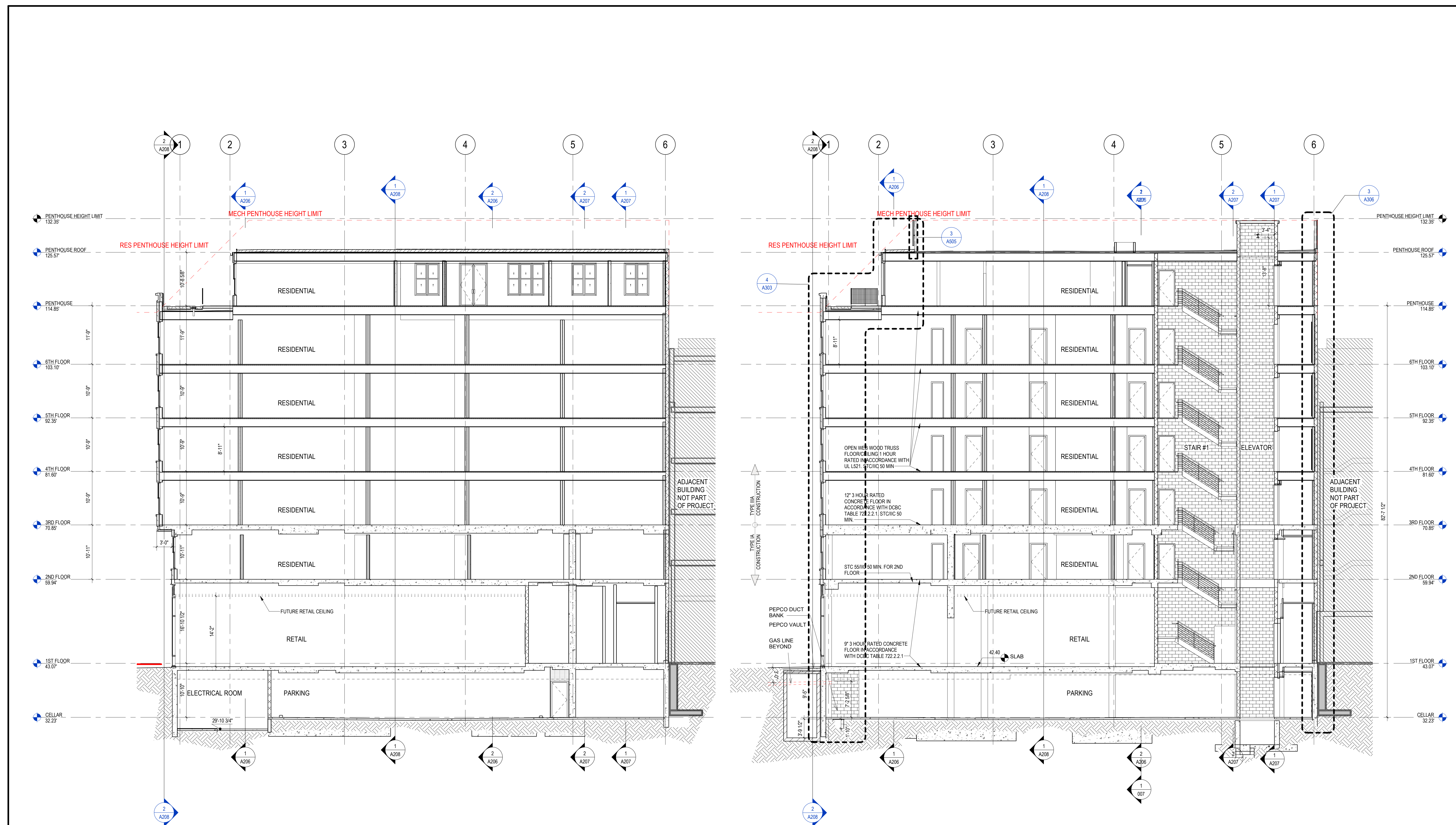
DRAWING TITLE
SCALE: 1/8" = 1'-0"
A201
SHEET NO.

JOB NO.	DATE	DESCRIPTION
2	10/05/21	DESIGN DEVELOPMENT
3	01/01/21	PERMIT SUBMISSION
4	02/22/21	PERMIT
5	11/22/21	PERMIT
6	09/29/21	100% CD
7	02/03/22	PERMIT SUBMISSION



STAMP
BUILDING SECTIONS

DRAWING TITLE
SCALE: 1/8" = 1'-0"
A204
SHEET NO.



1 EAST WEST - BUILDING SECTION 1
A204 / 1/8" = 1'-0" REF: 2/A202

2 EAST WEST - BUILDING SECTION 2
A204 / 1/8" = 1'-0" REF: 2/A202

Construction Narrative:

Upper Roofs (Wood Framing):
Fully adhered 0.60 TPO roofing on 1/2" Densdeck Prime on tapered rigid insulation on plywood sheathing. Wood trusses per structural drawings. Fill roof cavity with mineral wool insulation in accordance with NFPA requirements for combustible voids. Install Certainteed Membrain smart vapor barrier above ceiling GWB and seal at perimeter and penetrations (eg light fixtures and electrical devices). Concrete pavers on adjustable pedestals where shown at occupied terraces. Green Roof areas: extensive green roofing systems installed over the roof membrane per the GAR drawings. Mechanical areas: install TPO maintenance strips where required for mechanical equipment maintenance.

Lower Roofs (Concrete slab):
Concrete Pavers on pedestals or intensive green roof ballast over R35 rigid insulation over Hot Fluid Applied roofing membrane (eg Henry 791 system) installed on concrete slab.

Penthouse walls:
JamesHardie Reveal2.0 Panel Vertical Siding with countersunk screws on 1/16" EPDM over 2" vertical non-metallic Z-girls over fluid applied vapor permeable air-weather barrier (eg Henry Air-Bloc 33MR with Blueskin Breather transition flashings) sheathing on FRT wood framing per structural drawings. Install 1" continuous mineral wool insulation in cavity. Fill wall framing cavity with R21 high density fiberglass batt insulation. Line interior with 5/8" GWB paint finished, two layers of GWB required at rated exterior walls.

Upper building walls (wood framing):
1 hour rated 5/8" STC/IC 50 Minimum. Floor finish (engineered wood typically, ceramic tile at bathrooms) over 1" Gypcrete over 3/8" SRM on span-rated 3/4" ply sheathing over engineered wood truss system per structural drawings. Fill cavity with mineral wool insulation in accordance with NFPA 13 requirements for combustible voids. Paint finished 5/8" type X GWB ceiling on resilient channels at 12" o.c.

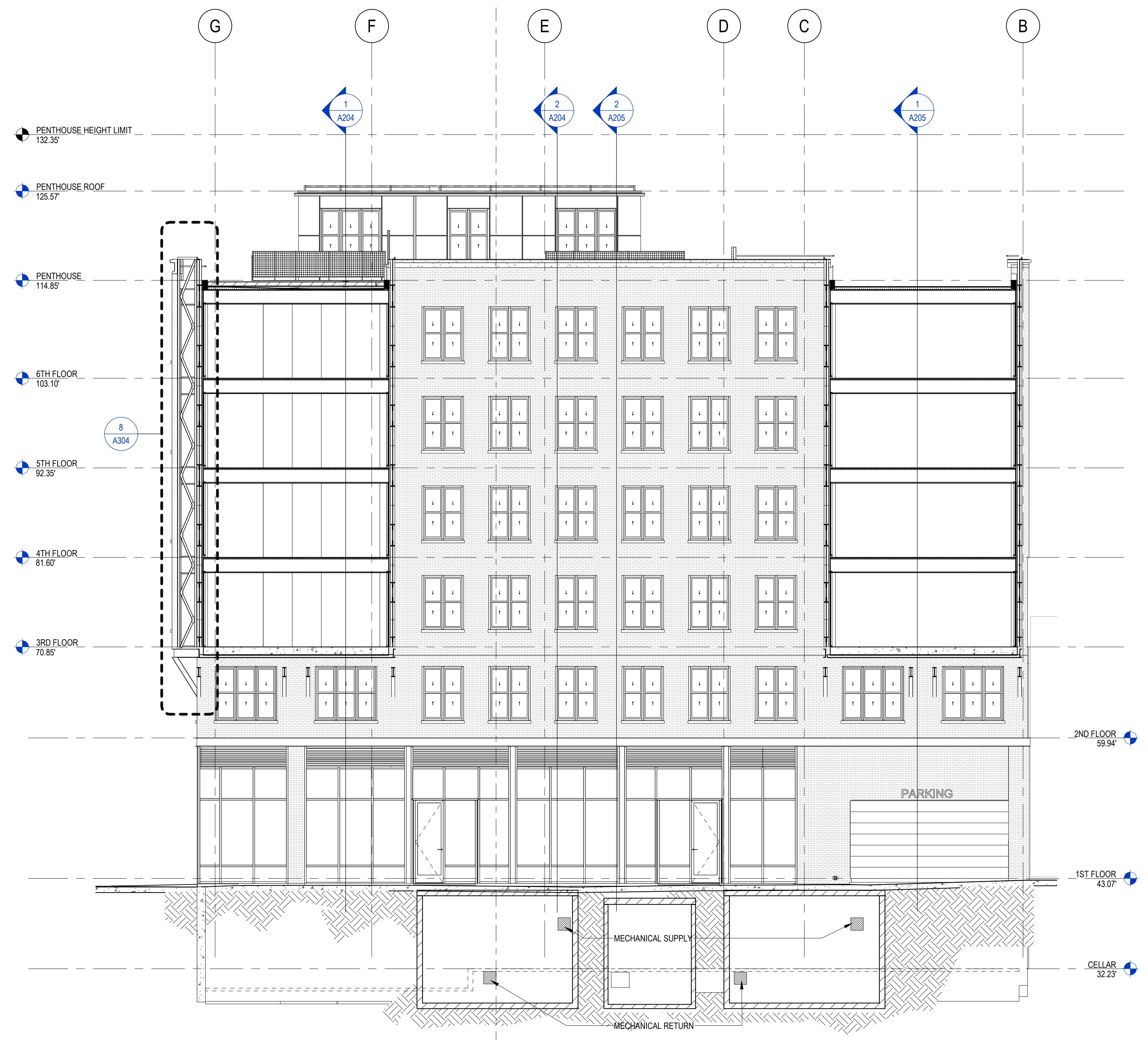
Lower building walls (light gauge steel framing):
Brick on sst brick ties, supported by galv shelf angles attached to concrete structure. Galv loose lintel headers at openings with lipped brick. Approx. 3" cavity with 1" continuous mineral wool insulation, fluid applied vapor permeable air-weather barrier (eg Henry Air-Bloc 33MR with Blueskin Breather transition flashings) on reinforced gypsum sheathing over sheathing on light gauge framing per structural drawings. Fill wall framing cavity with R21 high density fiberglass batt insulation. Line interior with 5/8" GWB paint finished. Bay Projection soffits: Paint finished exterior GWB

Windows: thermally broken commercial powder coated aluminum single-hung windows with nailing fin.

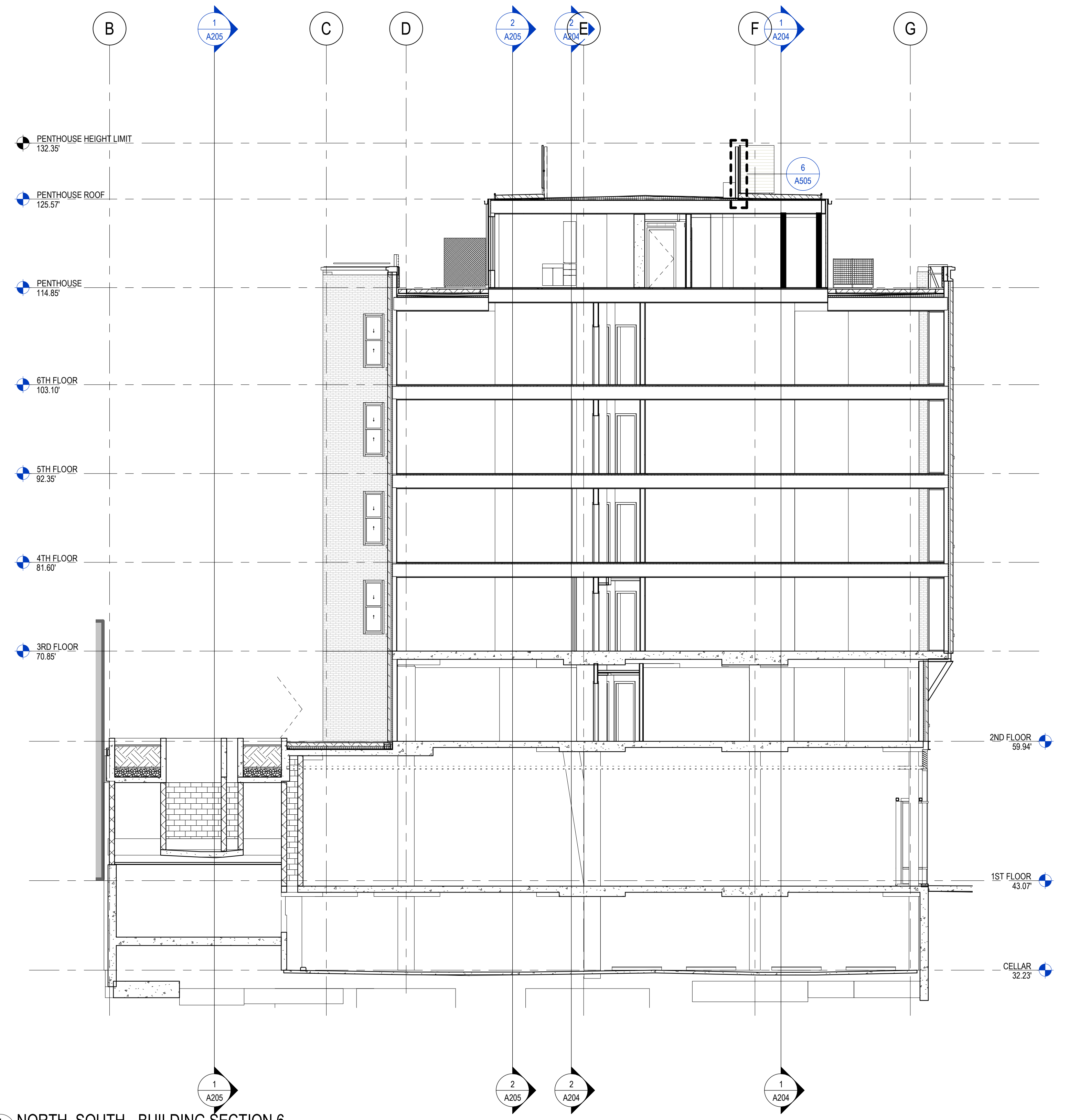
Retail tenancies: Cold dark shell. Powder coated glazed thermally broken curtain wall installed between brick veneer as described in 'Lower Building Walls' or existing openings. Metal panel cladding at first floor existing building where original brick has been removed.

Upper Building Floor/Ceiling systems (wood truss floor framing):
1 hour rated 5/8" STC/IC 50 Minimum. Floor finish (engineered wood typically, ceramic tile at bathrooms) over 1" Gypcrete over 3/8" SRM on span-rated 3/4" ply sheathing over engineered wood truss system per structural drawings. Fill cavity with mineral wool insulation in accordance with NFPA 13 requirements for combustible voids. Paint finished 5/8" type X GWB ceiling on resilient channels at 12" o.c.

Lower Building floor/Ceiling systems for residential areas (concrete slab floors):
3 hour rated STC/IC 50 minimum. Floor/ceiling between First Floor retail tenancies and residential units shall be STC 55 and field tested to STC 50. Engineered wood and underlay finish with delta IIC rating of 25; ceramic tile installation system with delta IIC of 20. Lowered gwb ceilings with paint finish on suspended light gauge ceiling framing system where indicated, exposed concrete ceilings skim coated and paint finished.



2 NORTH SOUTH - BAY PROJECTIONS
A208 1/8" = 1'-0" REF: 11A01



1 NORTH SOUTH - BUILDING SECTION 6
A208 1/8" = 1'-0" REF: 11A01

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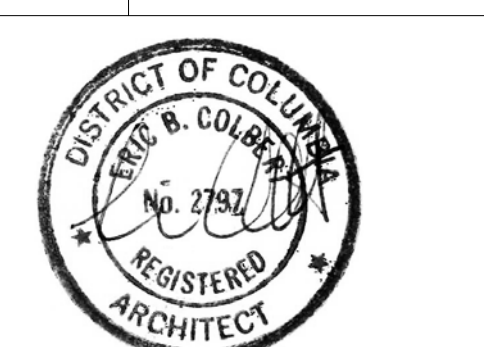
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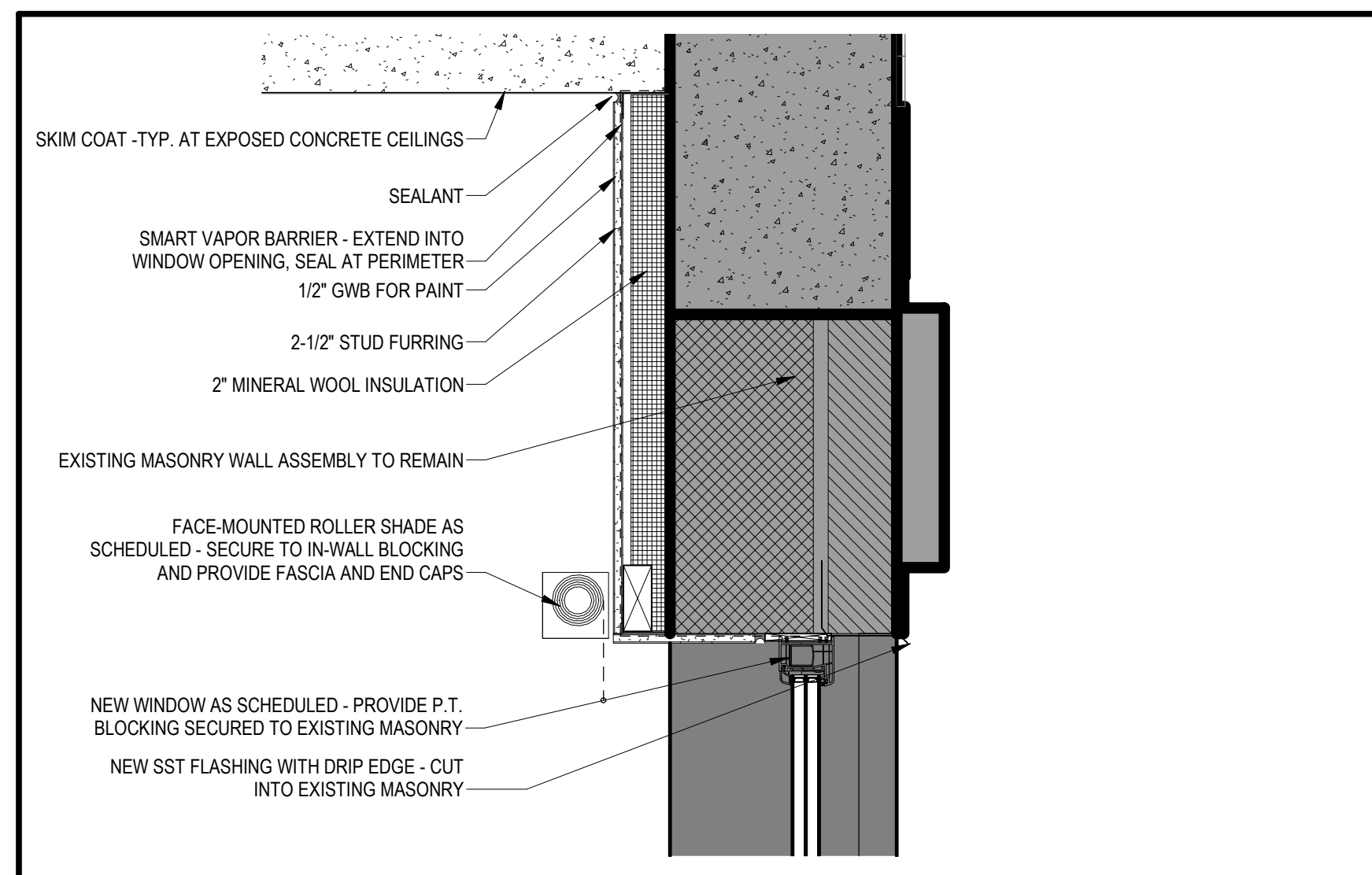
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5	11/22/21	PERMIT
6	9/29/21	100% CD
7	02/03/22	PERMIT SUBMISSION



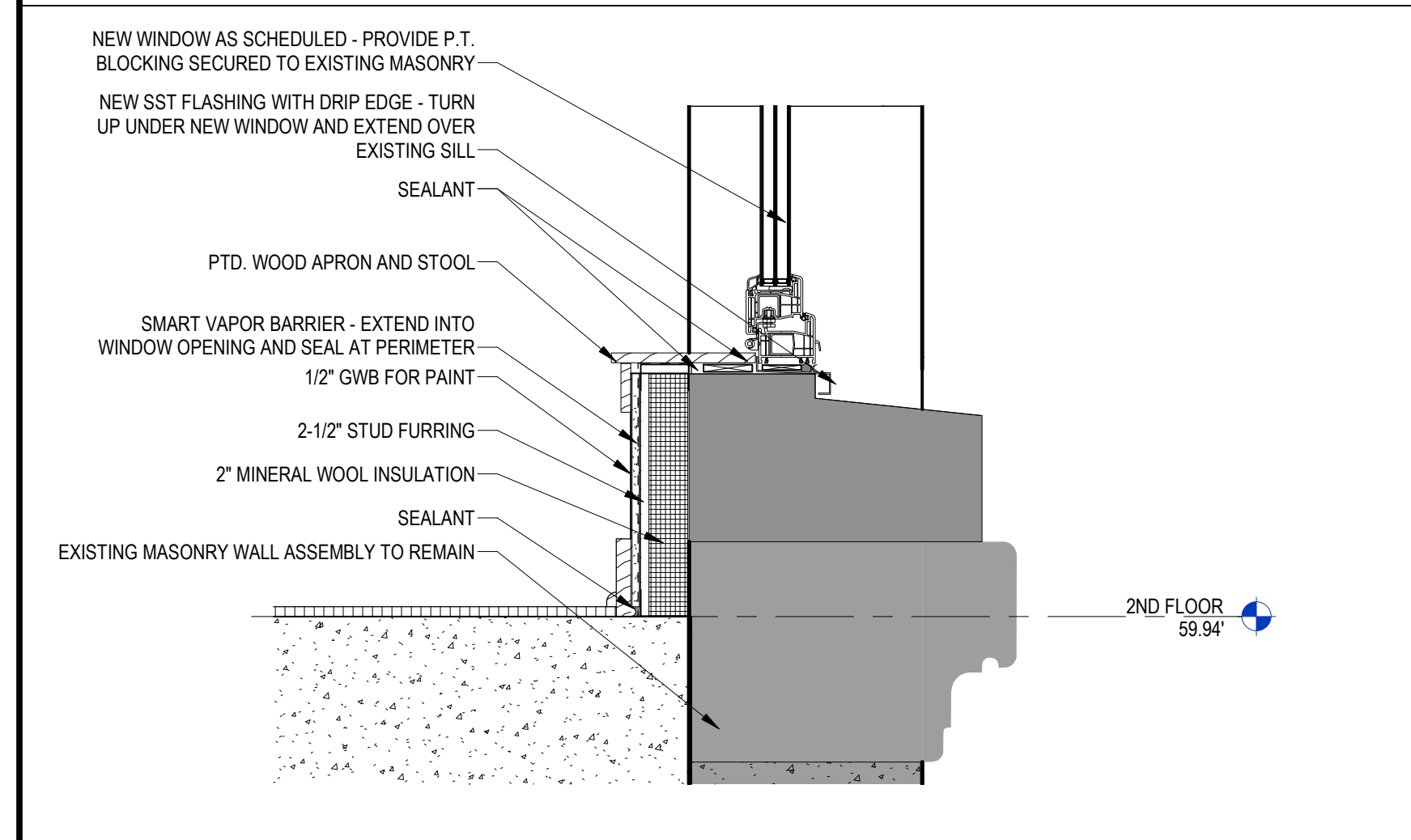
STAMP
BUILDING SECTIONS

DRAWING TITLE
SCALE: 1/8" = 1'-0"

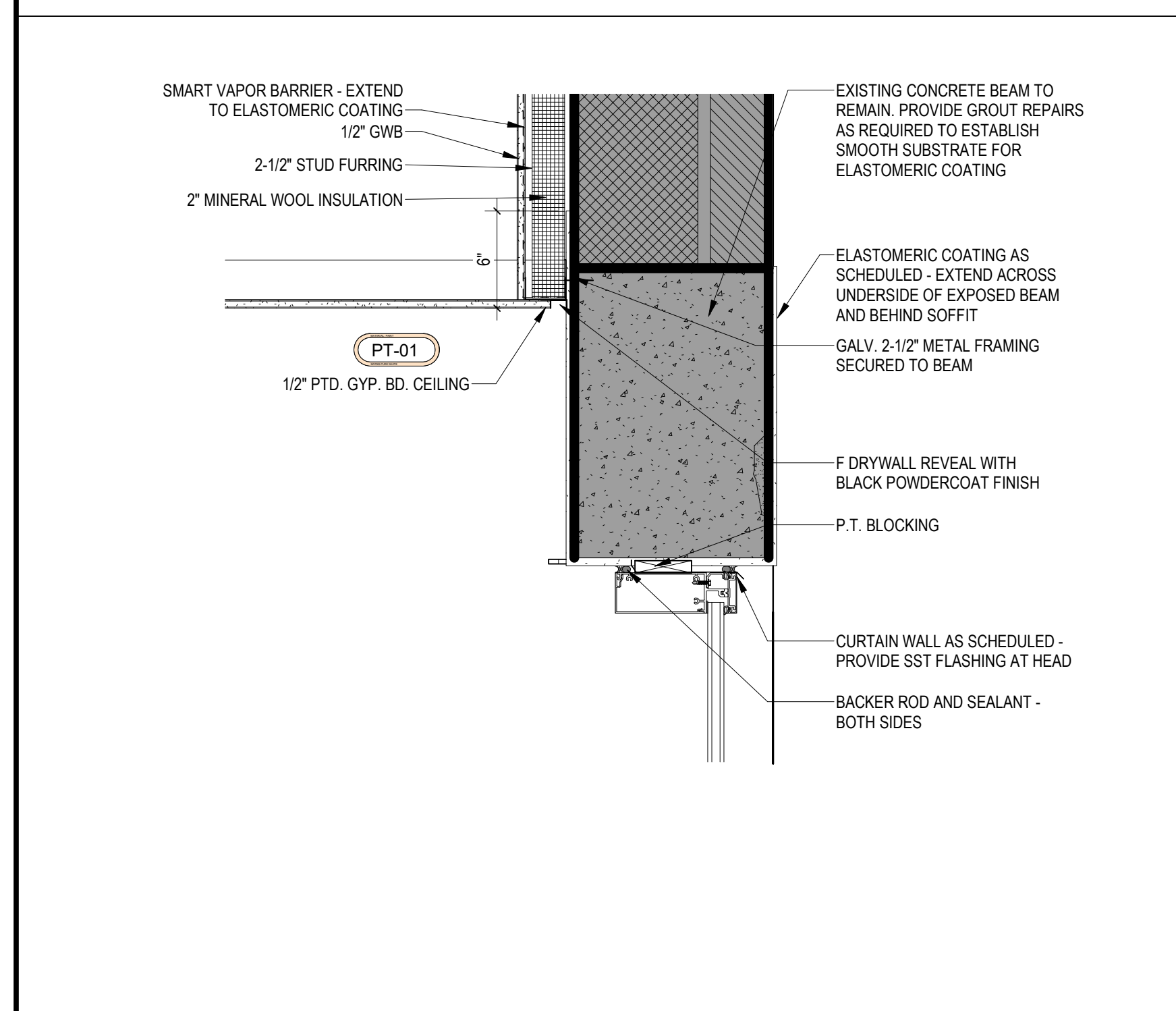
A208



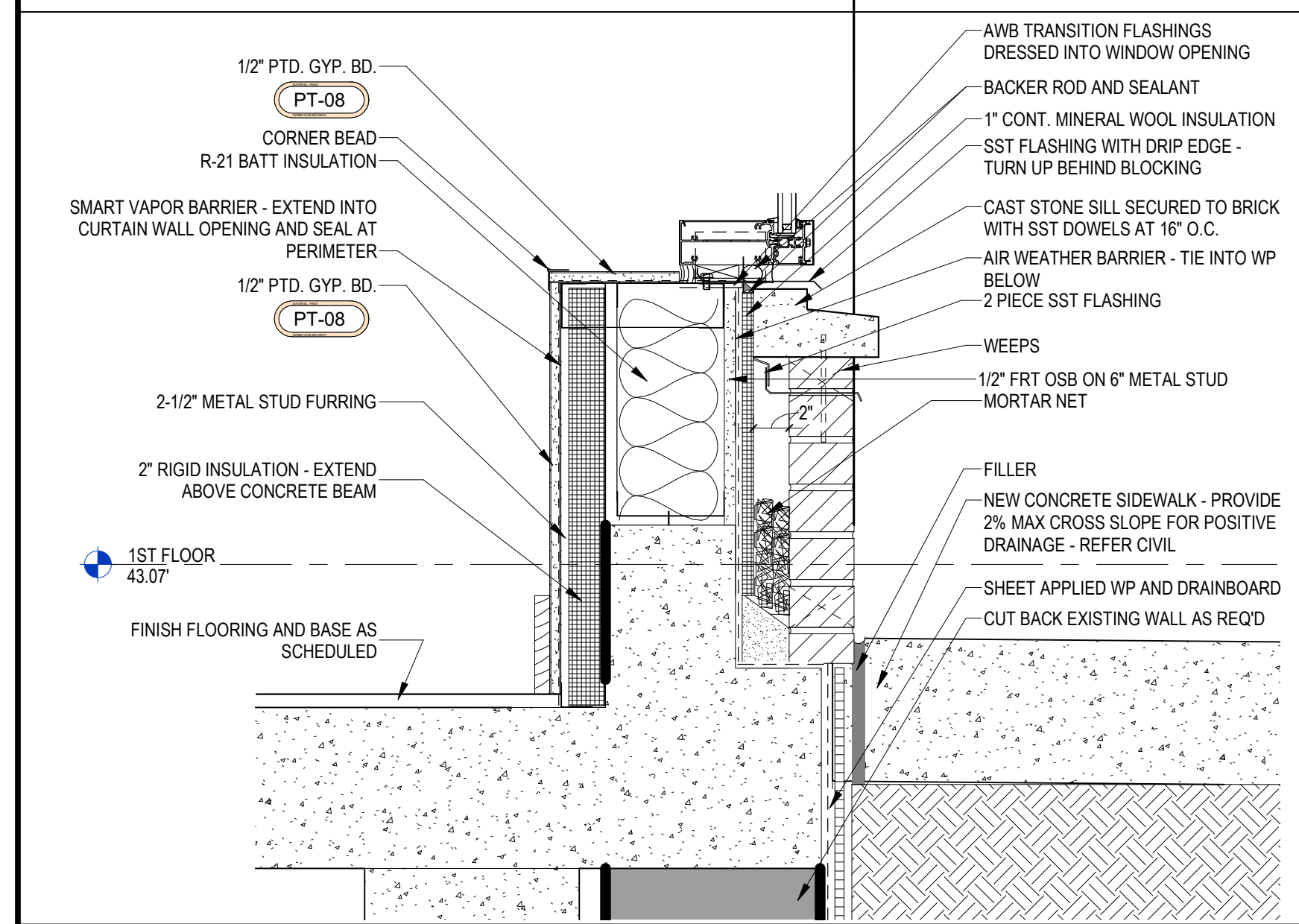
7 TYPICAL WINDOW HEAD @ EXISTING FACADE
A501 / 1 1/2" = 1'-0"



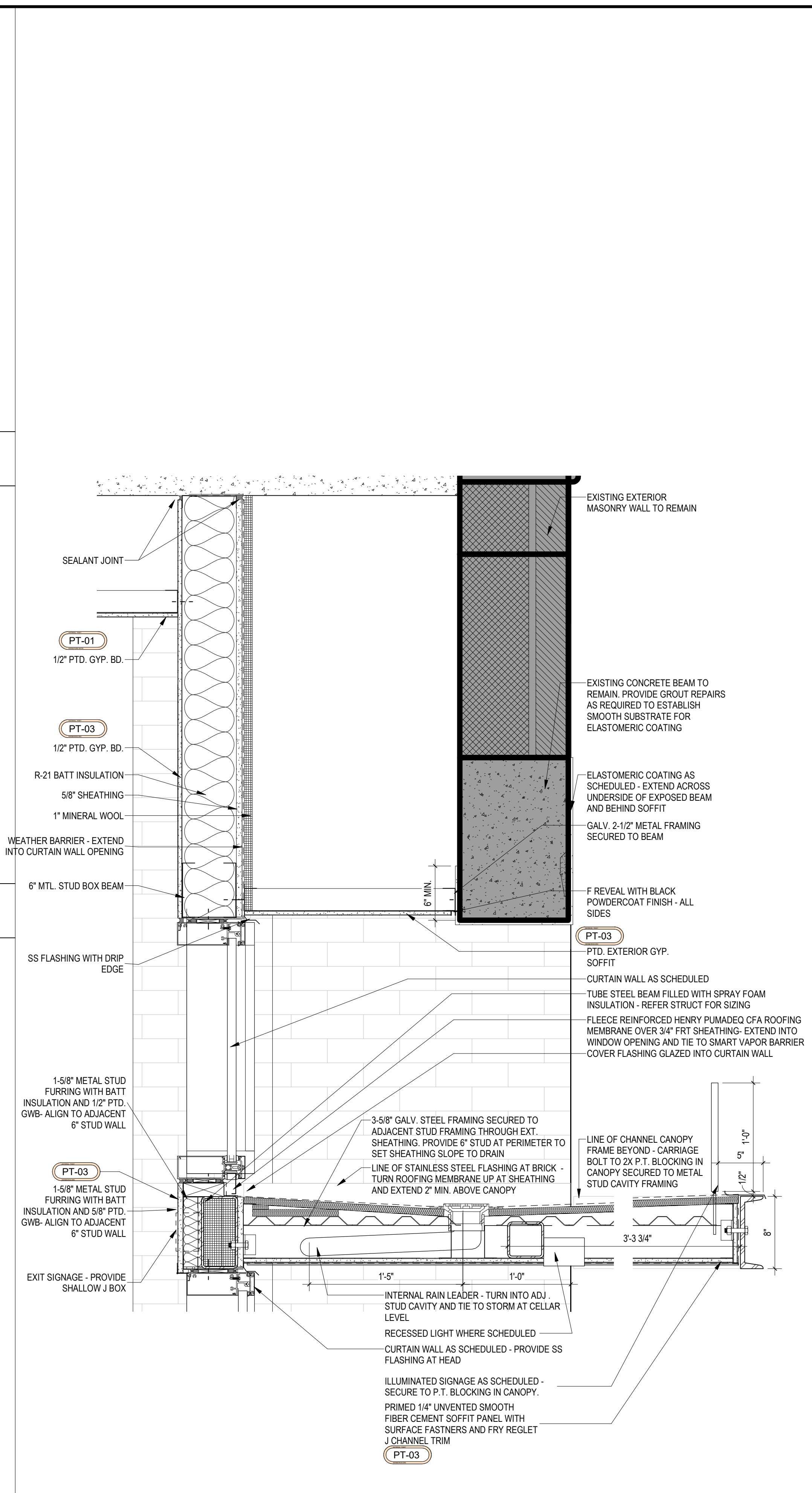
3 TYPICAL WINDOW SILL @ EXISTING FACADE
A501 / 1 1/2" = 1'-0"



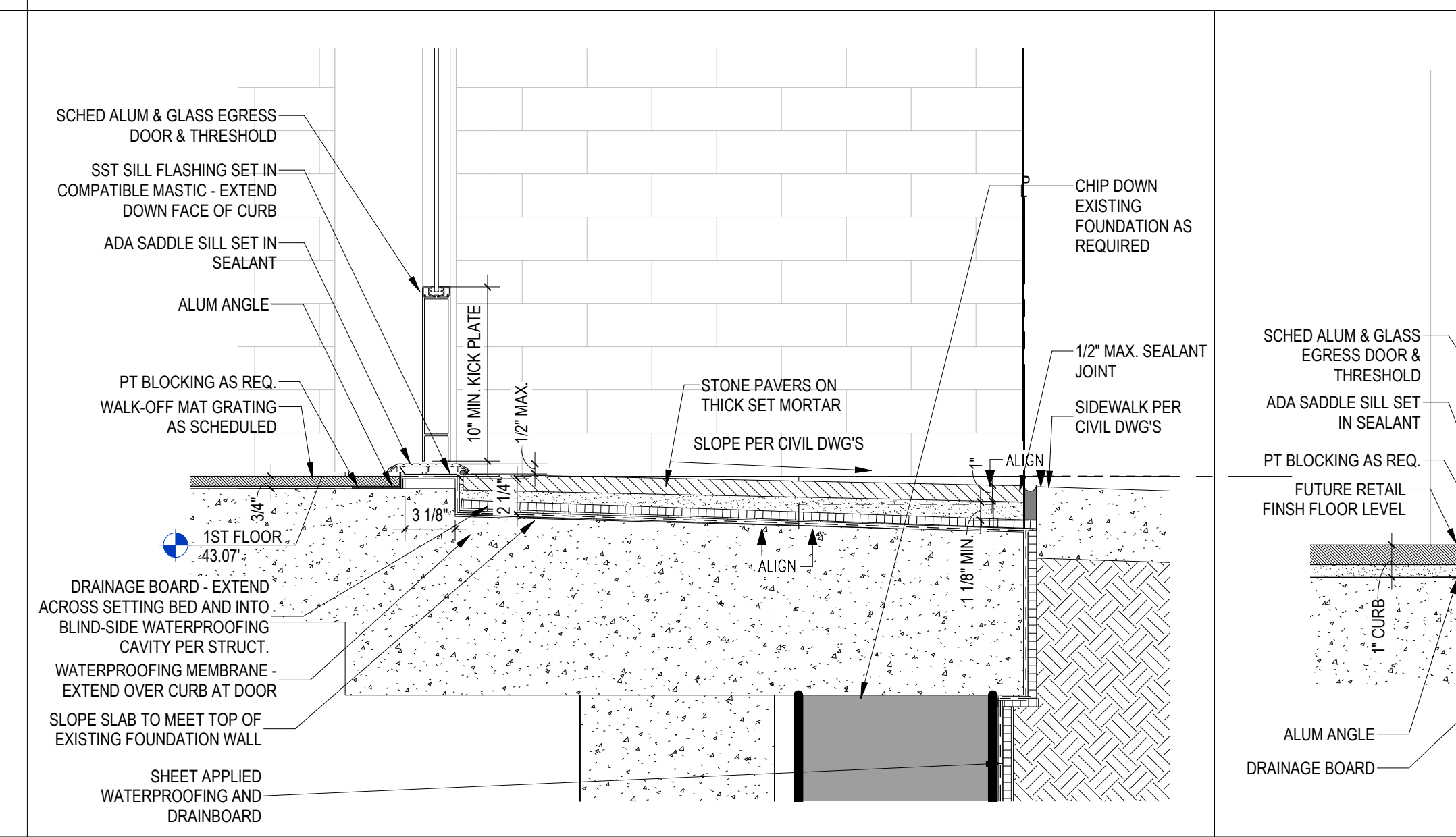
2 STOREFRONT WINDOW HEAD @ EXISTING FACADE
A501 / 1 1/2" = 1'-0"



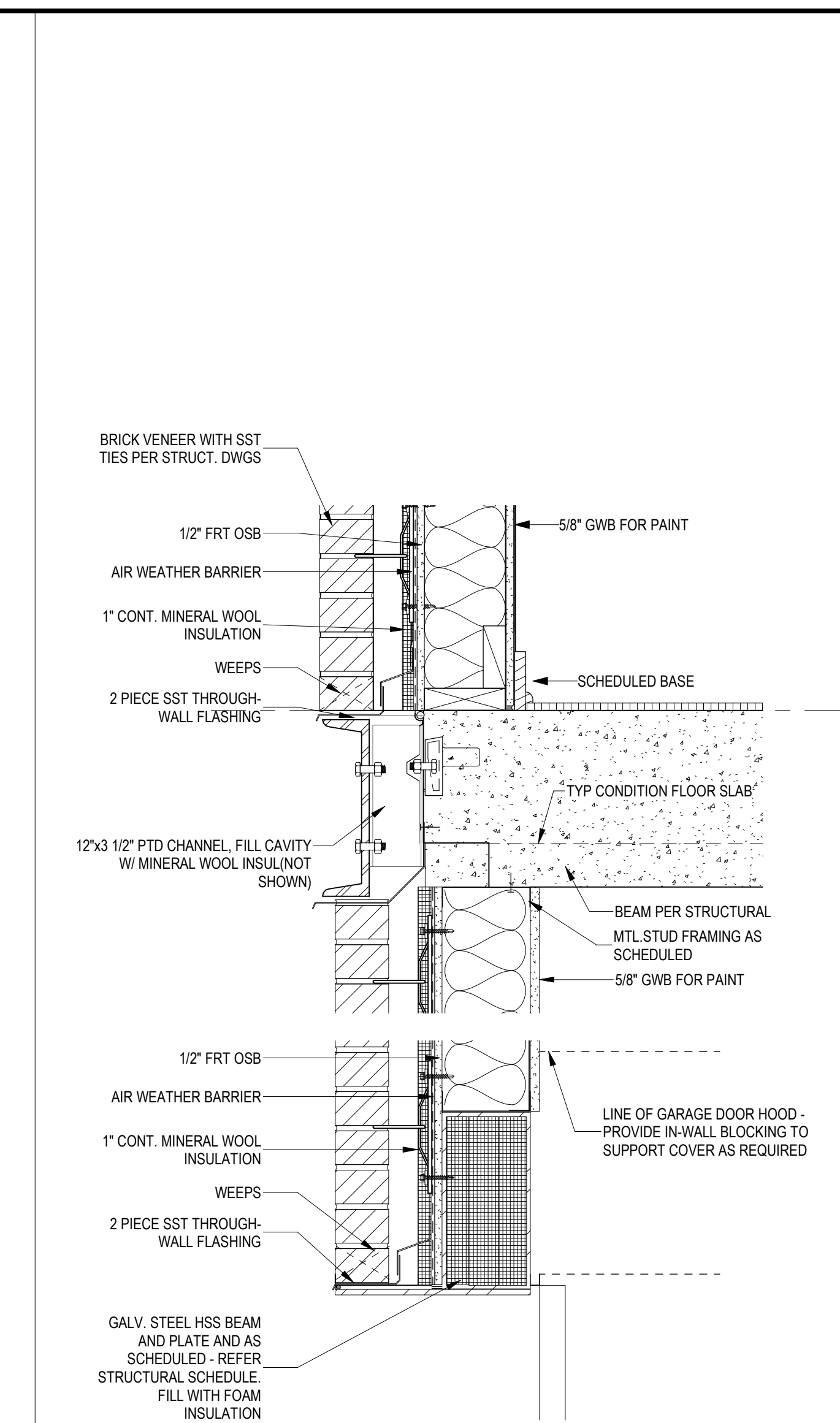
1 STOREFRONT WINDOW SILL @ EXISTING FACADE
A501 / 1 1/2" = 1'-0"



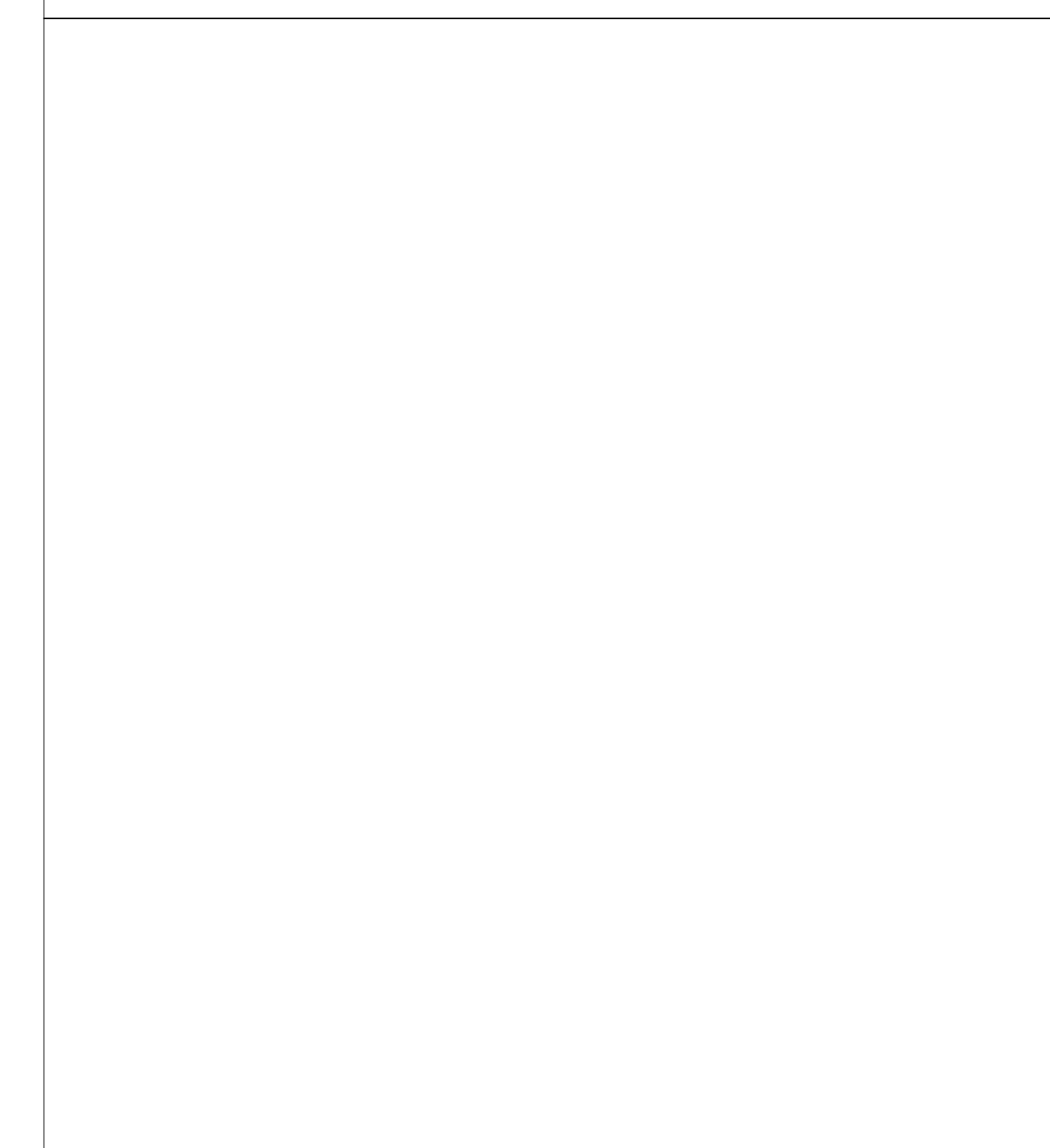
6 A501/6 DETAIL - EXISTING MAIN ENTRY HEAD
A501 / 1 1/2" = 1'-0" REF: 41 A302



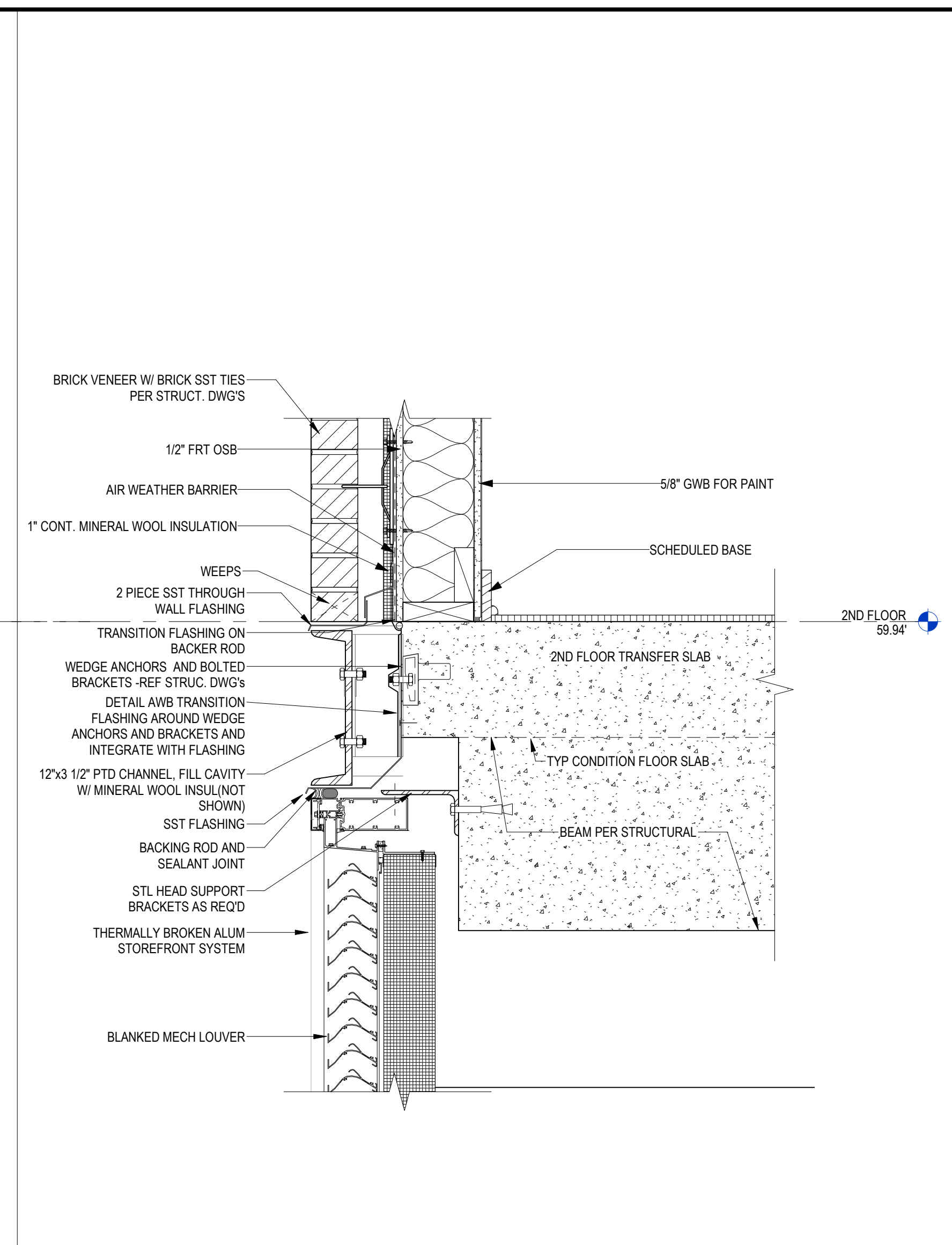
5 A501/5 DETAIL - EXISTING MAIN ENTRY SILL
A501 / 1 1/2" = 1'-0" REF: 41 A302



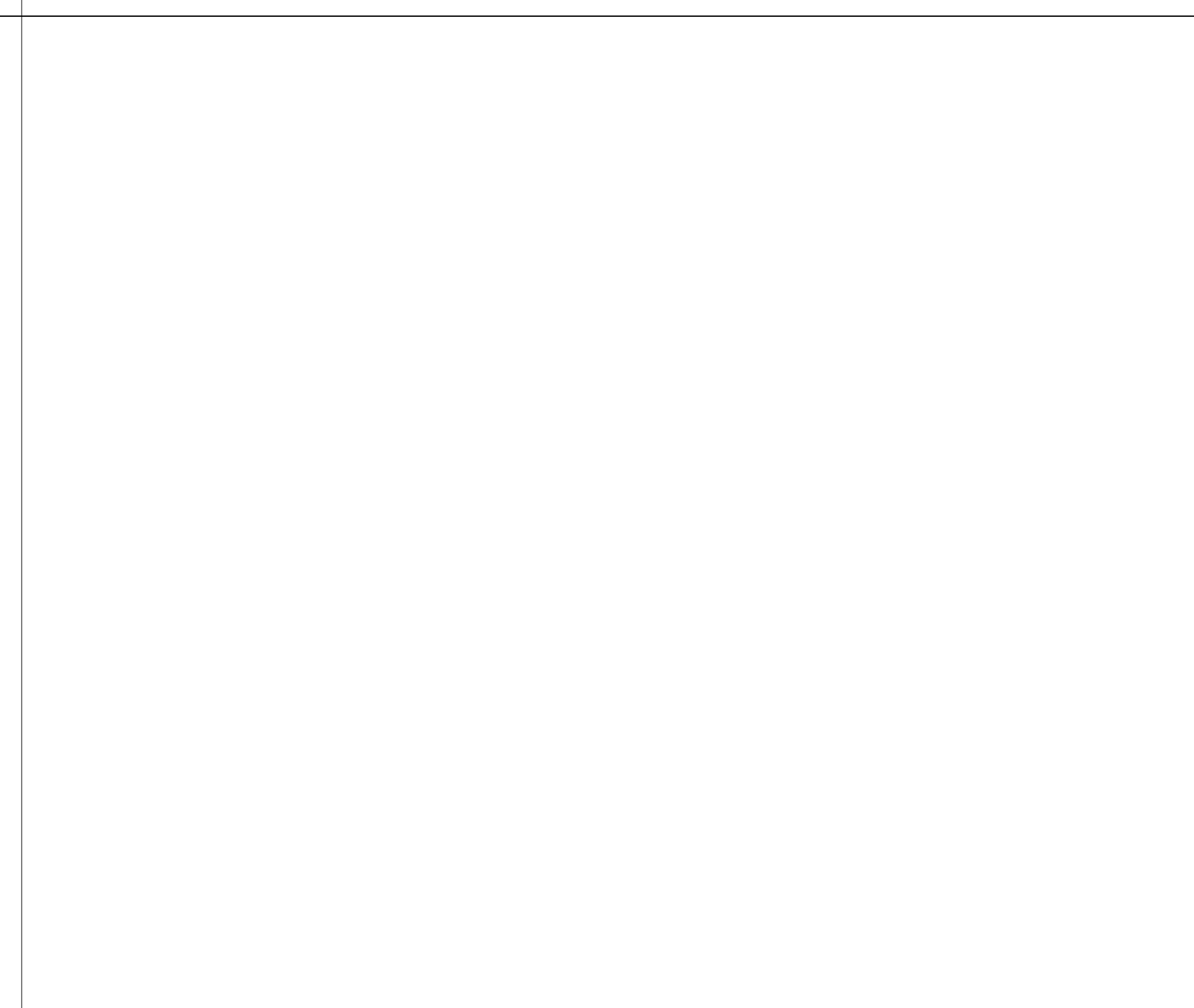
9 A501/9 DETAIL - PARKING ENTRY
A501 / 1 1/2" = 1'-0" REF: 41 A304



10 A501/10 DETAIL - STOREFRONT DOOR SILL
A501 / 1 1/2" = 1'-0" REF: 21 A303



13 DETAIL @ HEAD OF RETAIL STOREFRONT
A501 / 1 1/2" = 1'-0" REF: 21 A303



12 DETAIL - STOREFRONT BASE
A501 / 1 1/2" = 1'-0" REF: 41 A303

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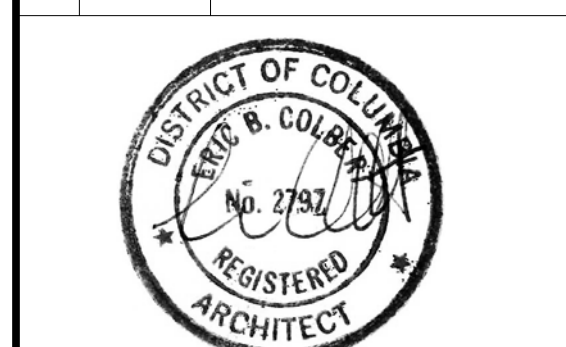
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ERIC COLBERT & ASSOCIATES
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DC 20002

JOB NO.	DATE	DESCRIPTION
3	01/01/21	PERMIT SUBMISSION
4	8/22/21	PERMIT
5	11/22/21	PERMIT
6	9/29/21	100% CD
7	02/03/22	PERMIT SUBMISSION



EXTERIOR SECTION
DETAILS
DRAWING TITLE
SCALE: 1 1/2" = 1'-0"
A501
SHEET NO.

DRAINAGE AREAS:

SELF-CONTAINED WITHIN PRIVATE PROPERTY

EX-1471

Label	Solve For	Discharge (cfs)	Spread (ft)	Gutter Width (ft)	Gutter Cross Slope (ft/ft)
EX-1471	Spread	0.97	6.1	1.01	0.083
Road Cross Slope (ft/ft)	Curb Opening Length (ft)	Opening Height (ft)	Curb Throat Type	Local Depression (in)	Local Depression Width (in)
0.020	8.0	0.5	Horizontal	0.0	0.0
Throat Incline Angle (degrees)	Depth (in)	Gutter Depression (in)	Total Depression (in)	Notes	Messages
90.00	2.2	0.8	0.8		

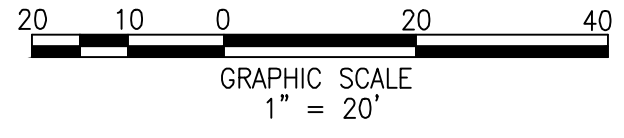
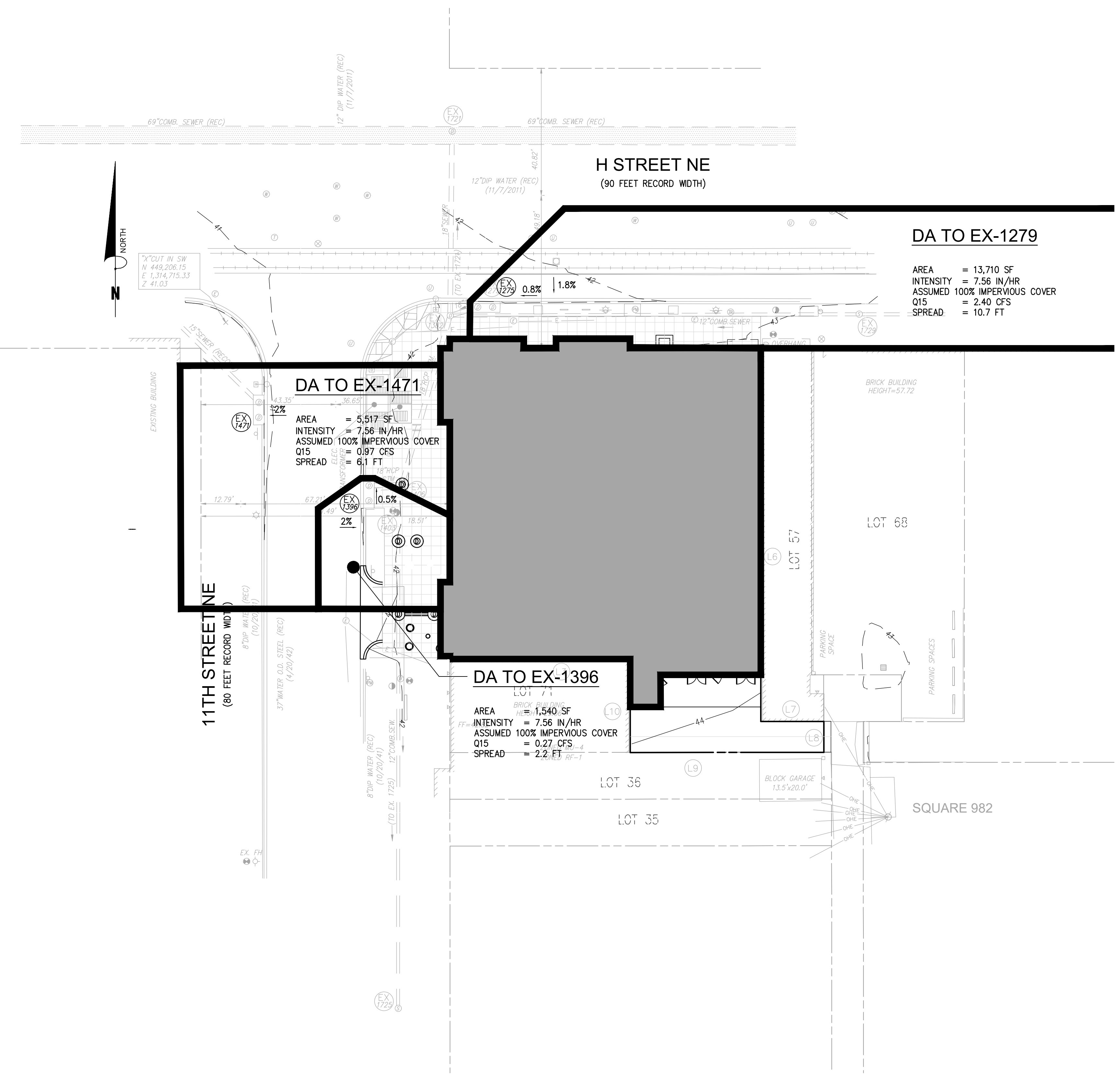
EX-1396 & EX-1279

Label	Solve For	Efficiency (%)	Curb Opening Length (ft)	Local Depression (in)	Local Depression Width (in)
EX-1396	Efficiency	99.99	8.0	0.0	0.0
EX-1279	Efficiency	64.74	8.0	0.0	0.0
Discharge (cfs)	Slope (ft/ft)	Gutter Width (ft)	Gutter Cross Slope (ft/ft)	Road Cross Slope (ft/ft)	Manning Coefficient
0.27	0.050	1.00	0.083	0.020	0.015
2.40	0.008	1.00	0.083	0.018	0.015
Intercepted Flow (cfs)	Bypass Flow (cfs)	Spread (ft)	Depth (in)	Flow Area (ft²)	Gutter Depression (in)
0.27	0.00	2.2	1.3	0.1	0.8
1.55	0.85	10.7	3.1	1.1	0.8
Total Depression (in)	Velocity (ft/s)	Equivalent Cross Slope (ft/ft)	Length Factor	Total Interception Length (ft)	Notes
0.8	3.41	0.079	0.993	8.1	
0.8	2.25	0.036	0.440	18.2	
Messages					

Unfilled 1.mxd 3/3/2022
 Bentley Systems, Inc. Haestad Methods Solution Center
 27 Siemon Company Drive Suite 200 W Watertown, CT 06785 USA +1-203-755-1656
 FlowMaster [10.03.00.03] Page 1 of 1

NOTE

PUBLIC STORM DRAIN EXISTS WITHIN H STREET NE AND 11TH STREET NE. THERE IS NO PUBLIC STORM DRAIN SYSTEM WITHIN THE PRIVATE ALLEY IN THE REAR.



CAUTION!!
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

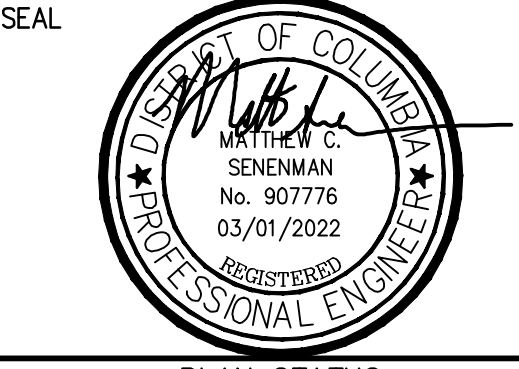
MISS UTILITY
 CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

Bowman

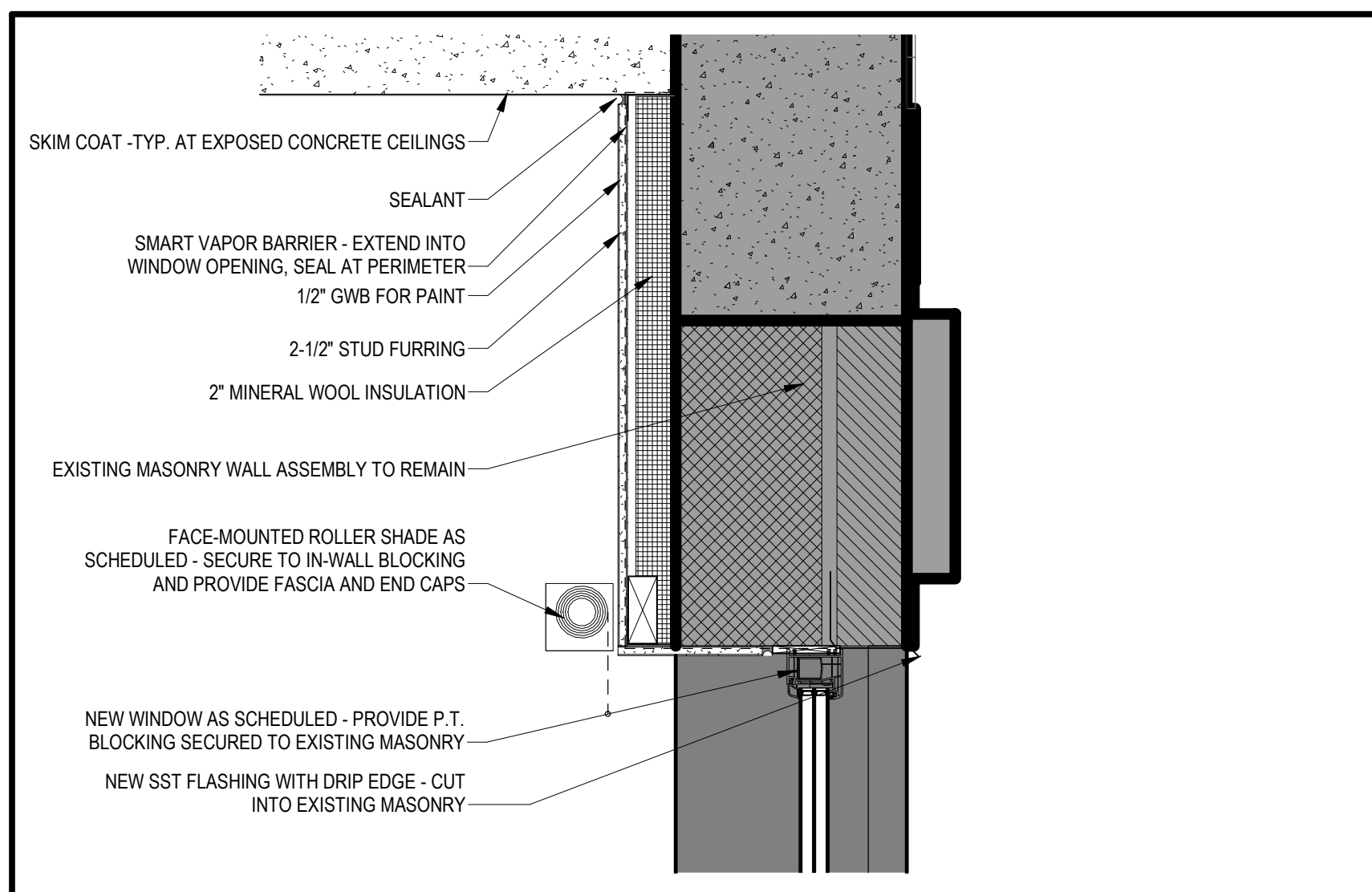
888 17th Street NW, Suite 510
 Washington, DC 20006
 Phone: (202) 750-2474
 www.bowmanconsultingdc.com
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DRAINAGE AREA MAP

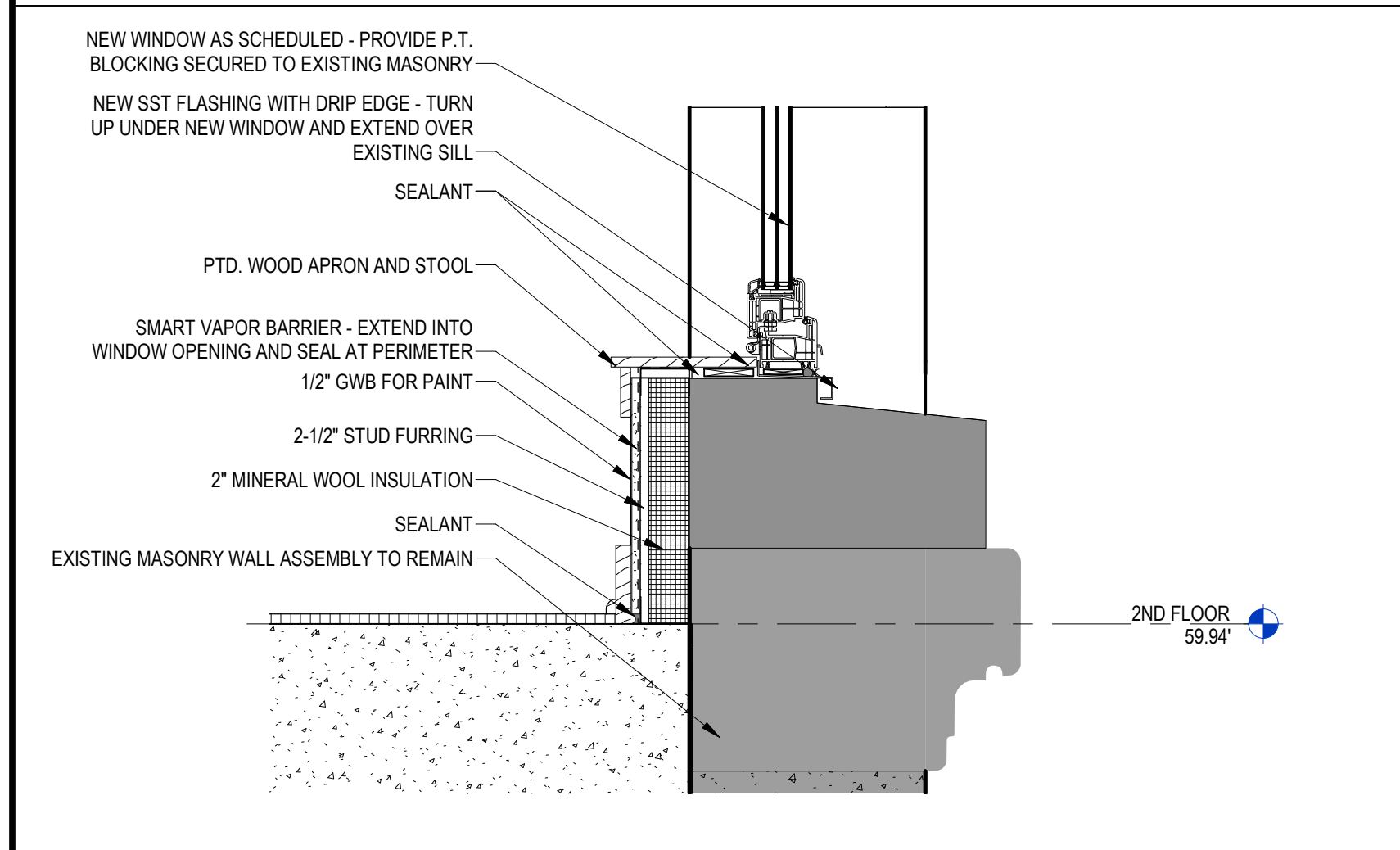
1101 H ST. NE
 CONSTRUCTION DOCUMENTS
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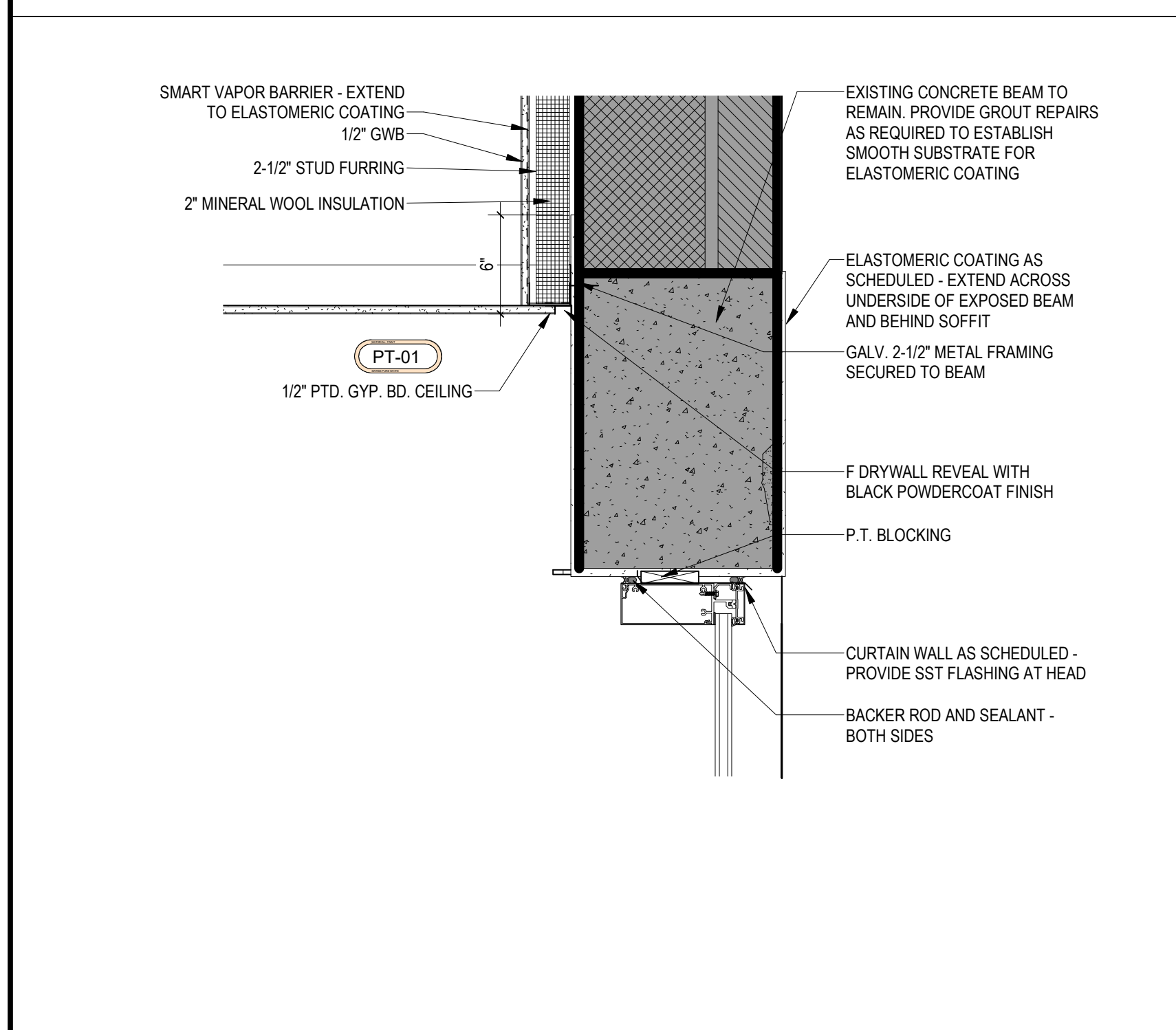
NO.	DATE	DESCRIPTION
2	9/22/21	PERMIT
1	2/24/21	DESIGN DEVELOPMENT
PLAN STATUS		
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SCALE AS SHOWN		
JOB No. 130133-01-001		DATE SEPTEMBER, 2021
FILE No.		
SHEET CIV0200		



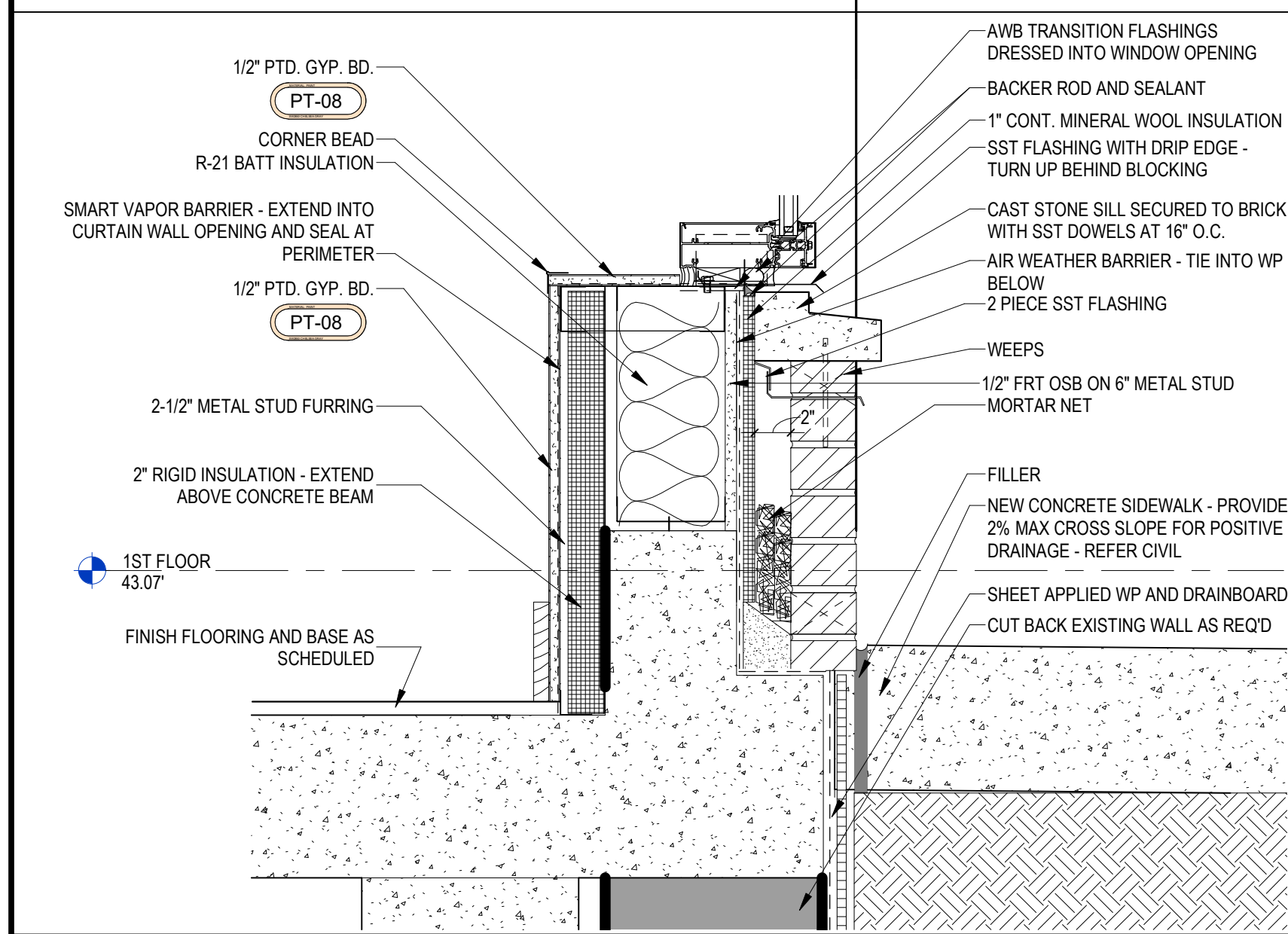
7 TYPICAL WINDOW HEAD @ EXISTING FACADE
A501 1 1/2" = 1'-0"



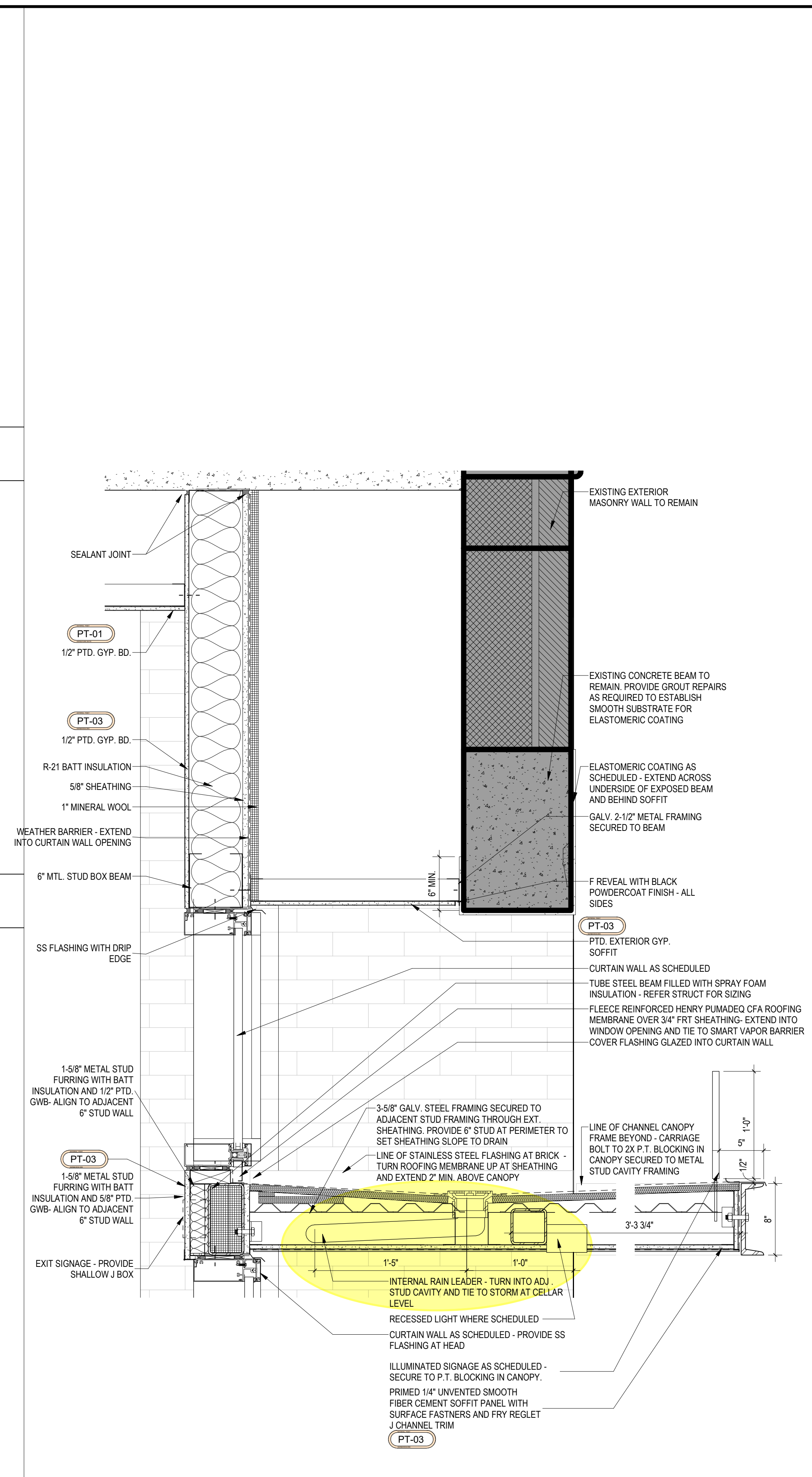
3 TYPICAL WINDOW SILL @ EXISTING FACADE
A501 1 1/2" = 1'-0"



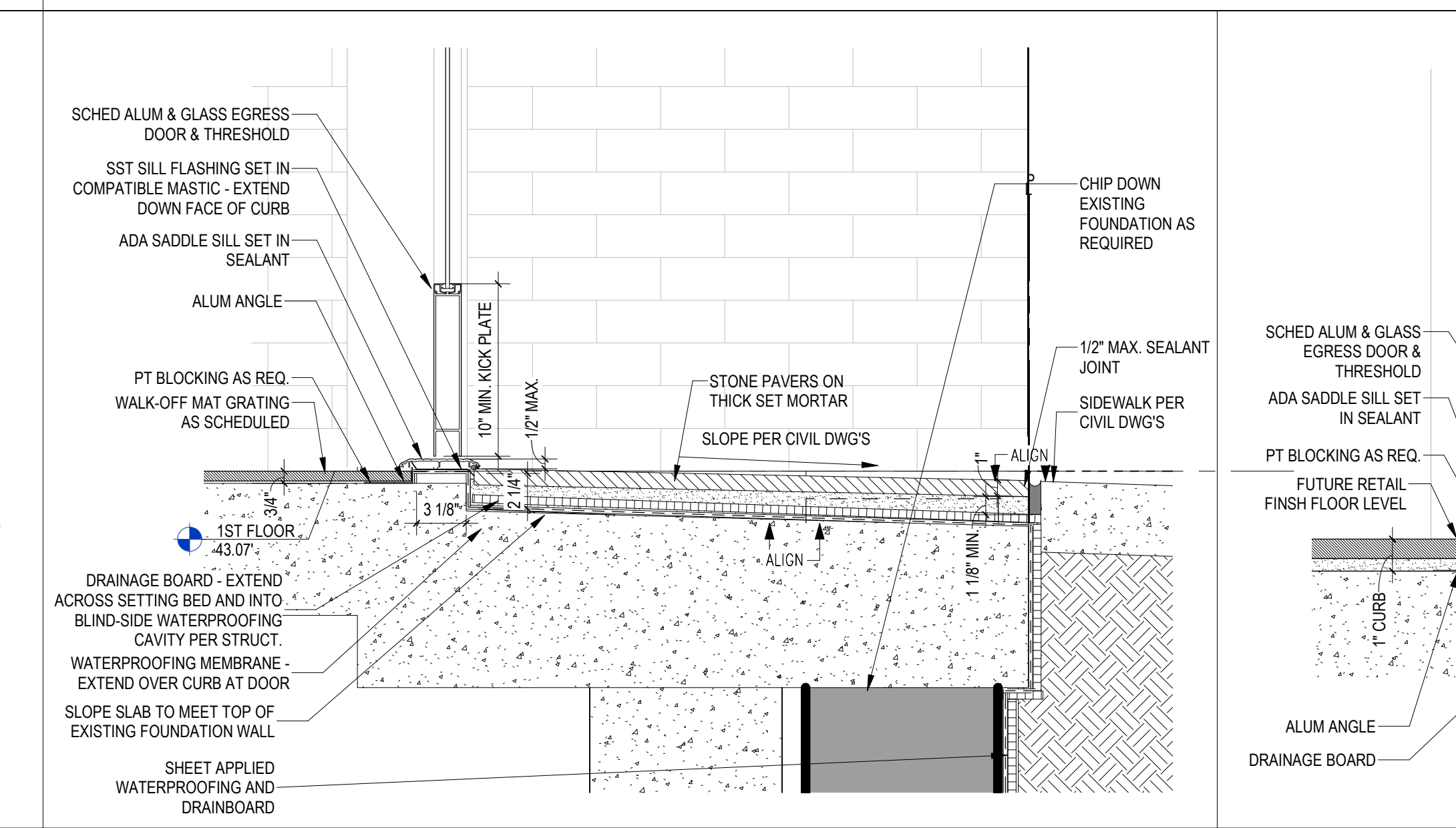
2 STOREFRONT WINDOW HEAD @ EXISTING FACADE
A501 1 1/2" = 1'-0"



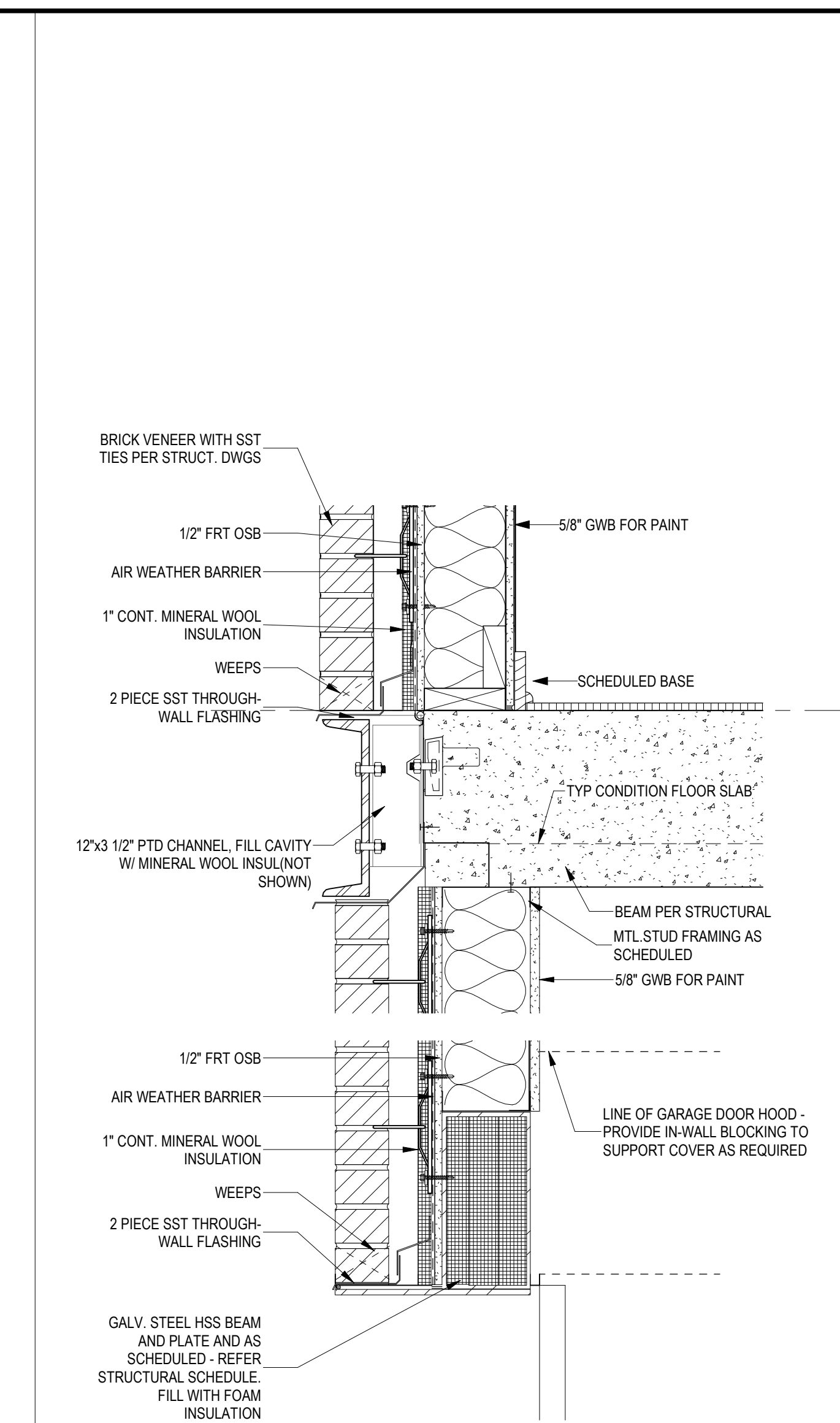
1 STOREFRONT WINDOW SILL @ EXISTING FACADE
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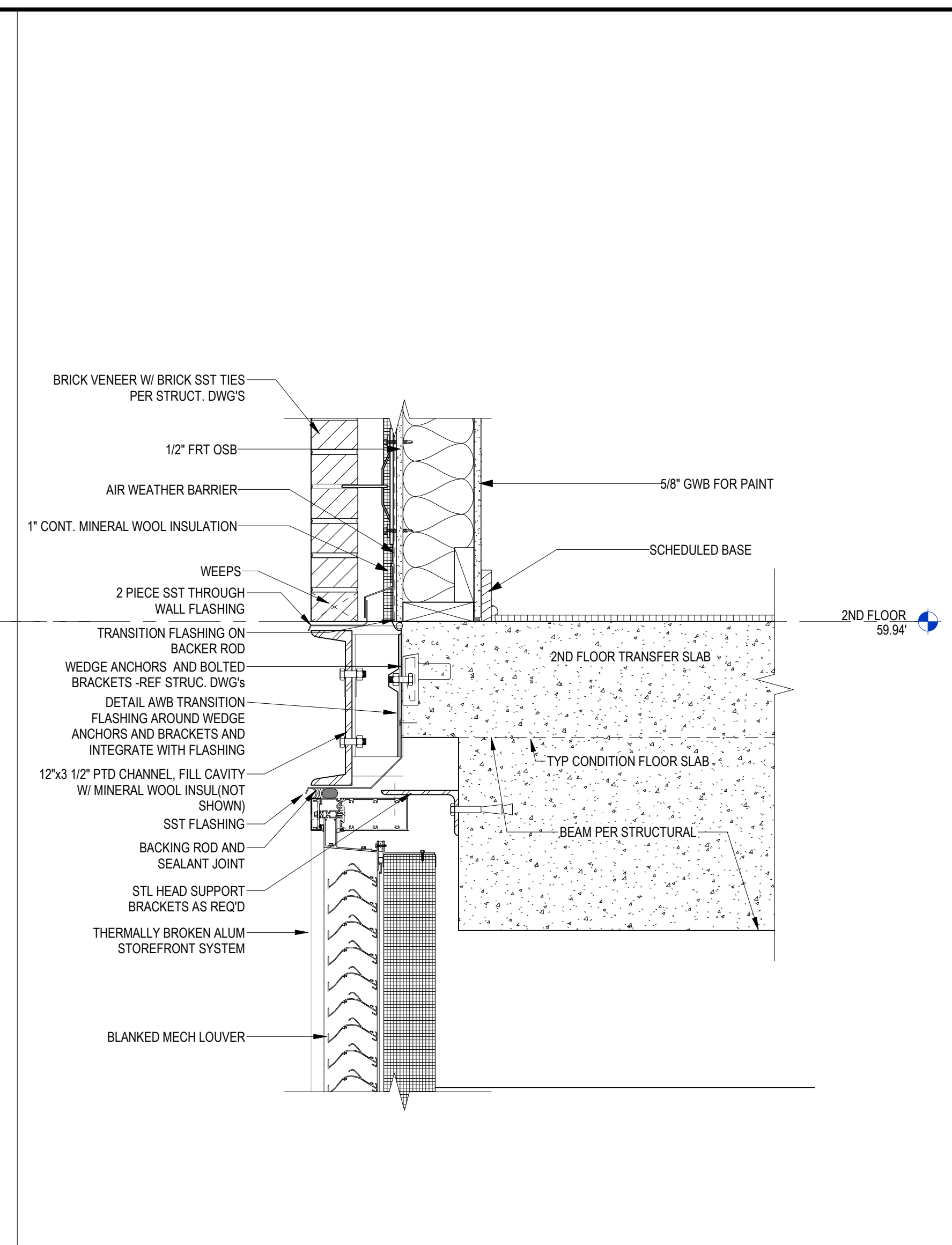
6 A501/6 DETAIL - EXISTING MAIN ENTRY HEAD
A501 1 1/2" = 1'-0" REF: 41 A302



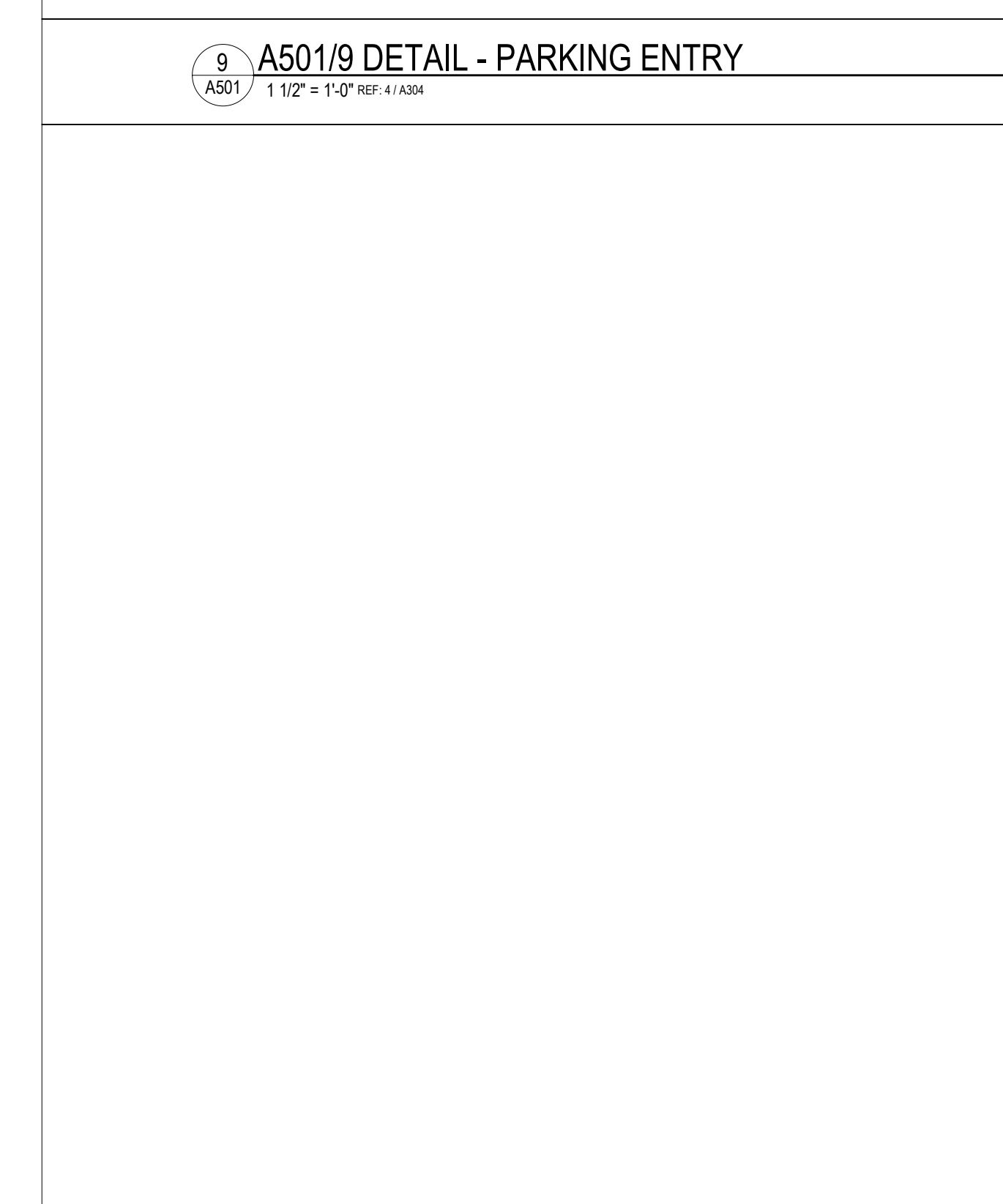
5 A501/5 DETAIL - EXISTING MAIN ENTRY SILL
A501 1 1/2" = 1'-0" REF: 41 A302



9 A501/9 DETAIL - PARKING ENTRY
A501 1 1/2" = 1'-0" REF: 41 A304



13 DETAIL @ HEAD OF RETAIL STOREFRONT
A501 1 1/2" = 1'-0" REF: 21 A303



10 A501/10 DETAIL - STOREFRONT DOOR SILL
A501 1 1/2" = 1'-0" REF: 21 A303



12 DETAIL - STOREFRONT BASE
A501 1 1/2" = 1'-0" REF: 41 A303

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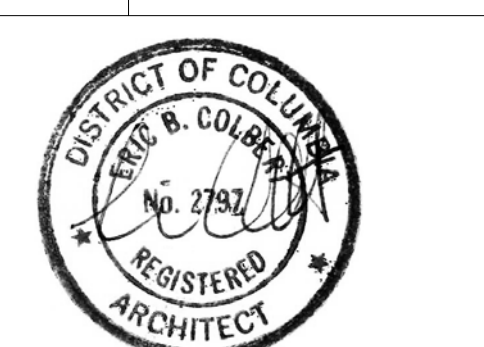
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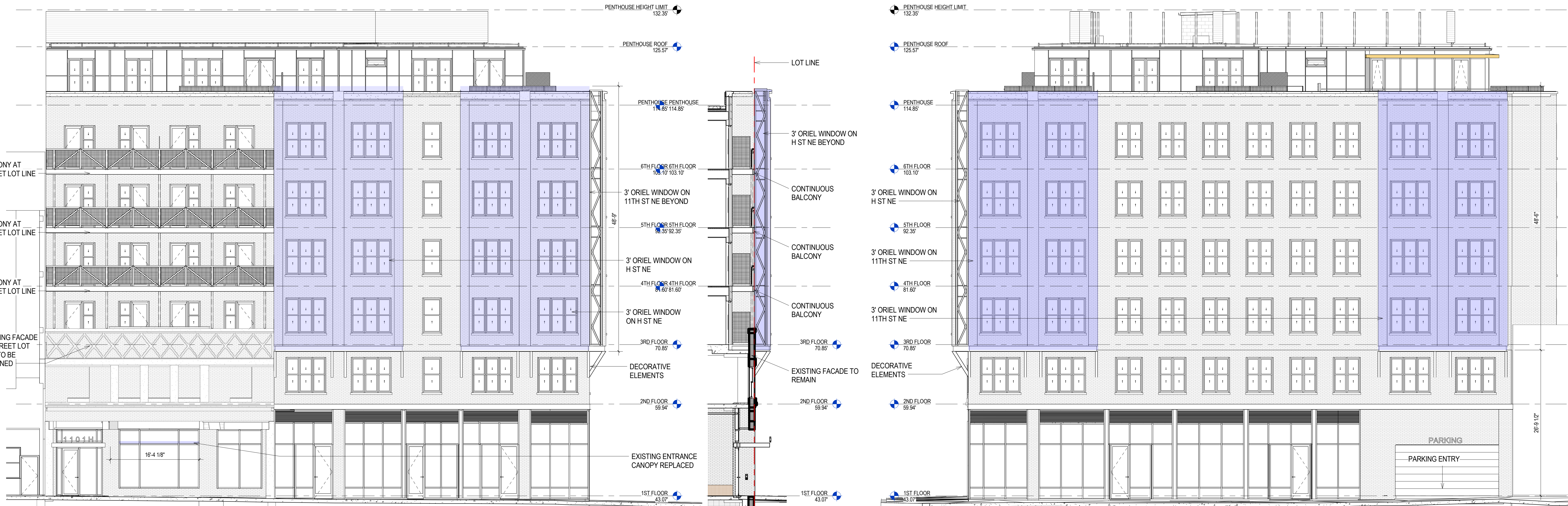
JOB NO.	DATE	DESCRIPTION
3	01/01/21	PERMIT SUBMISSION
4	8/22/21	PERMIT
5	11/22/21	PERMIT
6	9/29/21	100% CD
7	02/03/22	PERMIT SUBMISSION



EXTERIOR SECTION
DETAILS

SCALE: 1 1/2" = 1'-0"

A501

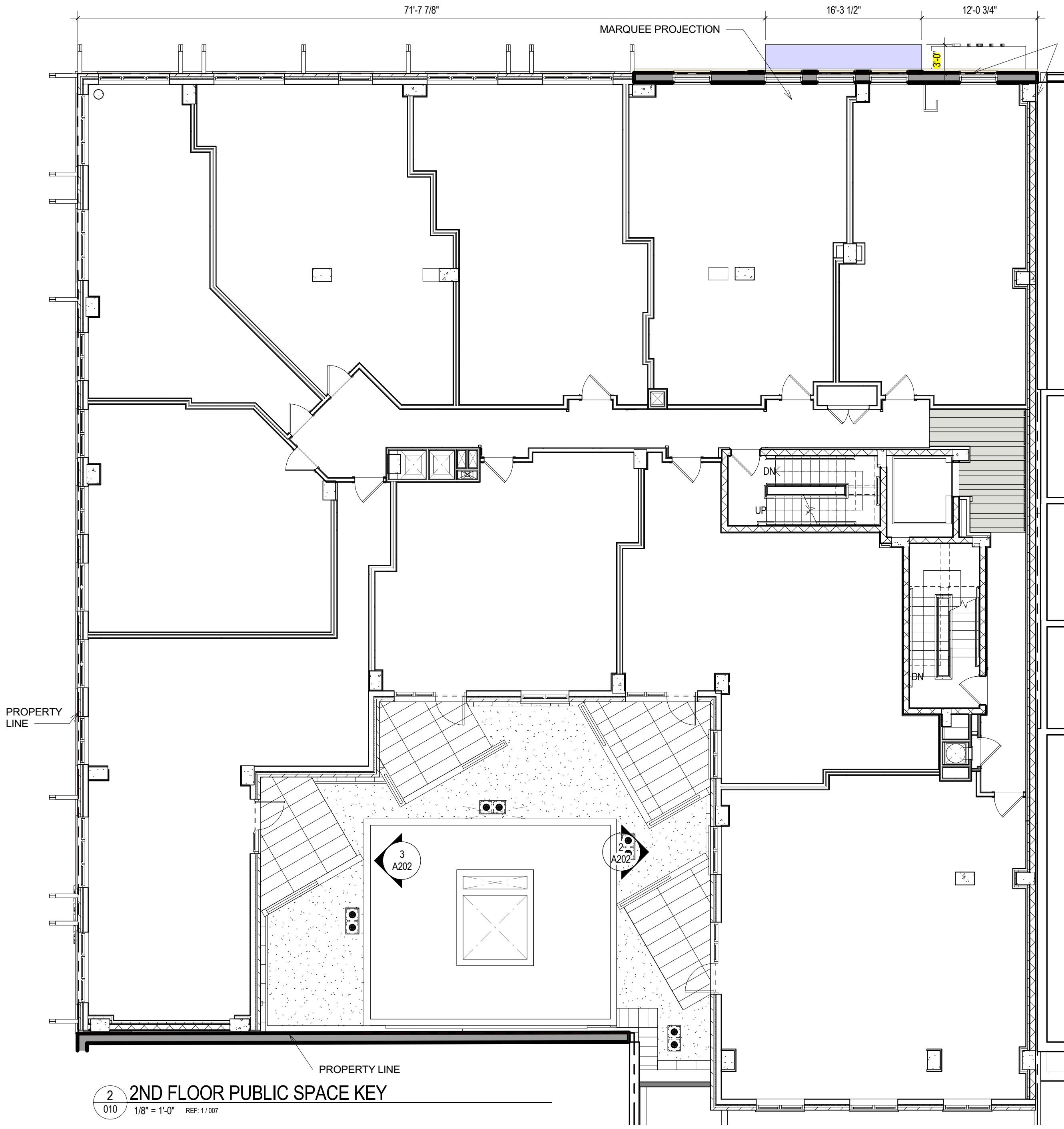


5 NORTH FACADE PROJECTIONS
010 1/8" = 1'-0" REF: 1100

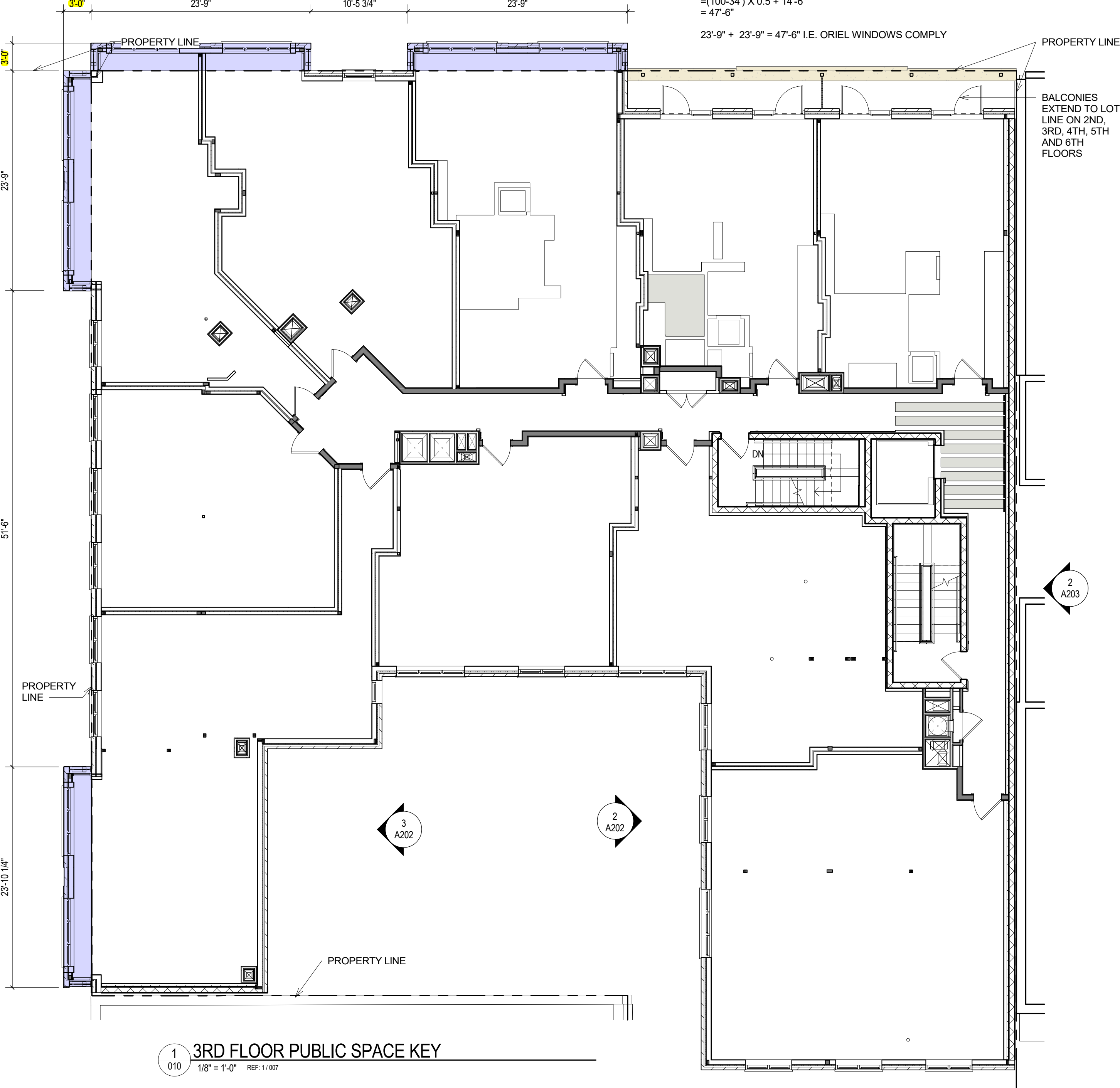
4 H ST NE KEY SECTION
010 1/8" = 1'-0" REF: 1100

3 WEST FACADE PROJECTIONS
010 1/8" = 1'-0"

PER DCMR 12a 2017 SECTION 3202.10.4:
ORIEL PROJECTIONS (SINGLE PROJECTION): BUILDING
WIDTH - 241' x 16' + 13'
= 100-241' X 0.16 + 13'
= 76 X 0.16 + 13 = 25.16'
ORIEL WINDOWS (MULTIPLE PROJECTIONS):
(building width - 34') x 5' + 14.6'
= (100-34') X 0.5 + 14.6'
= 47'-6"
23'-9" + 23'-9" = 47'-6" I.E. ORIEL WINDOWS COMPLY



2 2ND FLOOR PUBLIC SPACE KEY
010 1/8" = 1'-0" REF: 1100



1 3RD FLOOR PUBLIC SPACE KEY
010 1/8" = 1'-0" REF: 1100

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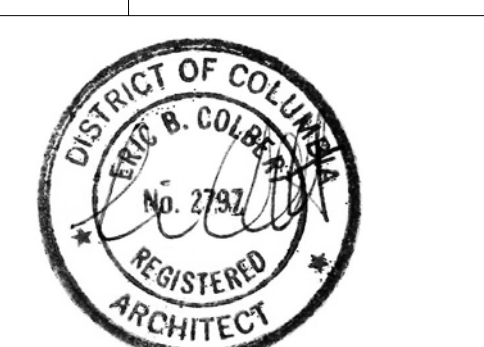
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1101 H ST NE, WASHINGTON,
DC 20002

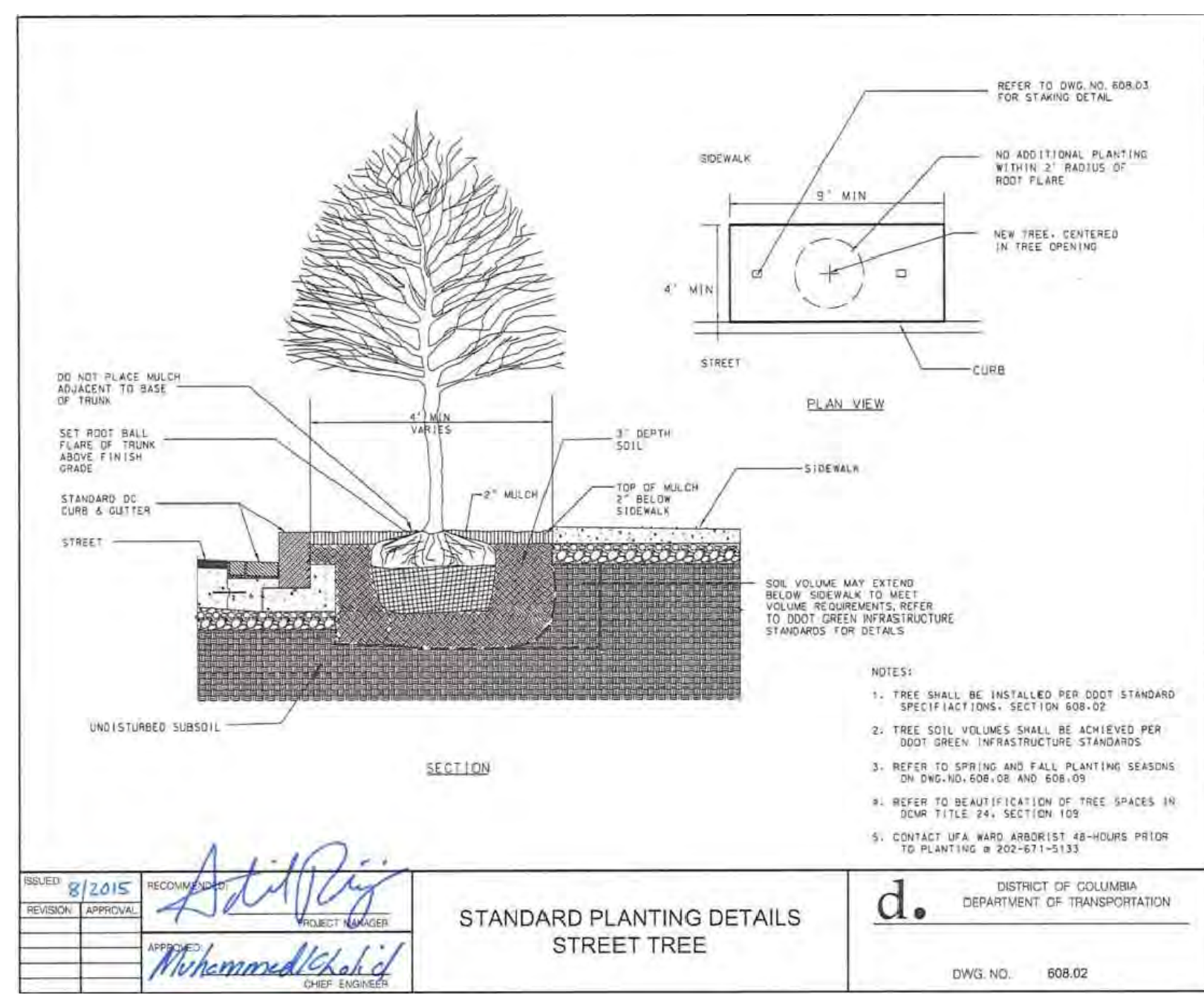
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6	9/29/21	100% CD



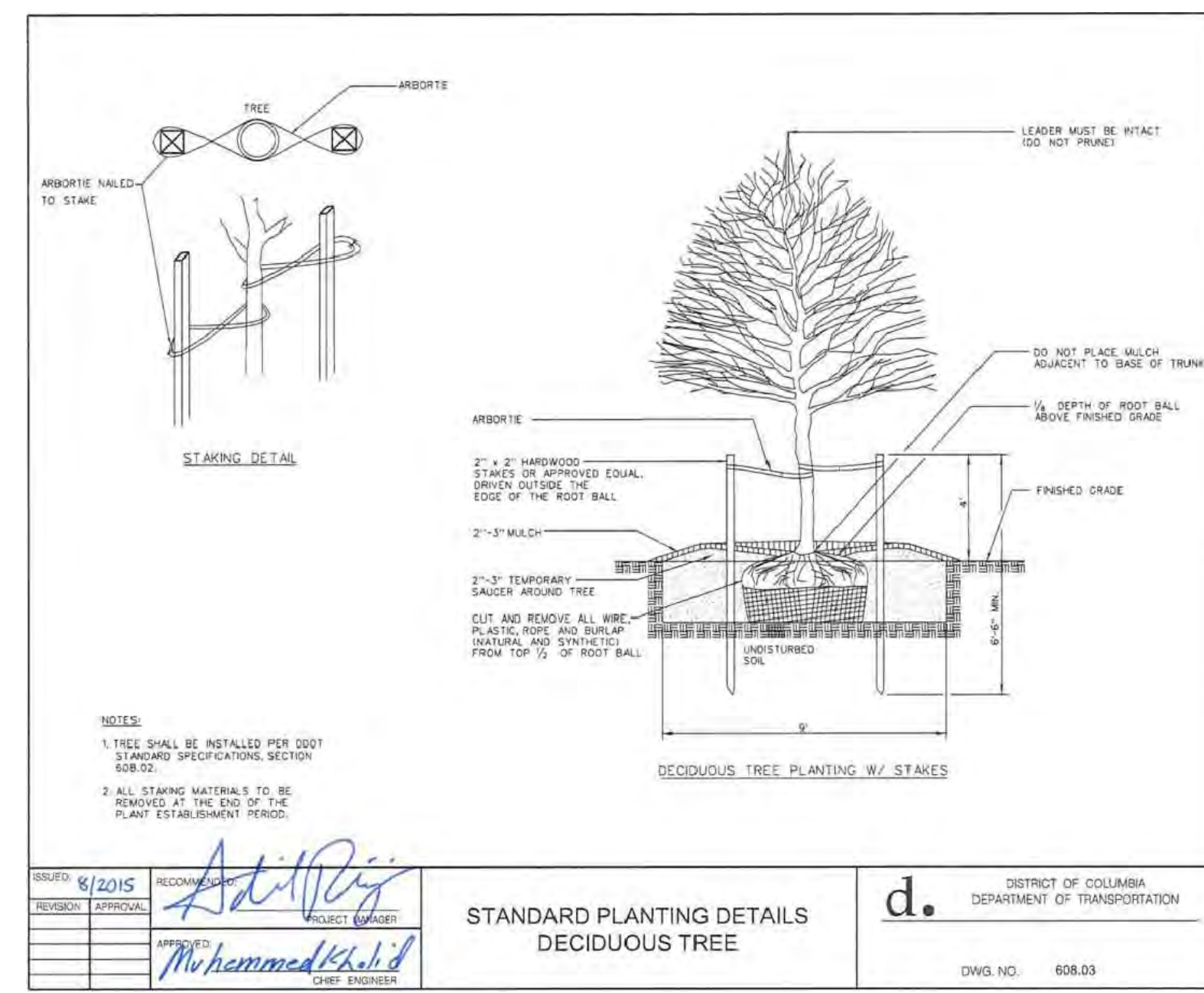
STAMP
PUBLIC SPACE
PROJECTIONS

DRAWING TITLE
SCALE: 1/8" = 1'-0"

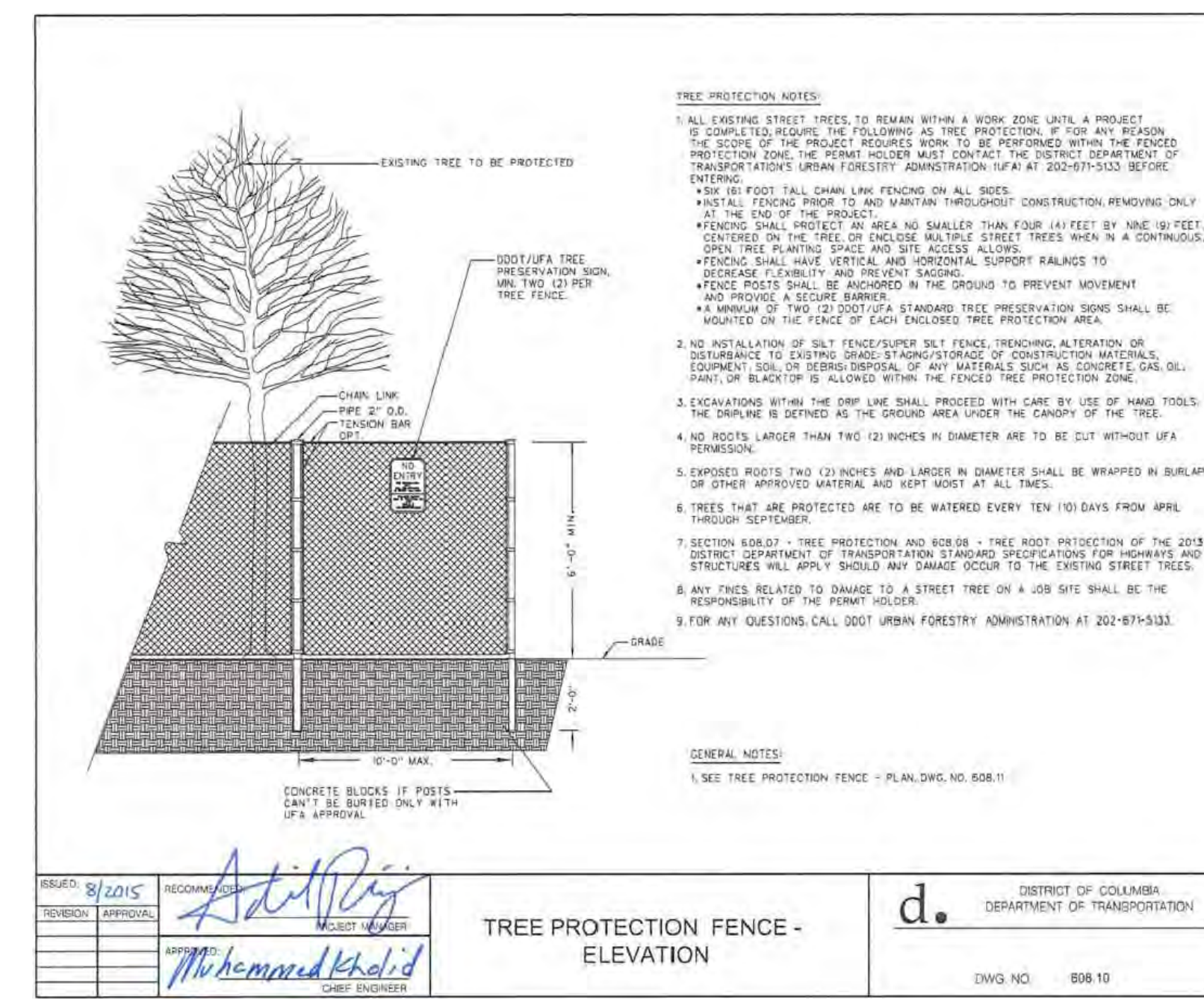
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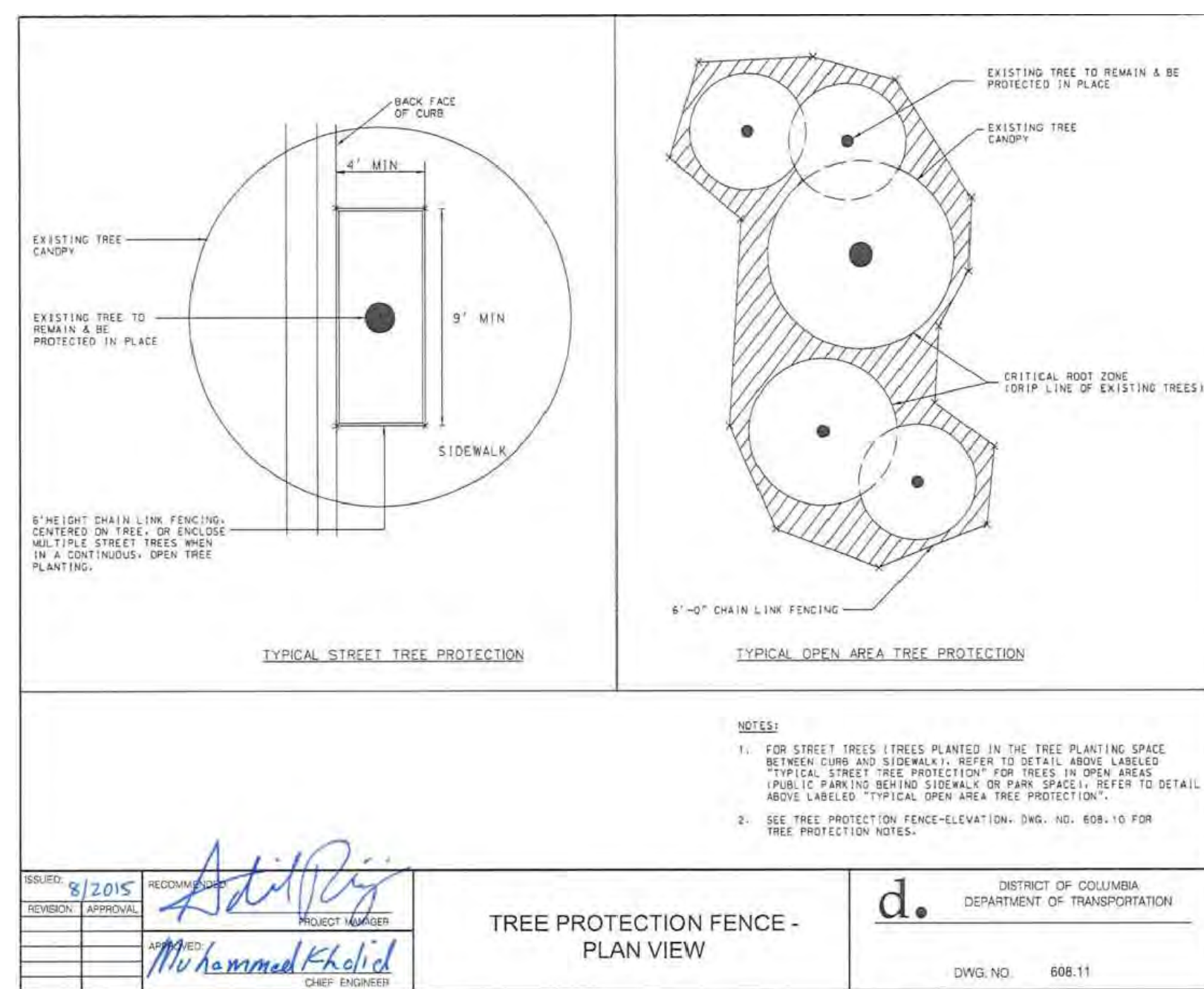
1 STREET TREE PLANTING DETAIL



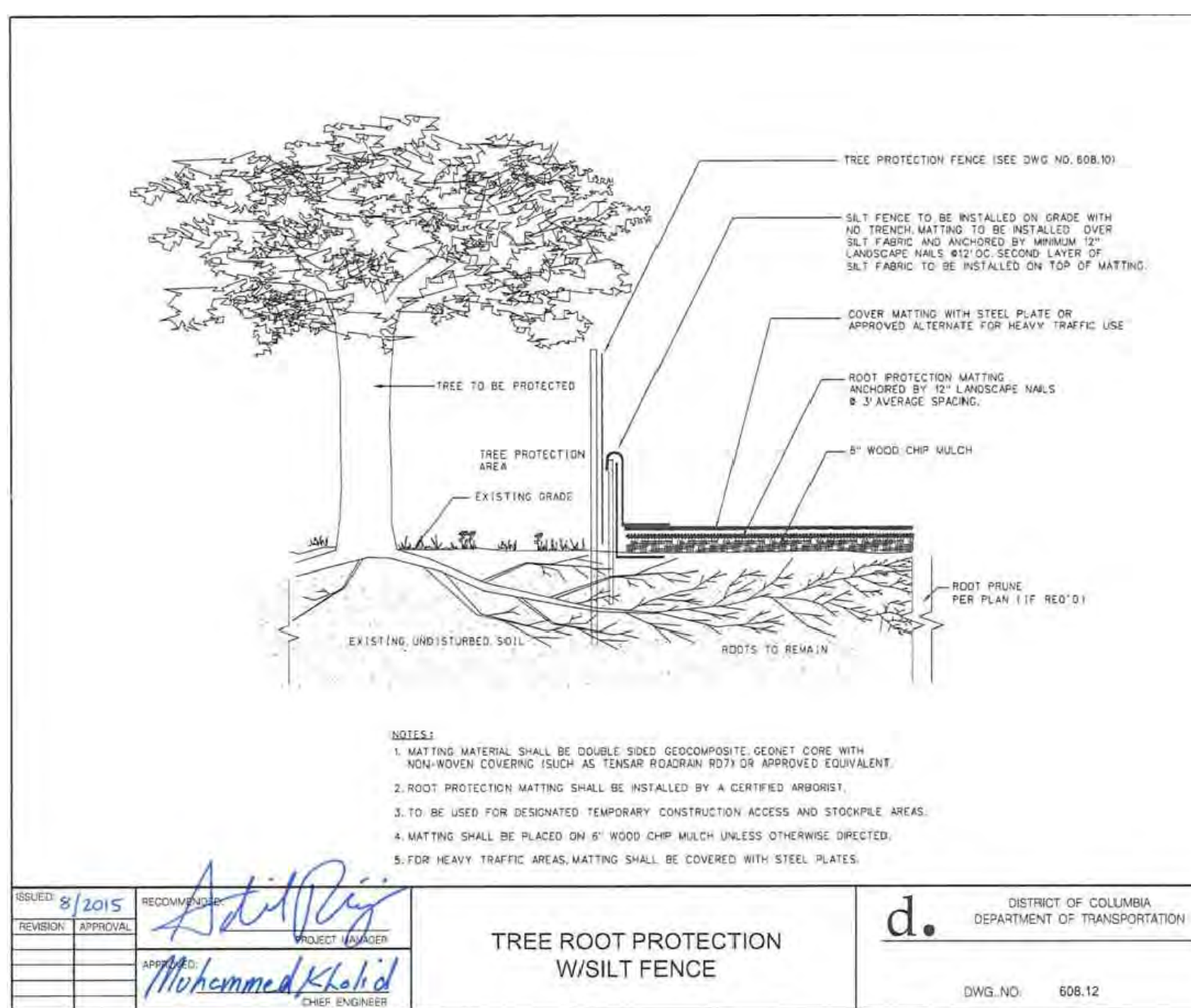
2 DECIDUOUS TREE PLANTING DETAIL



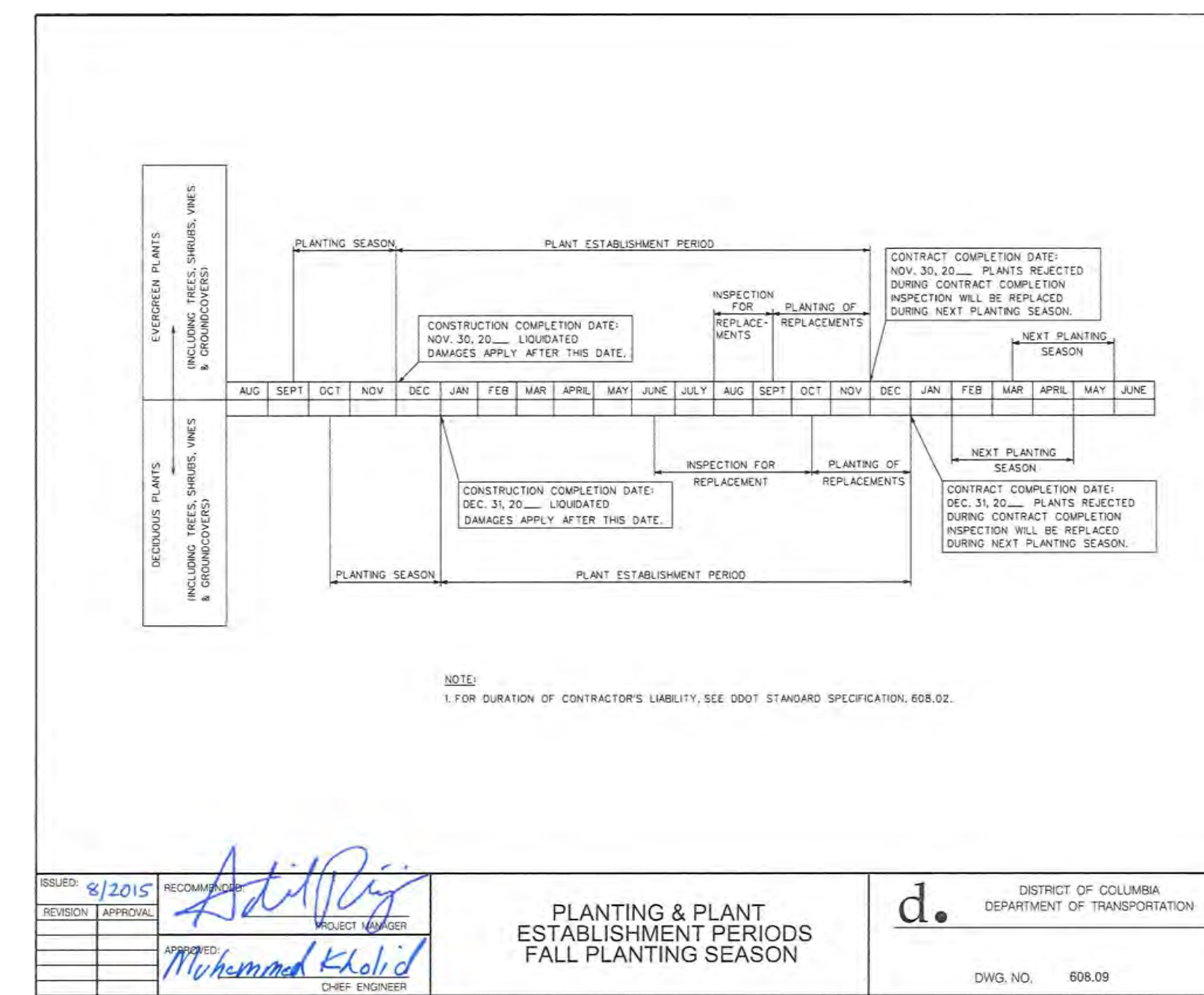
3 TREE PROTECTION FENCE DETAIL



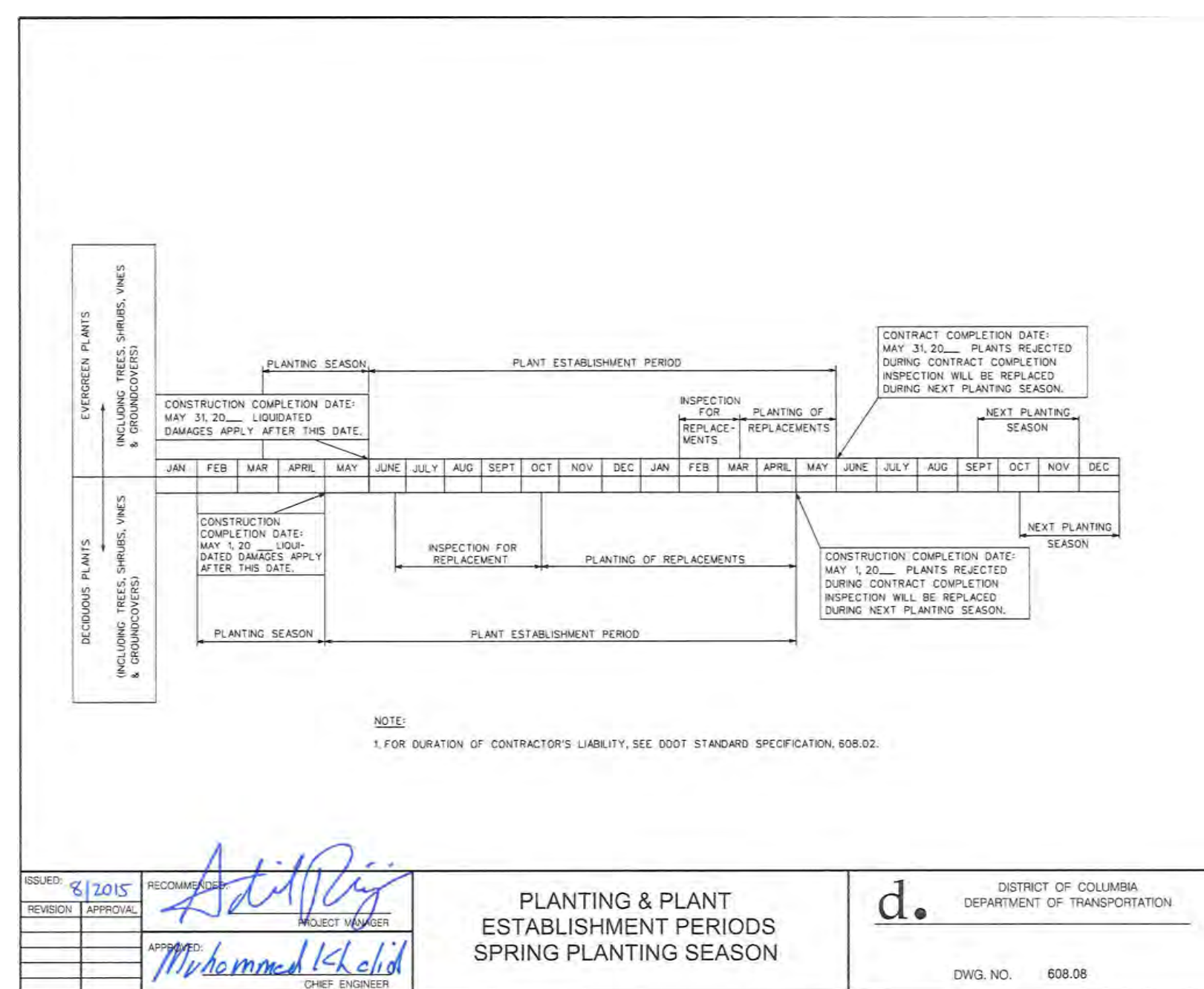
4 TREE PROTECTION FENCE DETAIL



5 ROOT PROTECTION DETAIL



6 FALL PLANTING SEASON DETAIL



7 SPRING PLANTING SEASON DETAIL

CAUTION!!

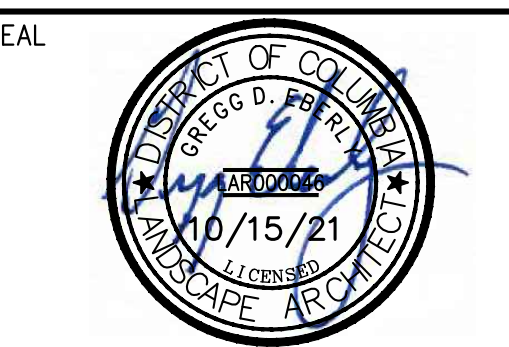
THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

MISS UTILITY

CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

Bowman
888 17th Street NW, Suite 510
Washington, DC 20006
Phone: (202) 750-2474
www.bowmanconsultingdc.com
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LANDSCAPE DETAILS (2 OF 2)
1101 H STREET NE
CONSTRUCTION DOCUMENTS
WASHINGTON, DC



I AM RESPONSIBLE FOR DETERMINING THAT THE ENGINEERING DESIGNS INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED, OR DIRECTLY SUPERVISED THE DEVELOPMENT OF THE ENGINEERING DESIGNS INCLUDED IN THIS APPLICATION.

PLAN STATUS	
6/15/21	DOEE 1ST SUBMISSION
10/15/21	DOEE 2ND SUBMISSION

NO.	DATE	DESCRIPTION

GDE	BGH/GDE	GDE
DESIGN	DRAWN	CHKD
SCALE	NTS	
JOB No.	130133-01-001	
DATE	OCTOBER, 2021	
FILE No.		

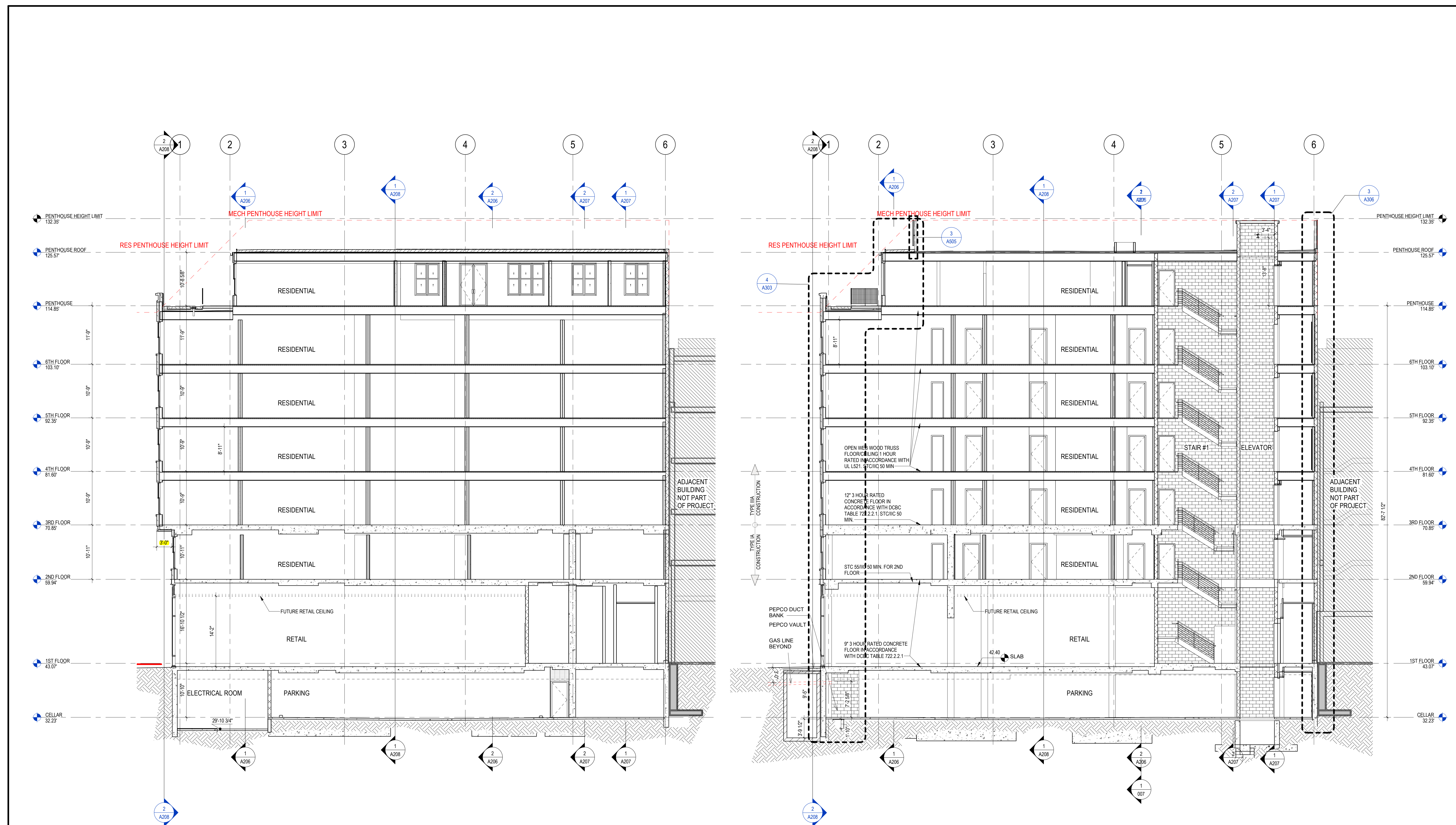
SHEET **L0420**

JOB NO.	DATE	DESCRIPTION
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3	01/01/21	PERMIT SUBMISSION
4	02/22/21	PERMIT
5	11/22/21	PERMIT
6	09/29/21	100% CD
7	02/03/22	PERMIT SUBMISSION



STAMP
BUILDING SECTIONS

DRAWING TITLE
SCALE: 1/8" = 1'-0"
A204
SHEET NO.



1 EAST WEST - BUILDING SECTION 1
A204 / 1/8" = 1'-0" REF: 2/A202

2 EAST WEST - BUILDING SECTION 2
A204 / 1/8" = 1'-0" REF: 2/A202

Construction Narrative:

Upper Roofs (Wood Framing):
Fully adhered 0.60 TPO roofing on 1/2" Densdeck Prime on tapered rigid insulation on plywood sheathing. Wood trusses per structural drawings. Fill roof cavity with mineral wool insulation in accordance with NFPA requirements for combustible voids. Install Certainteed Membrain smart vapor barrier above ceiling GWB and seal at perimeter and penetrations (eg light fixtures and electrical devices). Concrete pavers on adjustable pedestals where shown at occupied terraces. Green Roof areas: extensive green roofing systems installed over the roof membrane per the GAR drawings. Mechanical areas: install TPO maintenance strips where required for mechanical equipment maintenance.

Lower Roofs (Concrete slab):
Concrete Pavers on pedestals or intensive green roof ballast over R35 rigid insulation over Hot Fluid Applied roofing membrane (eg Henry 791 system) installed on concrete slab.

Penthouse walls:
JamesHardie Reveal2.0 Panel Vertical Siding with countersunk screws on 1/16" EPDM over 2" vertical non-metallic Z-girls over fluid applied vapor permeable air-weather barrier (eg Henry Air-Bloc 33MR with Blueskin Breather transition flashings) sheathing on FRT wood framing per structural drawings. Install 1" continuous mineral wool insulation in cavity. Fill wall framing cavity with R21 high density fiberglass batt insulation. Line interior with 5/8" GWB paint finished, two layers of GWB required at rated exterior walls.

Upper building walls (wood framing):
Brick on sst brick ties, supported by galv shelf angles attached to concrete structure. Galv loose lintel headers at openings with lipped brick. Approx. 3" cavity with 1" continuous mineral wool insulation, fluid applied vapor permeable air-weather barrier (eg Henry Air-Bloc 33MR with Blueskin Breather transition flashings) on reinforced gypsum sheathing over sheathing on FRT wood framing per structural drawings. Fill wall framing cavity with R21 high density fiberglass batt insulation. Line interior with 5/8" GWB paint finished (structural/fire rated walls will require two layers). Window opening headers galv, loose lintels with lipped brick.

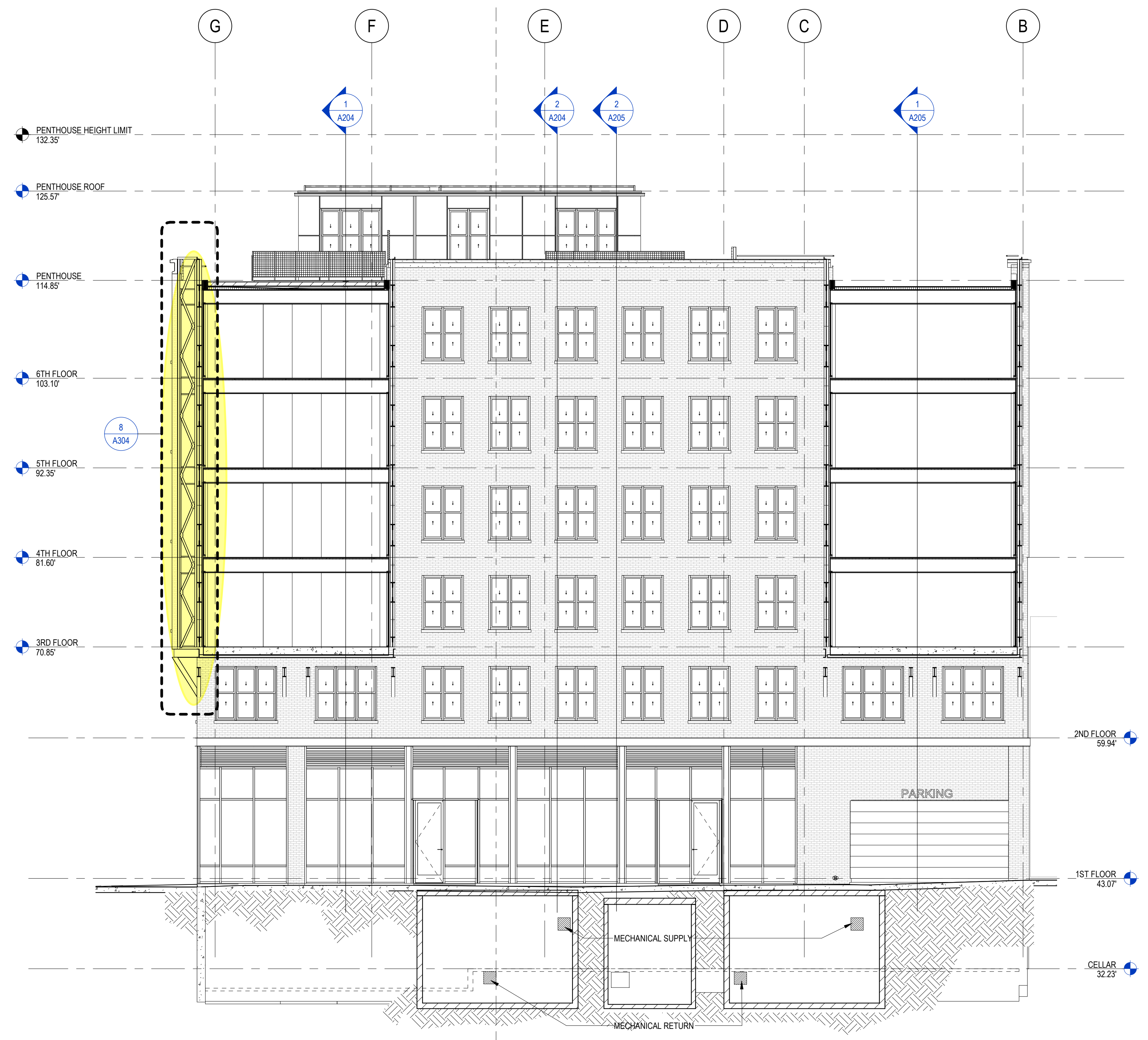
Lower building walls (light gauge steel framing):
Brick on sst brick ties, supported by galv shelf angles attached to concrete structure. Galv loose lintel headers at openings with lipped brick. Approx. 3" cavity with 1" continuous mineral wool insulation, fluid applied vapor permeable air-weather barrier (eg Henry Air-Bloc 33MR with Blueskin Breather transition flashings) on reinforced gypsum sheathing over sheathing on light gauge framing per structural drawings. Fill wall framing cavity with R21 high density fiberglass batt insulation. Line interior with 5/8" GWB paint finished. Bay Projection soffits: Paint finished exterior GWB.

Windows: thermally broken commercial powder coated aluminum single-hung windows with nailing fin.

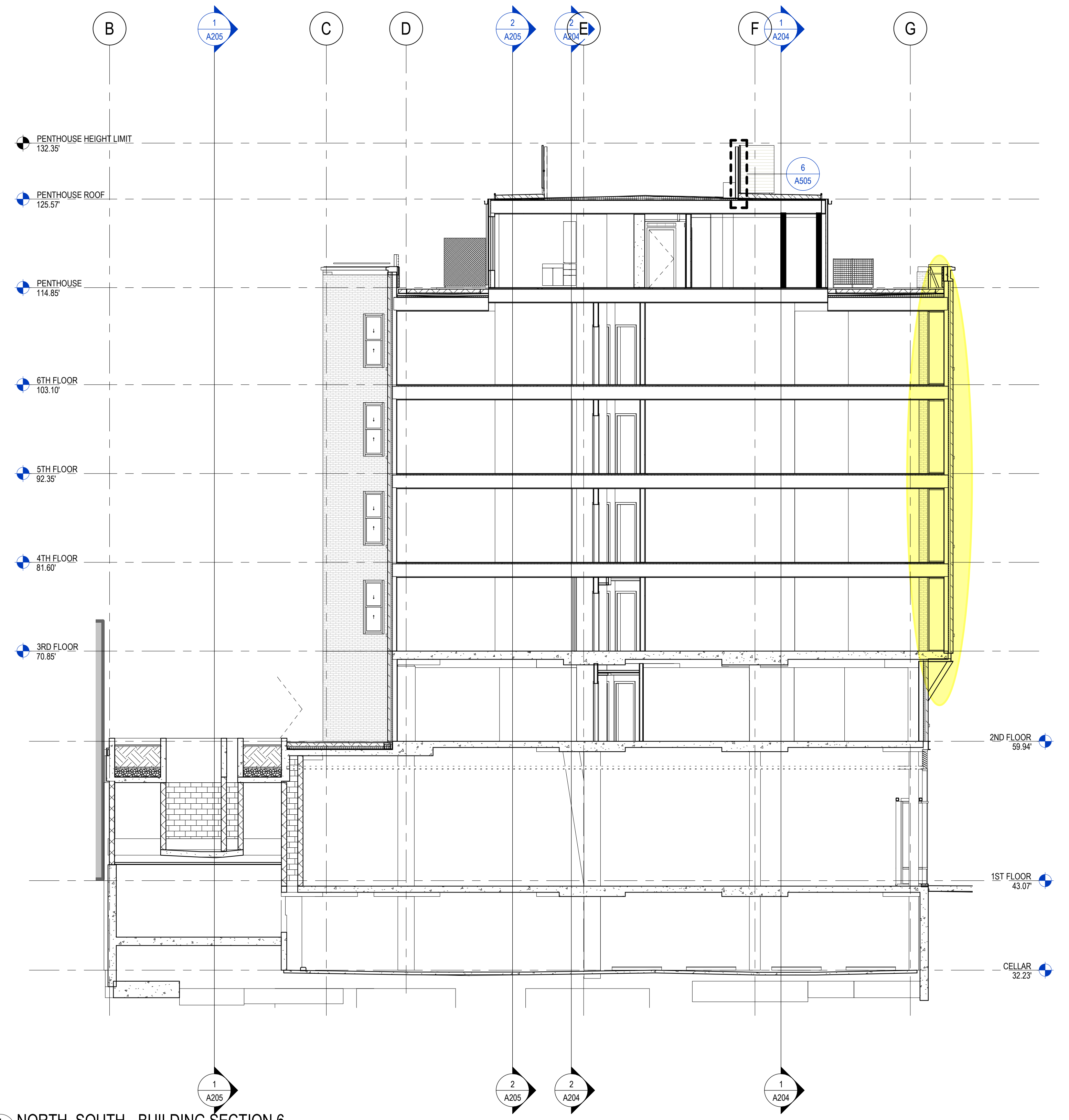
Retail tenancies: Cold dark shell. Powder coated glazed thermally broken curtain wall installed between brick veneer as described in 'Lower Building Walls' or existing openings. Metal panel cladding at first floor existing building where original brick has been removed.

Upper Building Floor/Ceiling systems (wood truss floor framing):
1 hour rated 5/8" STC/IC Minimum. Floor finish (engineered wood typically, ceramic tile at bathrooms) over 1" Gypcrete over 3/8" SRM on span-rated 3/4" ply sheathing over engineered wood truss system per structural drawings. Fill cavity with mineral wool insulation in accordance with NFPA 13 requirements for combustible voids. Paint finished 5/8" type X GWB ceiling on resilient channels at 12" o.c.

Lower Building floor/Ceiling systems for residential areas (concrete slab floors):
3 hour rated STC/IC 50 minimum. Floor/ceiling between First Floor retail tenancies and residential units shall be STC 55 and field tested to STC 50. Engineered wood and underlay finish with delta IIC rating of 25; ceramic tile installation system with delta IIC of 20. Lowered gwb ceilings with paint finish on suspended light gauge ceiling framing system where indicated, exposed concrete ceilings skim coated and paint finished.



2 NORTH SOUTH - BAY PROJECTIONS
 A208 1/8" = 1'-0" REF: 11A01



1 NORTH SOUTH - BUILDING SECTION 6
 A208 1/8" = 1'-0" REF: 11A01

AIRDOME, LLC

3400 IDAHO AVENUE, N.W., #500
 WASHINGTON, D.C. 20016



717 5TH STREET NW WASHINGTON, DC 20001

STRUCTURAL
 EHLERT BRYAN
 8609 WESTWOOD CENTER DRIVE, SUITE 800
 TYSONS, VA 22182

CIVIL/LANDSCAPE
 BOWMAN CONSULTING GROUP, LTD
 888 17TH ST NW, SUITE 510
 WASHINGTON, DC 20006

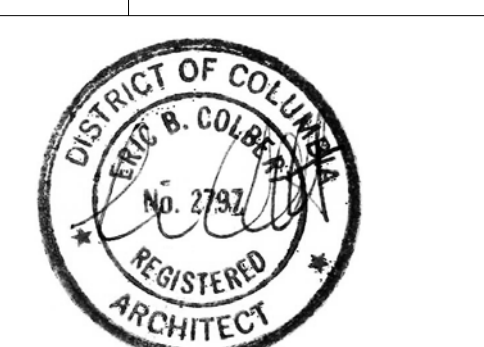
MEP
 SUMMIT ENGINEERS, INC
 5307 LEE HWY
 ARLINGTON, VA 22207

LEED
 SUSTAINABLE DESIGN CONSULTING
 1432 K STREET NW, 3RD FLOOR
 WASHINGTON, DC 20005

1101 H STREET
 NE

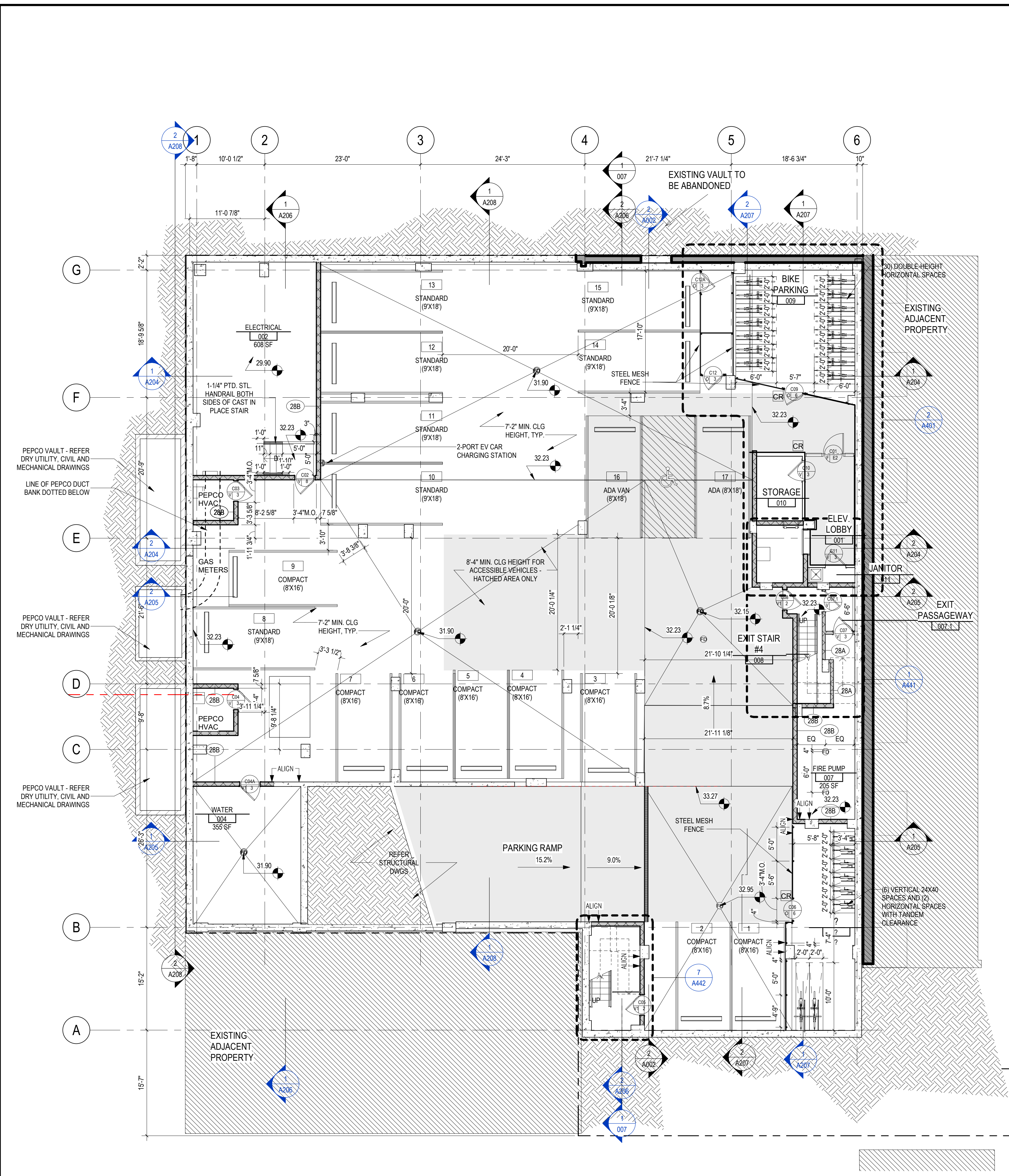
1101 H ST NE, WASHINGTON,
 DC 20002

JOB NO.	DATE	DESCRIPTION
4	9/22/21	PERMIT
5	11/22/21	PERMIT
6	9/29/21	100% CD
7	02/03/22	PERMIT SUBMISSION

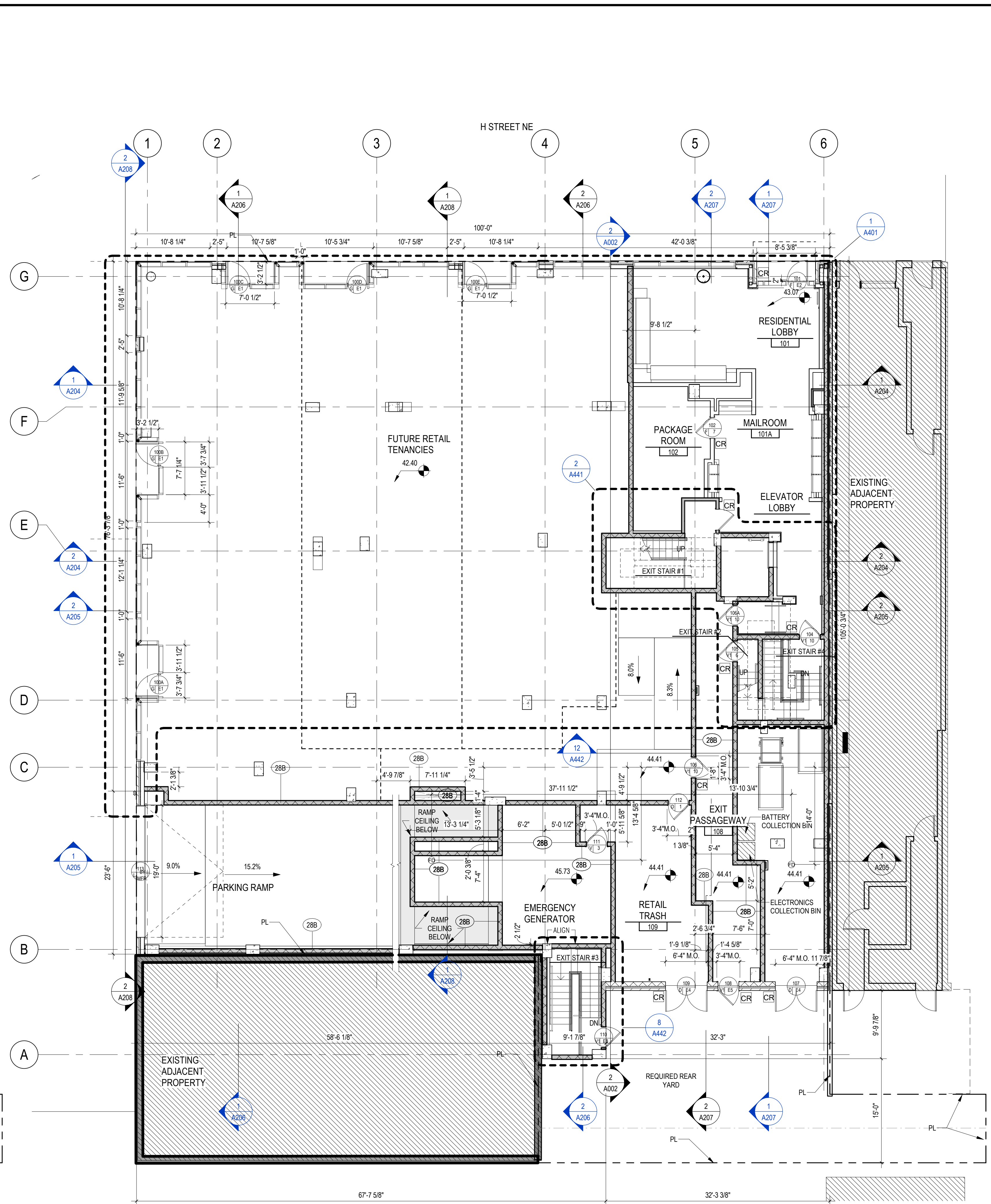


STAMP
 BUILDING SECTIONS

DRAWING TITLE
 SCALE: 1/8" = 1'-0"
A208



2 CELLAR FLOOR PLAN
A101 / 1/8" = 1'-0" REF: 11/07



1 1ST FLOOR PLAN
A101 / 1/8" = 1'-0" REF: 11/07

PLAN NOTES

- REFER TO SHEET 005 FOR GENERAL NOTES AND CODE SUMMARY
- REFER TO STRUCTURAL DRAWINGS FOR ALLOWED FLOOR PENETRATIONS
- MISCELLANEOUS SMALL FLOOR PENETRATIONS ARE TO BE 2 HOUR RATED AS FOLLOWS (REFER LISTED UL DESIGN FOR FULL DETAILS):
 TYPE I CONSTRUCTION:
 UL CUL-1556 MULTIPLE 3" MAX STEEL OR IRON PIP OR CONDUIT, 1" COPPER PIPE OR TUBE, 2" FLEXIBLE STEEL GAS PIPING IN A SLAB OPENING MAX 32 SQ IN.
 UL C-AJ-3140 MULTIPLE ELECTRIC CABLES IN 8" DIA MAX SLAB OPENING
 UL F-A-2008" SINGLE 1" OR SMALLER DIA PVC OR uPVC PIPE IN MAXIMUM 7" DIA SLAB PENETRATION
 TYPE III CONSTRUCTION:
 LARGER OTHER OPENINGS: REFER FLOOR NOTES, WALL TYPE TAGS AND DOOR SCHEDULE, MEP DRAWINGS FOR FIRE AND SMOKE DAMPERS, OR OTHERWISE MAINTAIN THE INTEGRITY OF REQUIRED FIRE AND SMOKE SEPARATIONS INDICATED ON THE CODE SUMMARY/AS REQUIRED.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER DC BC 2406.3. LABEL SAFETY GLAZING PER DC BC SECTION 2406.
- ANSI A UNITS ARE IDENTIFIED AS ANSI A. IF A UNIT IS NOT TAGGED ANSI A, THEN THE UNIT IS ANSI B. REFER DRAWING 005 FOR ADDITIONAL ACCESSIBILITY NOTES.
- REFER TO 4 SERIES DRAWINGS FOR ENLARGED PLANS AND FRAMING NOTES REGARDING TYPICAL DEMISING PARTITION TYPES AND DOOR LOCATIONS
- ROOFING: 2ND FLOOR: CLASS A HOT FLUID APPLIED MEMBRANE SYSTEM INSTALLED ON STRUCTURAL SLAB WITH BALLASTED 7" R53 RIGID INSULATION ABOVE. REFER TO LANDSCAPE DRAWINGS.
 TYPICAL ROOFING: CLASS A FULLY ADHERED TPO ON 1/2" COVERSBOARD ON SLOPED POLYISO INSULATION MECHANICALLY FASTENED TO SHEATHING. PROVIDE ADDITIONAL FINISHES OVER THE MEMBRANE WHERE INDICATED ON ARCHITECTURAL AND LANDSCAPE DRAWINGS.
- SHADING INDICATES RATED WALLS. REFER A4 SERIES DRAWINGS FOR INFORMATION REGARDING INTERIOR RATED PARTITIONS.
 A. STRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #9349 AND UTILIZE FRT WOOD. REFER DETAIL SA402.
 B. STRUCTURAL MASONRY EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #9805.
 C. NONSTRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 6-HOUR RATING AND UTILIZE FRT WOOD. REFER DETAIL SA402.

AIRDOME, LLC

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717 5TH STREET NW WASHINGTON, DC 20001

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CIVIL/LANDSCAPE
BOWMAN CONSULTING GROUP, LTD
888 17TH ST NW, SUITE 510
WASHINGTON, DC 20006

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SUMMIT ENGINEERS, INC
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ARLINGTON, VA 22207

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1432 K STREET NW, 3RD FLOOR
WASHINGTON, DC 20005

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NE

1101 H ST NE, WASHINGTON,
DC 20002

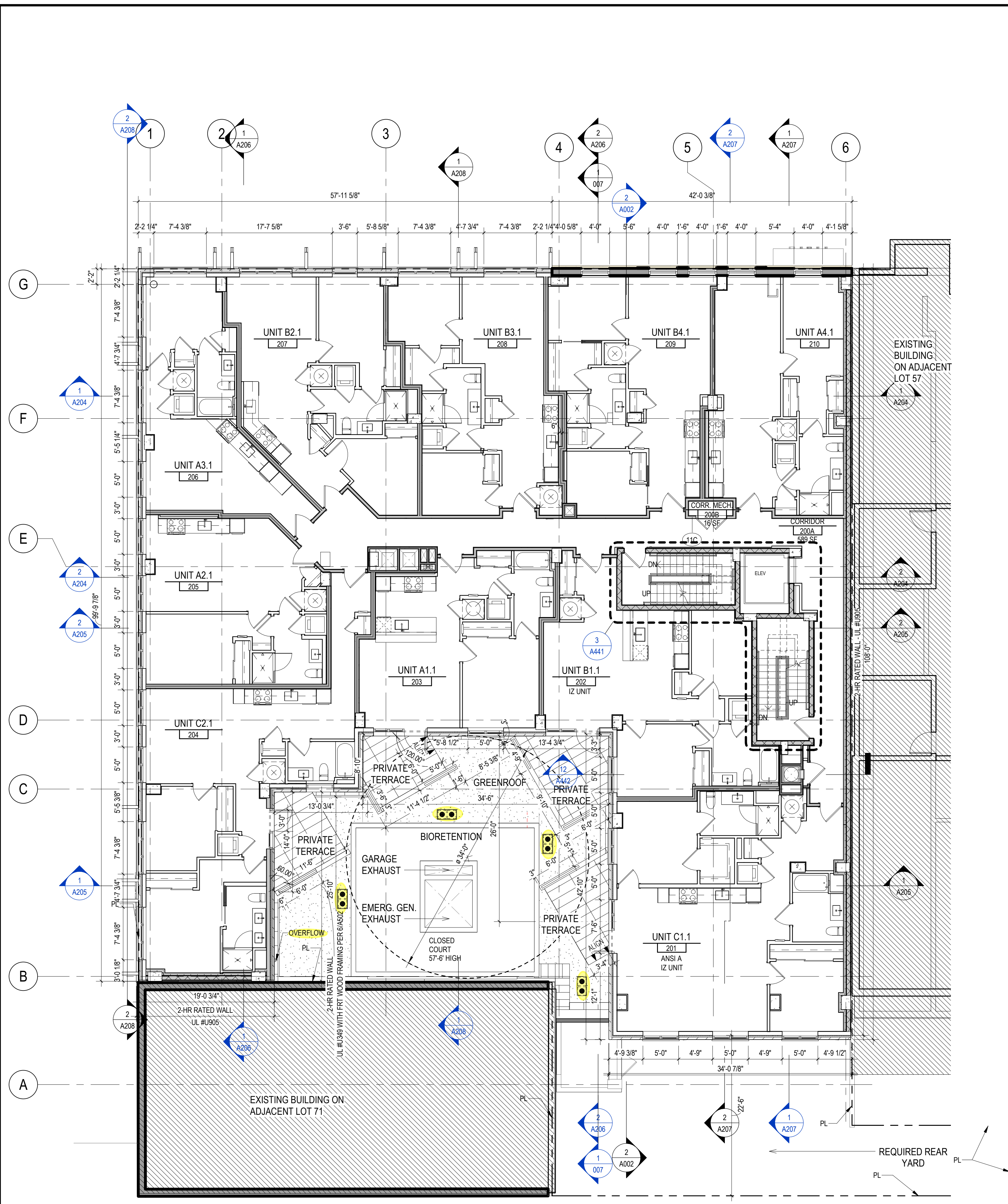
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3	01/01/21	PERMIT SUBMISSION
4	9/22/21	PERMIT
5	11/22/21	PERMIT
6	9/29/21	100% CD
7	02/03/22	PERMIT SUBMISSION



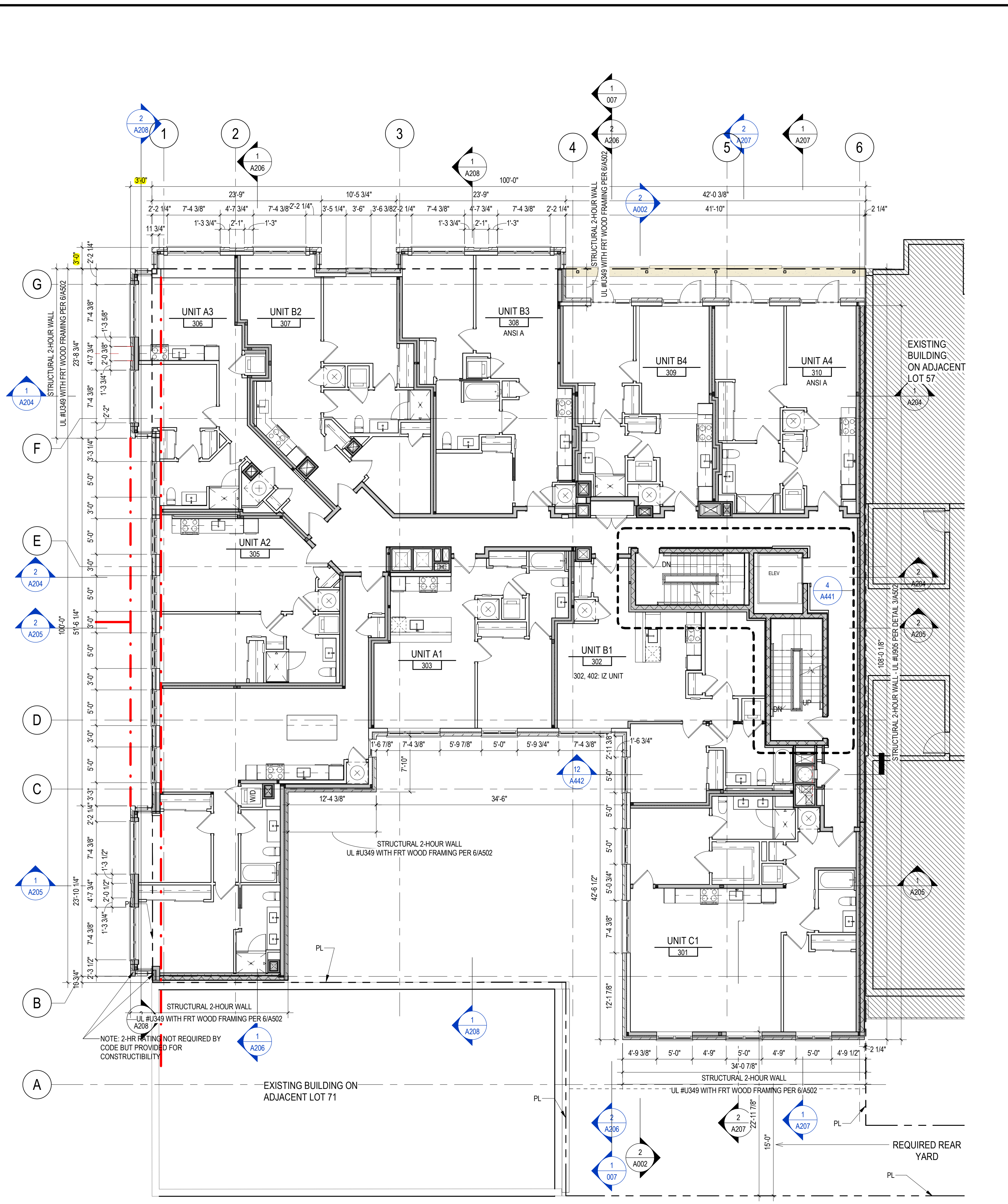
1ST FLOOR & CELLAR
PLANS

SCALE: 1/8" = 1'-0"

A101



1 2ND FLOOR PLAN
A102 1/8" = 1'-0" REF: 1/10/21



2 3RD-6TH FLOOR PLAN
A102 1/8" = 1'-0" REF: 1/10/21

PLAN NOTES

- REFER TO SHEET 005 FOR GENERAL NOTES AND CODE SUMMARY
- REFER TO STRUCTURAL DRAWINGS FOR ALLOWED FLOOR PENETRATIONS
- MISCELLANEOUS SMALL FLOOR PENETRATIONS ARE TO BE 2 HOUR RATED AS FOLLOWS (REFER LISTED UL DESIGN FOR FULL DETAILS):
TYPE I CONSTRUCTION:
UL C-1155: MULTIPLE 3" MAX STEEL OR IRON PIP OR CONDUIT, 1" COPPER PIPE OR TUBE, 2" FLEXIBLE STEEL GAS PIPING IN A SLAB OPENING MAX 32 SQ IN.
UL C-AJ-3140: MULTIPLE ELECTRIC CABLES IN 8" DIA MAX SLAB OPENING
UL F-A-2008: SINGLE 1" OR SMALLER DIA PVC OR uPVC PIPE IN MAXIMUM 7" DIA SLAB PENETRATION
TYPE III CONSTRUCTION:
LARGER OTHER OPENINGS: REFER FLOOR NOTES, WALL TYPE TAGS AND DOOR SCHEDULE, MEP DRAWINGS FOR FIRE AND SMOKE DAMPERS, OR OTHERWISE MAINTAIN THE INTEGRITY OF REQUIRED FIRE AND SMOKE SEPARATIONS INDICATED ON THE CODE SUMMARY/AS REQUIRED.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER DC BC 2406.3. LABEL SAFETY GLAZING PER DC BC SECTION 2406.
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- REFER TO 4 SERIES DRAWINGS FOR ENLARGED PLANS AND FRAMING NOTES REGARDING TYPICAL DEMISING PARTITION TYPES AND DOOR LOCATIONS.
- ROOFING: 2ND FLOOR: CLASS A HOT FLUID APPLIED MEMBRANE SYSTEM INSTALLED ON STRUCTURAL SLAB WITH BALLASTED 7" R25 RIGID INSULATION ABOVE. FOR BALLAST TYPICALLY REFER TO LANDSCAPE DRAWINGS.
TYPICAL ROOFING: CLASS A FULLY ADHERED TPO ON 1/2" COVERSBOARD ON SLOPED POLYSTYRO INSULATION MECHANICALLY FASTENED TO SHEATHING. PROVIDE ADDITIONAL FINISHES OVER THE MEMBRANE WHERE INDICATED ON ARCHITECTURAL AND LANDSCAPE DRAWINGS.
- SHADING INDICATES RATED WALLS. REFER A4 SERIES DRAWINGS FOR INFORMATION REGARDING INTERIOR RATED PARTITIONS.
A. STRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #1349 AND UTILIZE FRT WOOD. REFER DETAIL SA902.
B. STRUCTURAL MASONRY EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #1805.
C. NONSTRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 6-HOUR RATING AND UTILIZE FRT WOOD. REFER DETAIL SA902.

AIRDOME, LLC

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TYSONS, VA 22182

CIVIL/LANDSCAPE
BOWMAN CONSULTING GROUP, LTD
888 17TH ST NW, SUITE 510
WASHINGTON, DC 20006

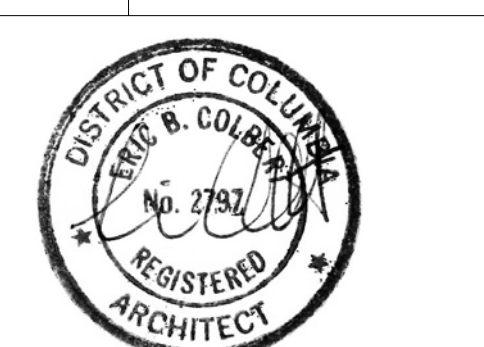
MEP
SUMMIT ENGINEERS, INC
5307 LEE HWY
ARLINGTON, VA 22207

LEED
SUSTAINABLE DESIGN CONSULTING
1432 K STREET NW, 3RD FLOOR
WASHINGTON, DC 20005

1101 H STREET
NE

1101 H ST NE, WASHINGTON,
DC 20002

JOB NO.	DATE	DESCRIPTION
2	10/05/21	DESIGN DEVELOPMENT
3	01/01/21	PERMIT SUBMISSION
4	02/22/21	PERMIT
5	11/22/21	PERMIT
6	02/28/21	100% CD
7	02/03/22	PERMIT SUBMISSION



2ND - 6TH FLOOR
PLANS

SCALE: 1/8" = 1'-0"

A102

AIRDOME, LLC

3400 IDAHO AVENUE, N.W., #500
WASHINGTON, D.C. 20016



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WASHINGTON, DC 20006

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ARLINGTON, VA 22207

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WASHINGTON, DC 20005

1101 H STREET
NE

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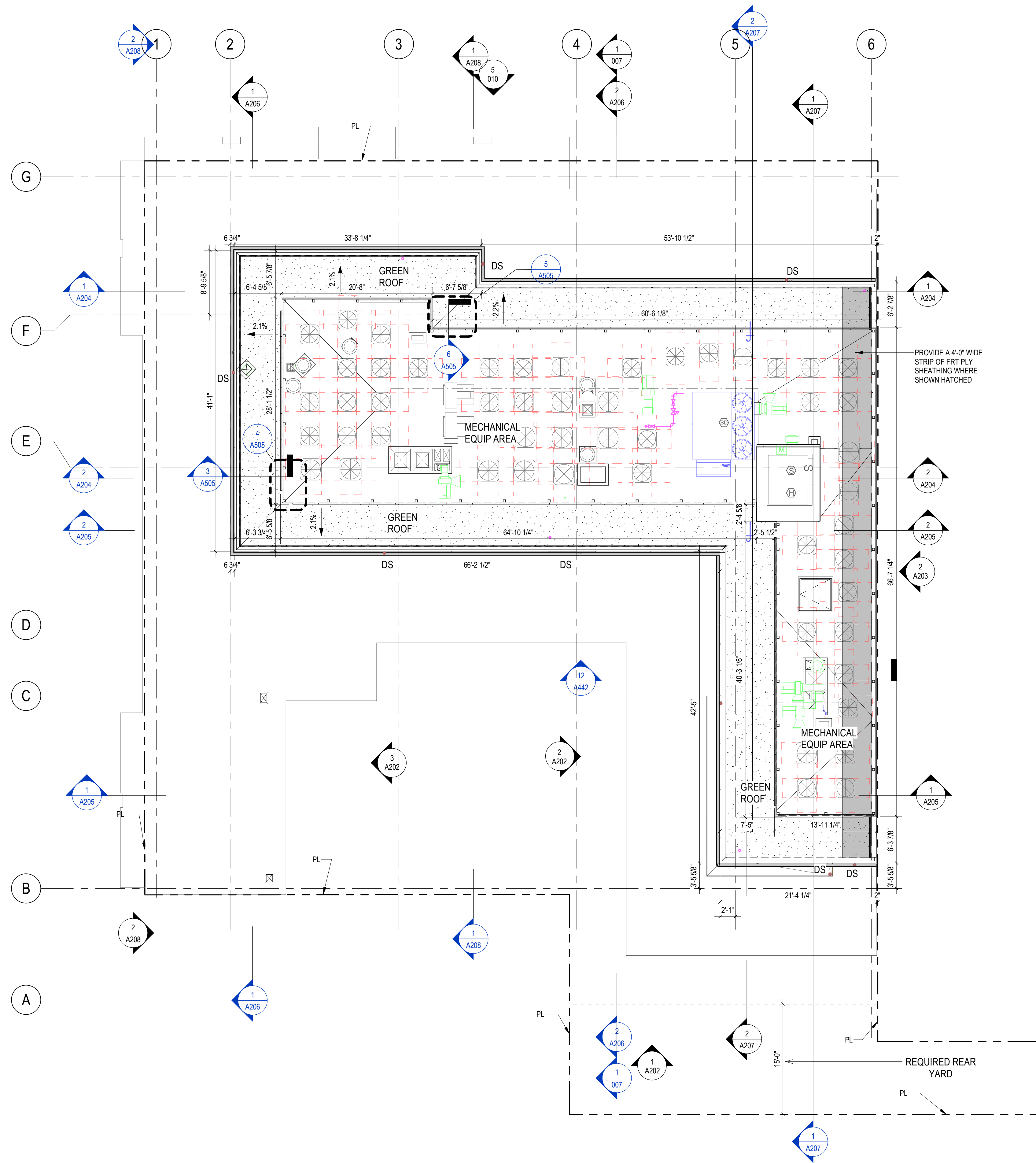
JOB NO.	DATE	DESCRIPTION
2	10/05/21	DESIGN DEVELOPMENT
3	01/01/21	PERMIT SUBMISSION
4	02/22/21	PERMIT
5	11/23/21	PERMIT
6	02/02/21	100% CD
7	02/03/22	PERMIT SUBMISSION



PENTHOUSE &
PENTHOUSE ROOF

SCALE: As indicated
A104

SHEET NO.

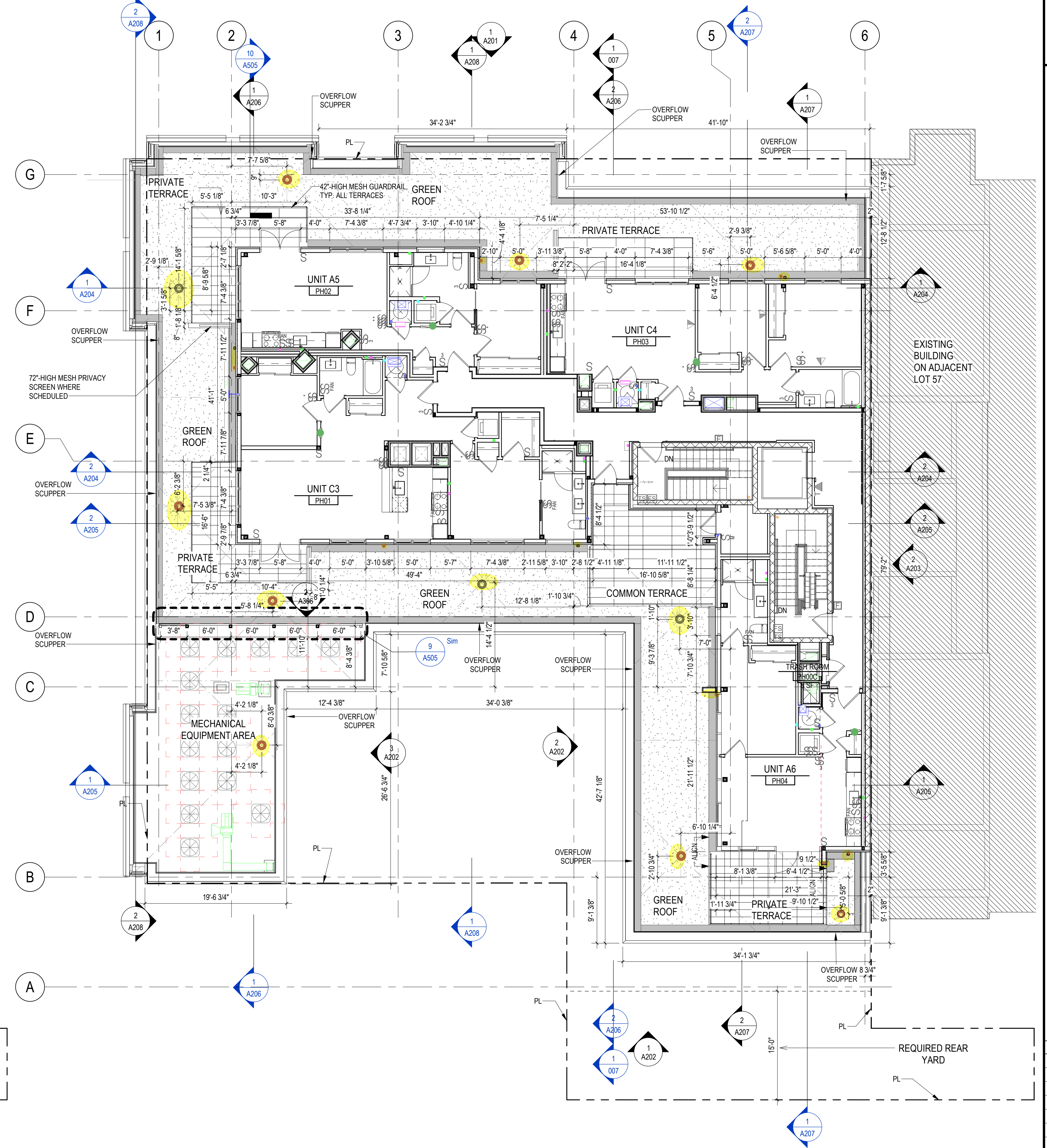


1 PENTHOUSE ROOF
A104 1/8" = 1'-0" REF: 1/10/21

ROOF AREAS

MAIN ROOF: 4180 SF
VEGETATIVE ROOF (4" MIN. MEDIA) - 2115 SF
PEDESTAL PAVER TERRACES - 805 SF
FULLY ADHERED TPO - 735 SF
PERIMETER BALLAST - 525 SF

PENTHOUSE ROOF: 4245 SF
VEGETATIVE ROOF (4" MIN. MEDIA) - 1455 SF
FULLY ADHERED TPO - 2790 SF



2 PENTHOUSE
A104 1/8" = 1'-0" REF: 1/10/21

PLAN NOTES

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UL F-A-2008: SINGLE 1" OR SMALLER DIA PVC OR uPVC PIPE IN MAXIMUM 7" DIA SLAB PENETRATION
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- ROOFING: 2ND FLOOR: CLASS A HOT FLUID APPLIED MEMBRANE SYSTEM INSTALLED ON STRUCTURAL SLAB WITH BALLASTED 7" R25 RIGID INSULATION ABOVE. FOR BALLAST TYPICALLY REFER TO LANDSCAPE DRAWINGS.
TYPICAL ROOFING: CLASS A FULLY ADHERED TPO ON 1/2" COVERSBOARD ON SLOPED POLYISO INSULATION MECHANICALLY FASTENED TO SHEATHING. PROVIDE ADDITIONAL FINISHES OVER THE MEMBRANE WHERE INDICATED ON ARCHITECTURAL AND LANDSCAPE DRAWINGS.
- SHADING INDICATES RATED WALLS. REFER A4 SERIES DRAWINGS FOR INFORMATION REGARDING INTERIOR RATED PARTITIONS.
A. STRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #9349 AND UTILIZE FRT WOOD. REFER DETAIL SA902.
B. STRUCTURAL MASONRY EXTERIOR WALLS PROVIDE 2-HOUR RATING PER UL #9805.
C. NONSTRUCTURAL FRAMED EXTERIOR WALLS PROVIDE 6-HOUR RATING AND UTILIZE FRT WOOD. REFER DETAIL SA902.

BEARINGS AND DISTANCES


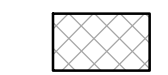
LOT 65

- L1 EAST 58.00 (REC); S89°59'54"E 58.03 (MEAS)
- L2 SOUTH 100.00 (REC); S00°00'06"W 99.89 (MEAS)
- L3 WEST 57.93 (REC); S89°56'56"W (MEAS)
- L4 NORTH 100.00 (REC); N00°03'W 99.94 (MEAS)

LOT 70

- L5 EAST 42.00 (REC); S89°59'54"E 42.02 (MEAS)
- L6 SOUTH 120.00 (REC); S00°00'06"W 120.00 (MEAS)
- L7 EAST 20.18 (REC); S89°59'54"E 20.24 (MEAS)
- L8 SOUTH 10.08 (REC); S00°03'04"E 9.89 (MEAS)
- L9 WEST 62.18 (REC); S89°56'56"W 62.27 (MEAS)
- L10 NORTH 30.08 (REC); N00°00'06"W 30.06 (MEAS)

PAVEMENT LEGEND:

-  CONCRETE PAVEMENT
-  ASPHALT PAVEMENT

SITE NARRATIVE:

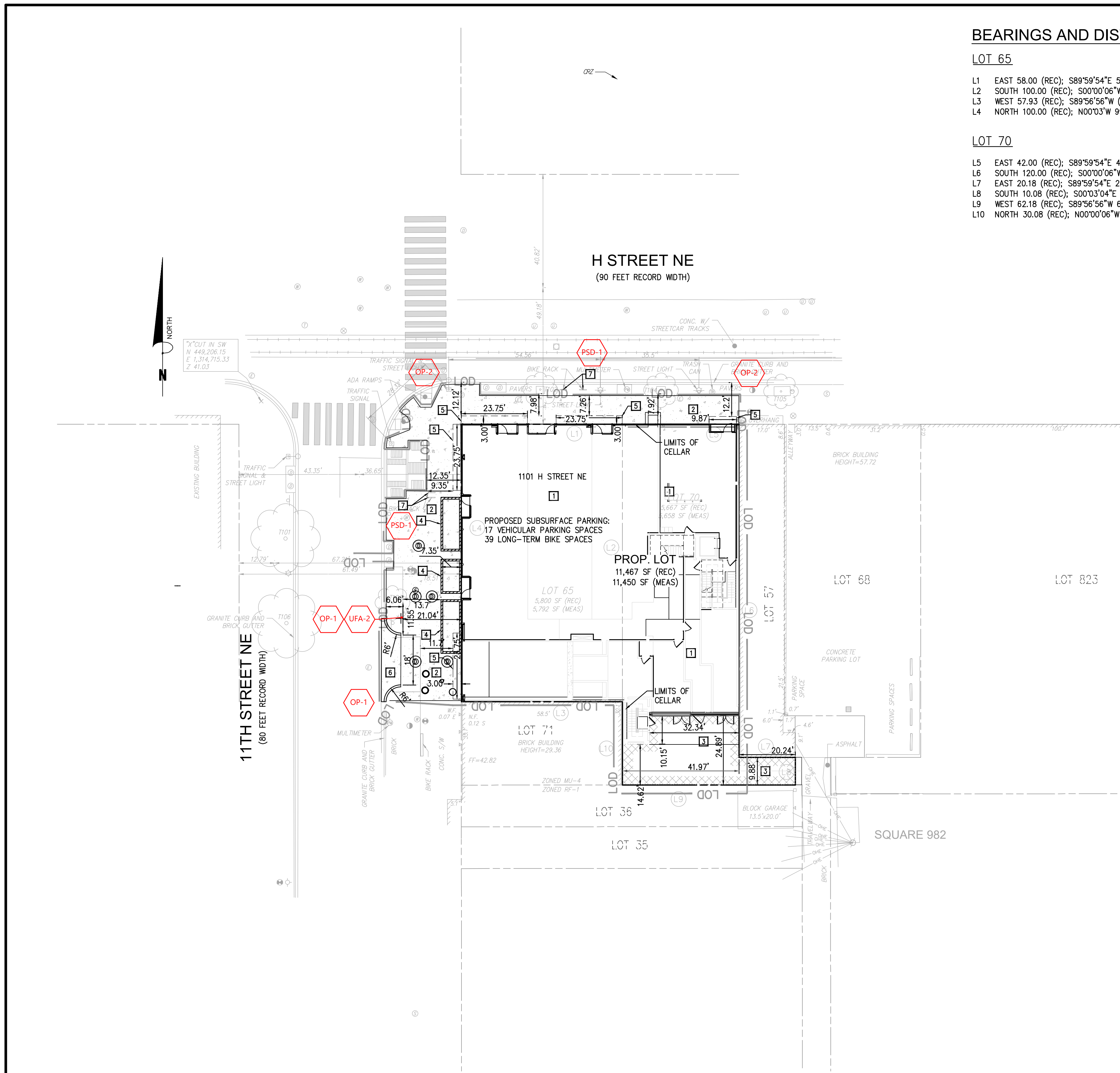
THE PROJECT SITE IS LOCATED AT 1101 H STREET NE, SQUARE 0982, LOT 65 IN THE NC-17 DISTRICT. PROPOSED DEVELOPMENT INCLUDES CONSTRUCTION OF A NEW 6 STORY WITH PENTHOUSE MIXED-USE BUILDING WITH GROUND FLOOR RETAIL, AND RESIDENTIAL ABOVE. CONSTRUCTION WILL ALSO INCLUDE THE INSTALLATION OF NEW SITE UTILITIES FOR SEWER, STORM DRAIN, FIRE PROTECTIONS, AND DOMESTIC WATER SERVICES. THE PROJECT WILL MEET THE DESIGN STANDARDS FOR STORMWATER MANAGEMENT, AS REQUIRED BY THE DISTRICT OF COLUMBIA.

PUBLIC SPACE NARRATIVE:

WITHIN 11TH STREET NE, THE EXISTING CURB CUT WILL BE REMOVED. THE PROPOSED CONSTRUCTION INCLUDES A NEW CURB CUT GARAGE ENTRANCE, NEW SIDEWALK, AND ORIEL WINDOW PROJECTIONS. WITHIN H STREET NE, THE PROPOSED CONSTRUCTION INCLUDES NEW SIDEWALK, ORIEL WINDOWS PROJECTIONS, AND A MARQUEE PROJECTION.

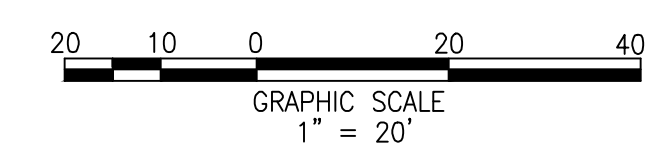
SITE KEYNOTES:

- 1 NEW BUILDING. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- 2 NEW CONCRETE SIDEWALK. REFER TO SHEET CIV0530 FOR STANDARD DDOT DETAILS 605.01
- 3 NEW ASPHALT PAVEMENT (NO VEHICULAR ACCESS). REFER TO SHEET CIV0530 FOR STANDARD DDOT DETAIL 215.01.
- 4 NEW TRANSFORMER VAULTS. REFER TO DRY UTILITY PLANS FOR DETAILS.
- 5 BUILDING OVERHANG, REFER TO ARCHITECTURAL PLANS FOR DETAILS
- 6 NEW DRIVEWAY ENTRANCE. REFER TO DDOT STANDARD DETAIL 504.01 ON SHEET CIV0530
- 7 EXISTING SHORT-TERM BICYCLE RACK TO REMAIN.



CAUTION!!
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MISS UTILITY
 CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.



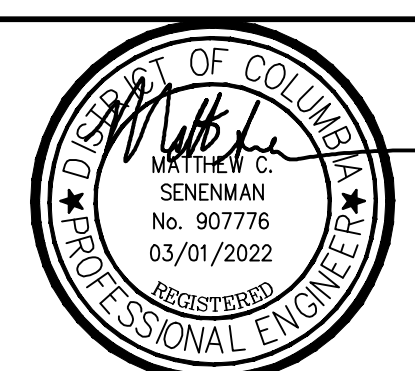
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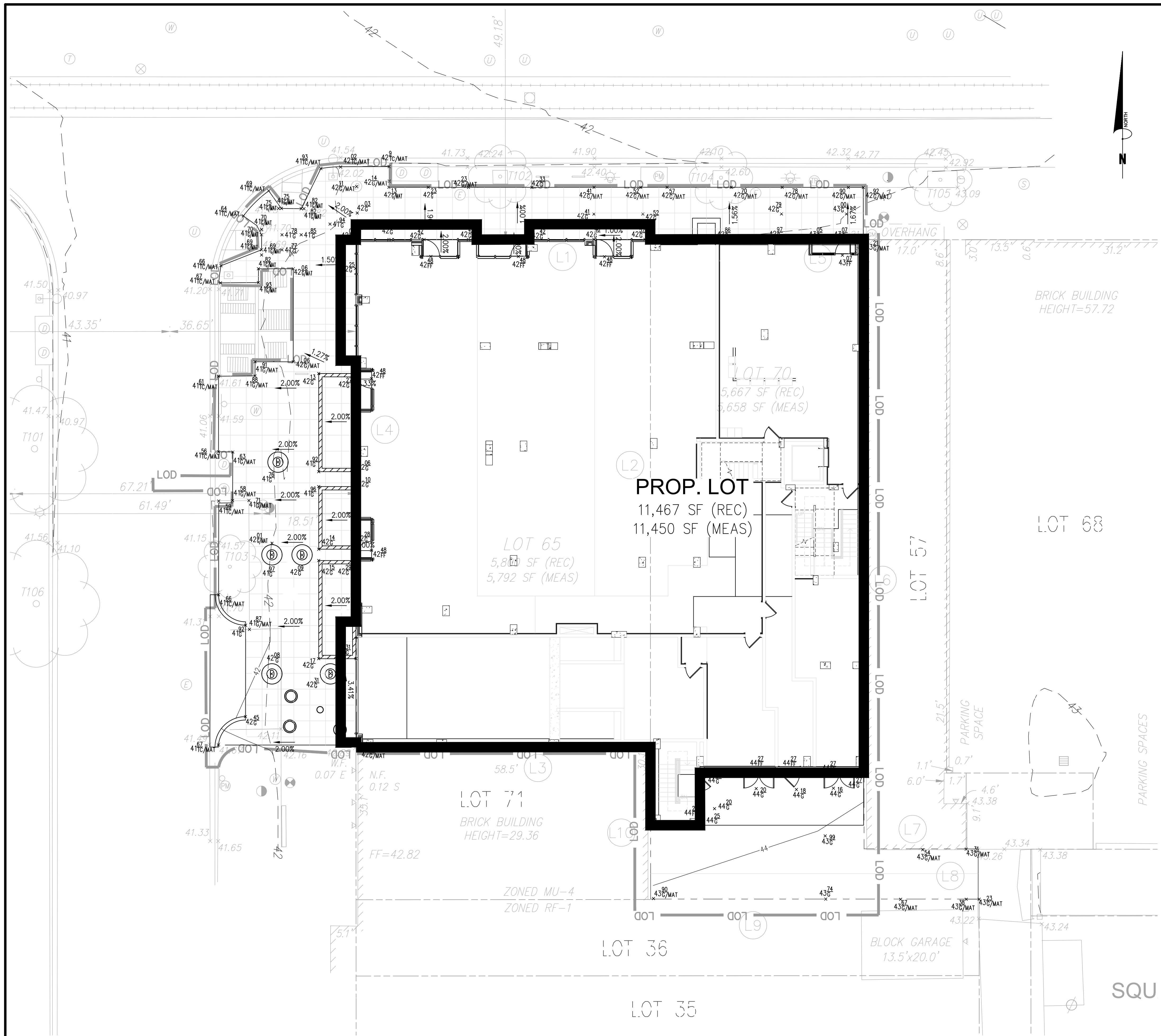
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SITE PLAN

1101 H ST. NE

CONSTRUCTION DOCUMENTS
 WASHINGTON, DC

SEAL					
PLAN STATUS					
NO.	DATE	DESCRIPTION			
2	9/22/21	PERMIT			
1	2/24/21	DESIGN DEVELOPMENT			
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%;">MCS DESIGN</td> <td style="width: 33%;">JNC DRAWN</td> <td style="width: 33%;">MCS CHKD</td> </tr> </table>			MCS DESIGN	JNC DRAWN	MCS CHKD
MCS DESIGN	JNC DRAWN	MCS CHKD			
SCALE		1" = 20'			
JOB No.		130133-01-001			
DATE		SEPTEMBER, 2021			
FILE No.					
SHEET		CIV0140			



SPOT SHOT LEGEND

- XXx x FINISHED FLOOR SPOT
- XXx x GROUND SPOT
- XXx x TOP OF CURB SPOT
- XXx x BOTTOM OF CURB SPOT
- XXx x TOP OF WALL SPOT
- XXx x BOTTOM OF WALL SPOT
- XXx x TOP OF STEPS SPOT
- XXx x BOTTOM OF STEPS SPOT
- XXx x MATCH EXISTING SPOT

CONTOUR LEGEND

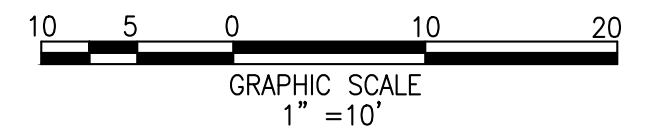
- 42- PROP. CONTOUR

BEARINGS AND DISTANCES

- LOT 65**
- L1 EAST 58.00 (REC); S89°59'54"E 58.03 (MEAS)
 - L2 SOUTH 100.00 (REC); S00°00'06"W 99.89 (MEAS)
 - L3 WEST 57.93 (REC); S89°56'56"W (MEAS)
 - L4 NORTH 100.00 (REC); N00°03'W 99.94 (MEAS)
- LOT 70**
- L5 EAST 42.00 (REC); S89°59'54"E 42.02 (MEAS)
 - L6 SOUTH 120.00 (REC); S00°00'06"W 120.00 (MEAS)
 - L7 EAST 20.18 (REC); S89°59'54"E 20.24 (MEAS)
 - L8 SOUTH 10.08 (REC); S00°03'04"E 9.89 (MEAS)
 - L9 WEST 62.18 (REC); S89°56'56"W 62.27 (MEAS)
 - L10 NORTH 30.08 (REC); N00°00'06"W 30.06 (MEAS)

CAUTION!!
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

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GRADING PLAN

1101 H ST. NE

CONSTRUCTION DOCUMENTS

WASHINGTON, DC

SEAL

PLAN STATUS

NO.	DATE	DESCRIPTION
2	9/22/21	PERMIT
1	2/24/21	DESIGN DEVELOPMENT

MCS DESIGN	JNC DRAWN	MCS CHKD
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SCALE 1" = 10'

JOB No. 130133-01-001

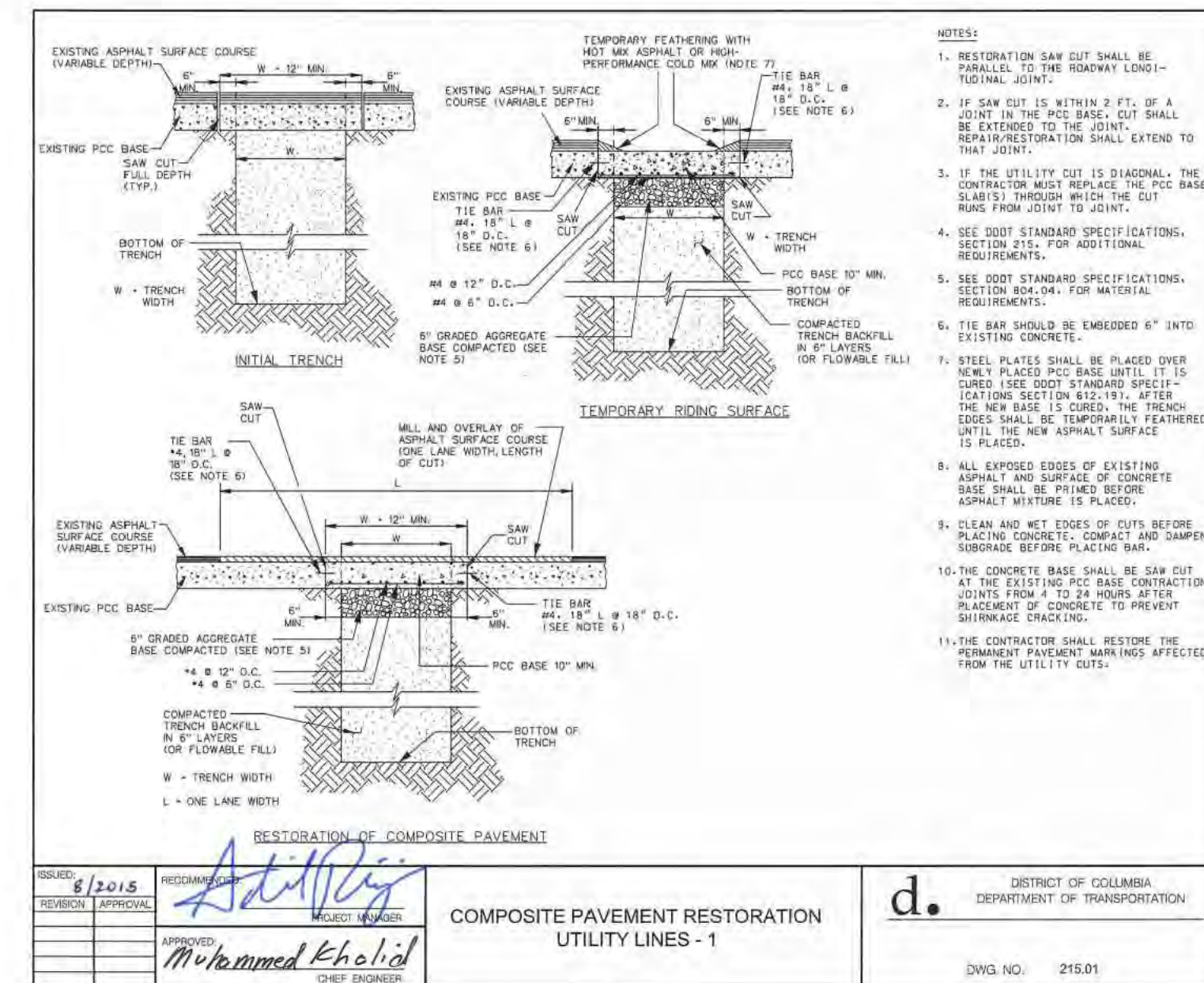
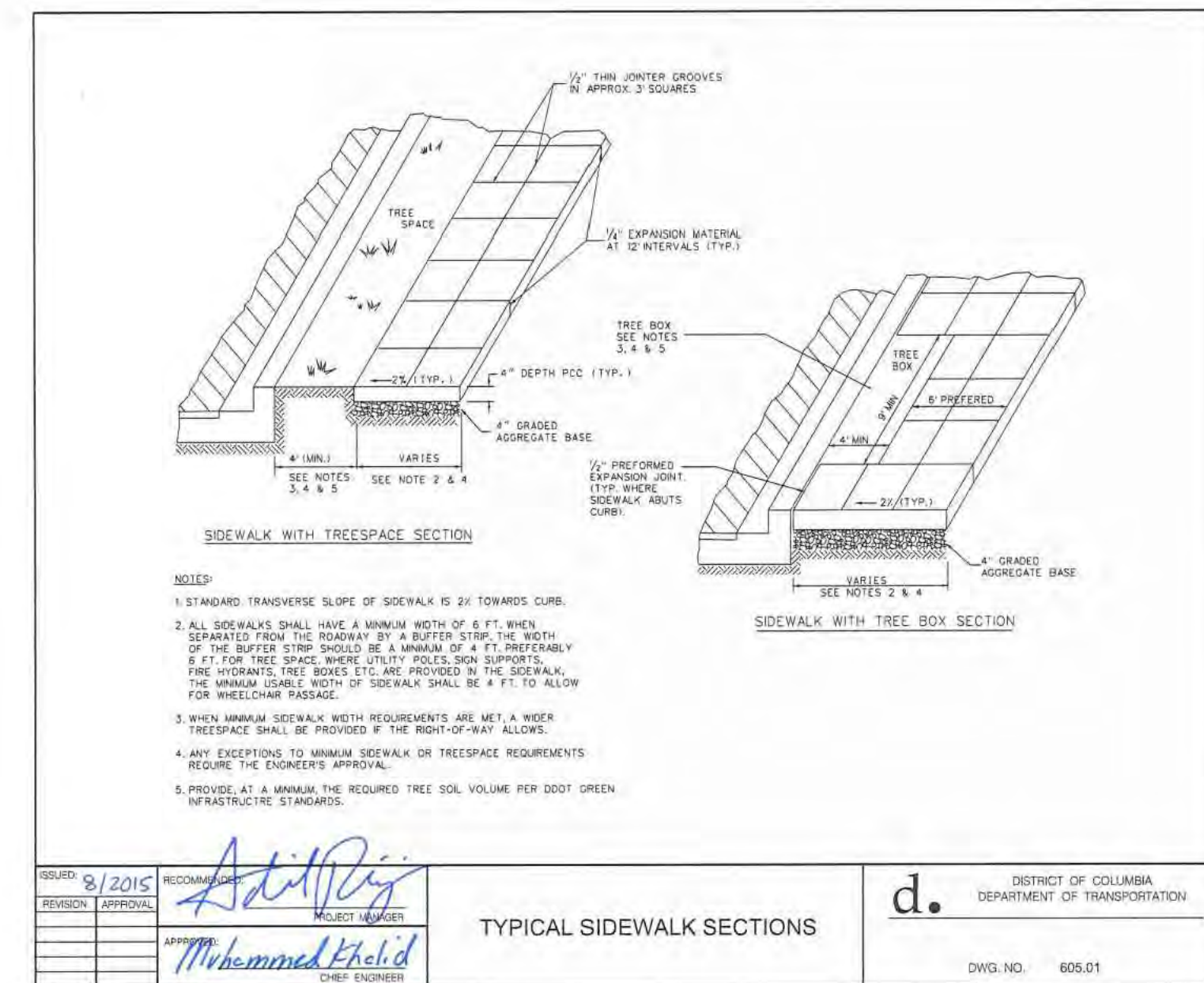
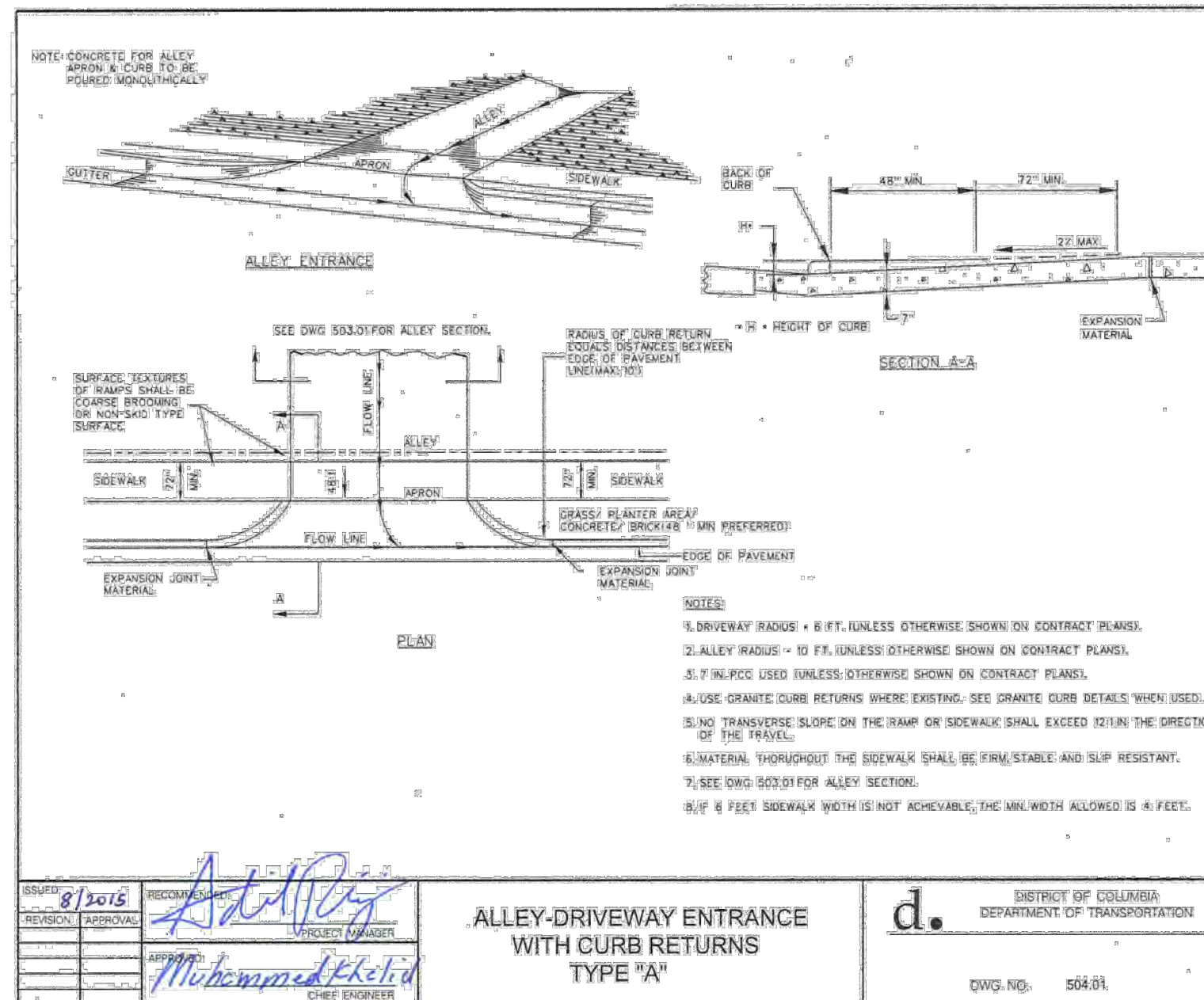
DATE SEPTEMBER, 2021

FILE No.

SHEET CIV0160

Pollution Prevention Good Housekeeping Stamp Notes

Fuels and Oils	On-site refueling will be conducted in a dedicated location away from access to surface waters. Install containment berms and, or secondary containments around refueling areas and storage tanks. Spills will be cleaned up immediately and contaminated soils disposed of in accordance with all federal and District of Columbia regulations. Petroleum products will be stored in clearly labeled tightly sealed containers. All vehicles on site will be monitored for leaks and receive regular preventive maintenance activities. Any asphalt substances used on site will be applied according to manufacturer's recommendations. Spill kits will be included with all fueling sources and maintenance activities.
Solid Waste	No solid materials shall be discharged to surface water. Solid materials including building materials, garbage and paint debris shall be cleaned up daily and deposited into dumpsters, which will be periodically removed and deposited into a landfill.
Abrasive Blasting	Water blasting, sandblasting, and other forms of abrasive blasting on painted surfaces built prior to 1978 may only be performed if an effective containment system prevents dispersal of paint debris.
Fertilizer	Fertilizers will be applied only in the minimum amounts recommended by the manufacturer, worked into the soil to limit exposure to stormwater, and stored in a covered shed. Partially used bags will be transferred to a sealable bin to avoid spills.
Paint and Other Chemicals	All paint containers and curing compounds will be tightly sealed and stored when not required for use. Excess paint will not be discharged to the storm sewers, but will be properly disposed of according to manufacturer's recommendations. Spray guns will be cleaned on a removable tarp. Chemicals used on site are kept in small quantities and in closed containers under cover and kept out of direct contact with stormwater. As with fuels and oils, any inadvertent spills will be cleaned up immediately and disposed of according to federal and District of Columbia regulations.
Concrete	Concrete trucks will not be allowed to wash out or discharge surplus concrete or drum wash on site, except in a specially designated concrete disposal area. Form release oil for decorative stone work will be applied over a pallet covered with an absorbent material to collect excess fluid. The absorbent material will be replaced and disposed of properly when saturated.
Water Testing	When testing and, or cleaning water supply lines, the discharge from the tested pipe will be collected and conveyed to a completed stormwater conveyance system for ultimate discharge into a stormwater best management practice (BMP).
Sanitary Waste	Portable lavatories located on site will be serviced on a regular basis by a contractor. Portable lavatories will be located in an upland area away from direct contact with surface waters. Any spills occurring during servicing will be cleaned immediately and contaminated soils disposed of in accordance with all federal and District of Columbia regulations.

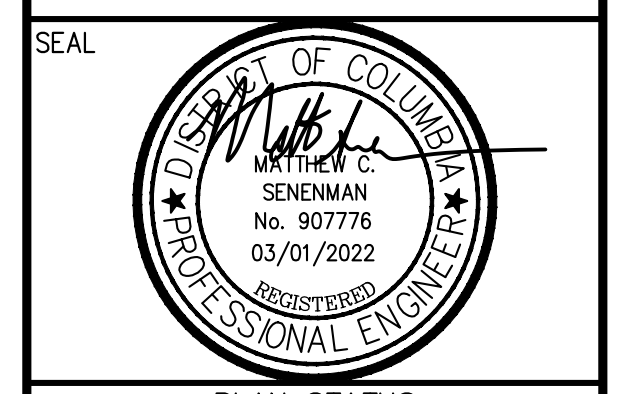


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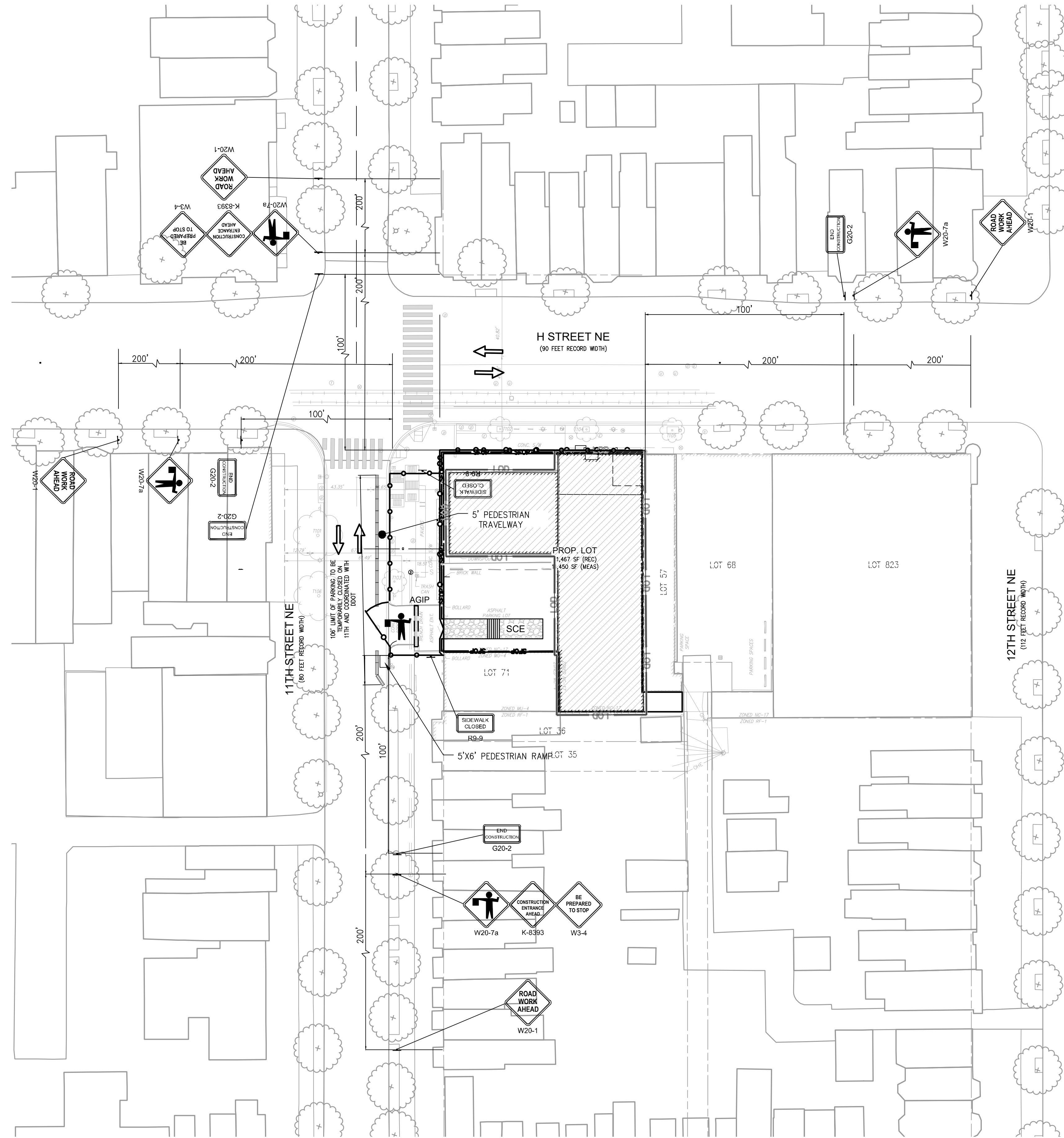
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SITE DETAILS

1101 H ST. NE
 CONSTRUCTION DOCUMENTS
 WASHINGTON, DC



PLAN STATUS		
2	9/22/21	PERMIT
1	2/24/21	DESIGN DEVELOPMENT
NO.	DATE	DESCRIPTION
MCS DESIGN	JNC DRAWN	MCS CHKD
SCALE AS SHOWN		
JOB No. 130133-01-001		
DATE SEPTEMBER, 2021		
FILE No.		
SHEET CIV0530		



PHASE 1

SCOPE OF WORK – 11TH STREET NE EAST SIDEWALK TO BE OCCUPIED AND ROUTED INTO EAST PARKING LANE. PARKING TO BE RESTRICTED ON 11TH STREET NE.

WORK HOURS – BETWEEN 9:30 AM AND 3:30 PM ON MONDAY THRU FRIDAY

DURATION – ONE (1) MONTH

LEGEND

SIGN	
TRAFFIC DIRECTION	
WORK AREA	
TRAFFIC CONE	
TRAFFIC BARRIER	
SAFETY FENCE ON PAVEMENT	
STABILIZED CONSTRUCTION ENTRANCE	

SHEET LIST:

- TCP-1 TRAFFIC CONTROL PLAN – CONSTRUCTION PHASE 1
- TCP-2 TRAFFIC CONTROL PLAN – CONSTRUCTION PHASE 2
- TCP-3 TRAFFIC CONTROL PLAN – NOTES

CAUTION!!

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MISS UTILITY

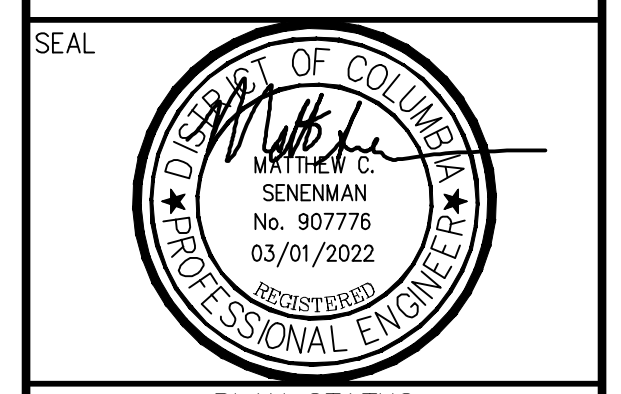
CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

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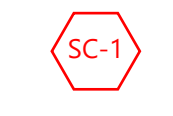
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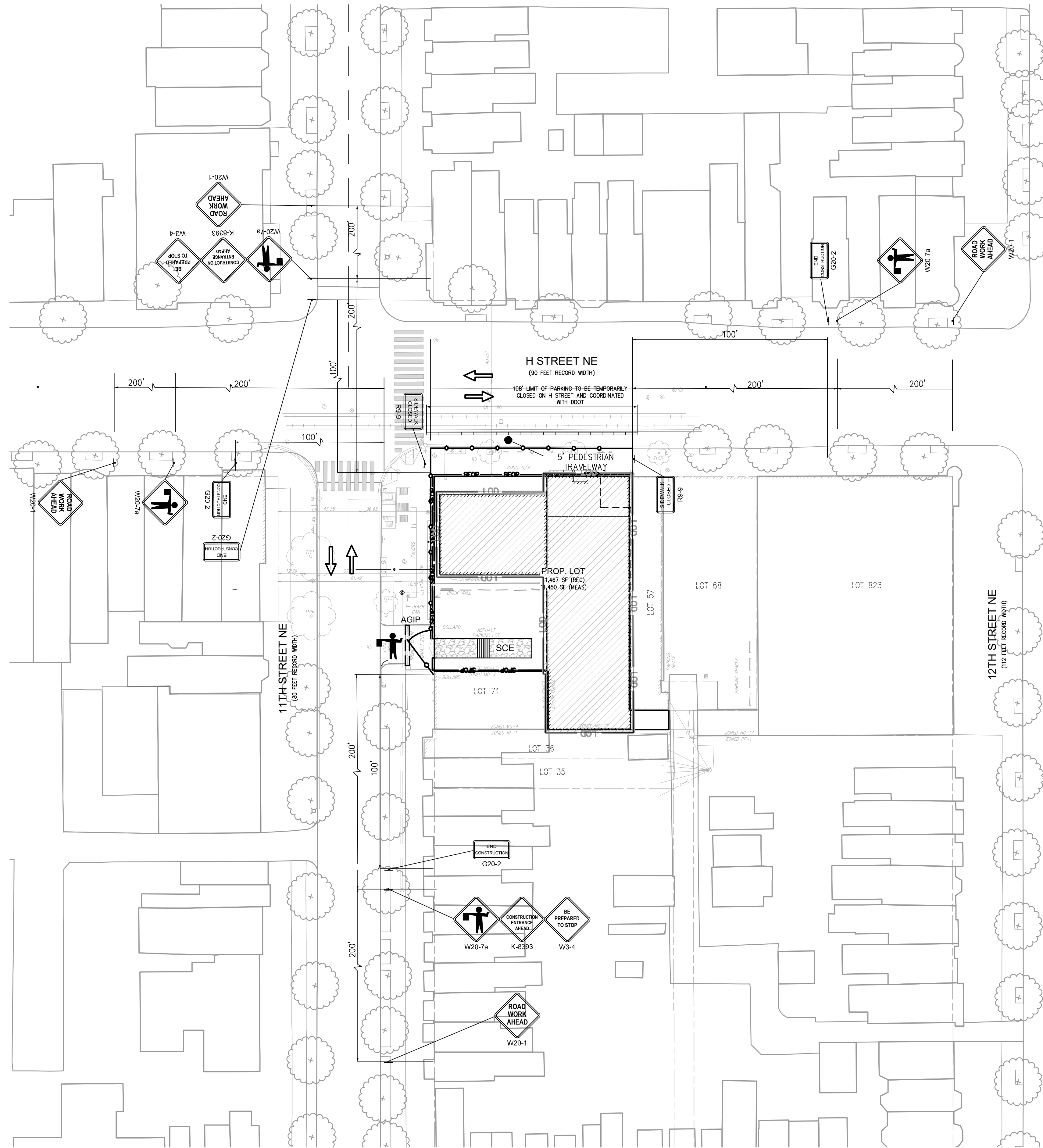
TRAFFIC CONTROL PLAN -
CONSTRUCTION PHASE 1

1101 H ST. NE
CONSTRUCTION DOCUMENTS
WASHINGTON, DC



PLAN STATUS		
NO.	DATE	DESCRIPTION
2	9/22/21	PERMIT
1	2/24/21	DESIGN DEVELOPMENT
MCS DESIGN JNC DRAWN MCS CHKD		
SCALE		1" = 30'
JOB No.	130133-01-001	
DATE	SEPTEMBER, 2021	
FILE No.		
SHEET	TCP-1	





PHASE 2

SCOPE OF WORK – H STREET NE SOUTH SIDEWALK TO BE OCCUPIED AND ROUTED INTO SOUTH PARKING LANE. PARKING TO BE RESTRICTED ON H STREET NE.

WORK HOURS – BETWEEN 9:30 AM AND 3:30 PM ON MONDAY THRU FRIDAY

DURATION – ONE (1) MONTH

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TRAFFIC CONTROL PLAN -
 CONSTRUCTION PHASE 1

1101 H ST. NE
 CONSTRUCTION DOCUMENTS
 WASHINGTON, DC

LEGEND

- SIGN
- TRAFFIC DIRECTION
- WORK AREA
- TRAFFIC CONE
- TRAFFIC BARRIER
- SAFETY FENCE ON PAVEMENT
- STABILIZED CONSTRUCTION ENTRANCE

CAUTION!!

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PLAN STATUS		
NO.	DATE	DESCRIPTION
2	9/22/21	PERMIT
1	2/24/21	DESIGN DEVELOPMENT
MCS DESIGN JNC DRAWN MCS CHKD		
SCALE		1" = 30'
JOB No.	130133-01-001	
DATE	SEPTEMBER, 2021	
FILE No.		
SHEET	TCP-2	

ELEVATION KEYNOTES

- E1 EXISTING BRICK FACADE TO REMAIN, CLEAN & REPAIR AS NECESSARY
- E2 EXISTING BRICK SILL TO REMAIN
- E3 EXISTING FACADE ORNAMENTATION TO REMAIN & BE CLEANED
- E5 ALUM. STOREFRONT WINDOWS &/OR DOORS, SEE WINDOW SCHEDULE
- E6 ENTRANCE CANOPY
- E8 BRICK COLOR 2 - ENDICOTT SIENNA IRONSPOT SMOOTH
- E9 BRICK COLOR 3 - BELDEN SEA GRAY VELOUR Section E
- E10 METAL PANEL - REFER FINISH SCHEDULE
- E11 12" GALV. STL. CHANNEL PTD. SW 6990 CAVIAR REFER STRUCTURAL
- E14 ALUM. WINDOW AS SCHEDULED - DARK BRONZE
- E15 CAST STONE COPING AS SCHEDULED
- E18 CMU WALL
- E19 MECH. SCREEN - REFER DETAILS ON A505
- E20 GALV. STL. GUARDRAIL
- E22 SOLAR PANEL
- E23 IPE WOOD CLAD PRIVACY PARTITION
- E26 CAST STONE SILL AS SCHEDULED
- E28 PREFIN. MTL. GUTTER - PAC CLAD SIERRA TAN
- E31 NEW ALUM. WINDOW AS SCHEDULED IN EXISTING OPENING - CHAMPAGNE ANODIZED FINISH
- E34 ALUM. LOUVER, SEE WINDOW SCHEDULE
- E35 ALUM. WINDOW, SEE WINDOW SCHEDULE
- E43 PTD. STL. ANGLE & CABLE GREEN SCREEN, SEE DETAILS ON A512
- E44 LIGHT FIXTURE, SEE RCPS
- E46 PREFIN. MTL. DOWNSPOUT
- E47 PTD. STL. EDGING @ GREENROOF - REFER DETAIL 3/A54
- E48 PTD. STL. POST - SEE STRUCTURAL
- E49 NEW TEXTURED ELASTOMERIC FINISH OVER EXISTING/ NEW MASONRY AND CONCRETE, MATCH COLOR OF EXISTING ADJACENT STONE Section E
- E51 PTD FIN EXT GWB SOFFIT ON MTL. HAT CHANNELS ON NON-METALLIC GIRTS - SEE 6/A202
- E52 OVERFLOW SCUPPER - SEE DETAILS

AIRDOME, LLC

3400 IDAHO AVENUE, N.W., #500
WASHINGTON, D.C. 20016



717 5TH STREET NW WASHINGTON, DC 20001

STRUCTURAL
EHLERT BRYAN
8609 WESTWOOD CENTER DRIVE, SUITE 800
TYSONS, VA 22182

CIVIL/LANDSCAPE
BOWMAN CONSULTING GROUP, LTD
888 17TH ST NW, SUITE 510
WASHINGTON, DC 20006

MEP
SUMMIT ENGINEERS, INC
5307 LEE HWY
ARLINGTON, VA 22207

LEED
SUSTAINABLE DESIGN CONSULTING
1432 K STREET NW, 3RD FLOOR
WASHINGTON, DC 20005

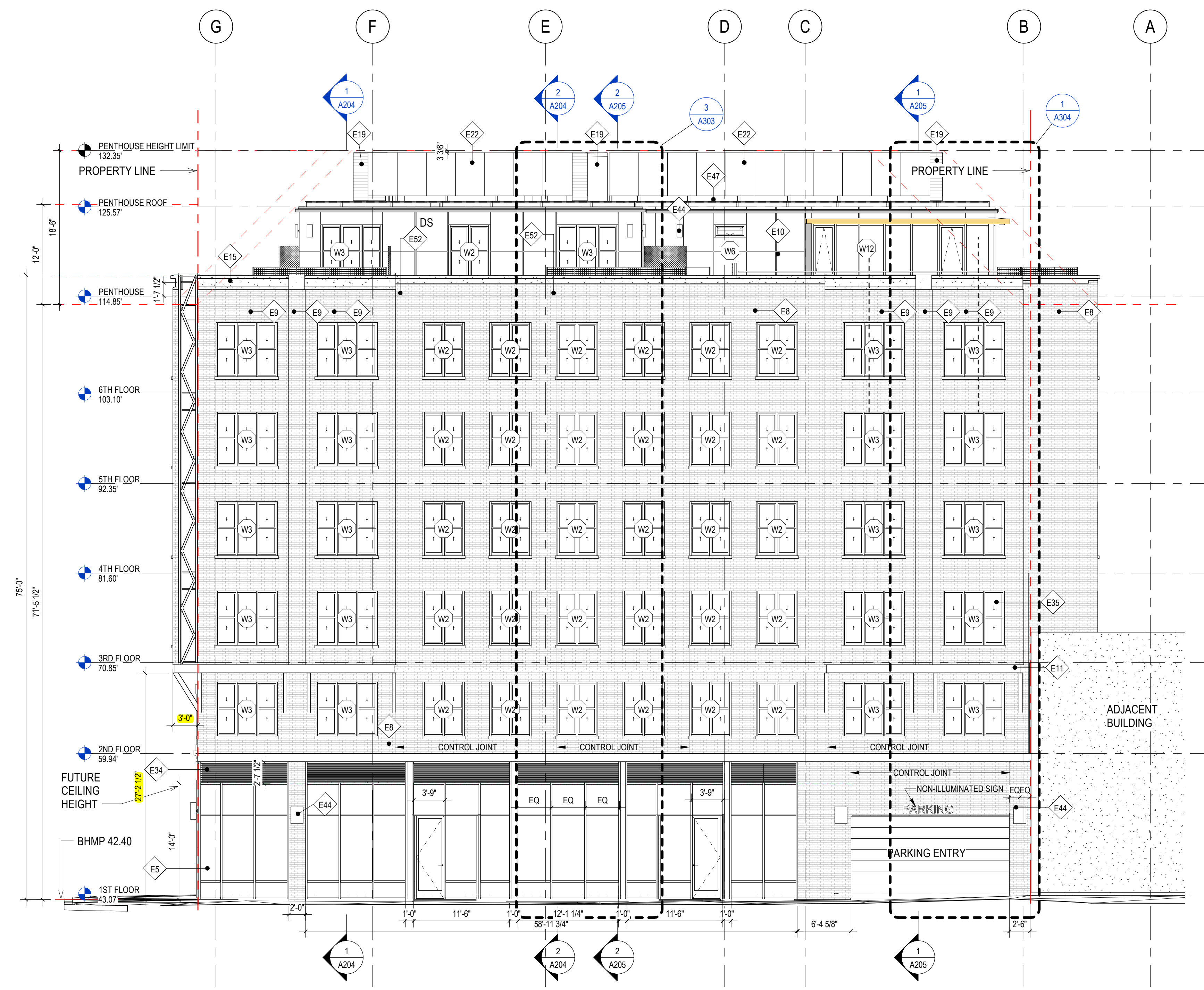
**1101 H STREET
NE**

1101 H ST NE, WASHINGTON,
DC 20002

JOB NO.	DATE	DESCRIPTION
2	10/05/21	DESIGN DEVELOPMENT
3	01/01/21	PERMIT SUBMISSION
4	9/22/21	PERMIT
5	11/22/21	PERMIT
6	9/29/21	100% CD
7	02/03/22	PERMIT SUBMISSION



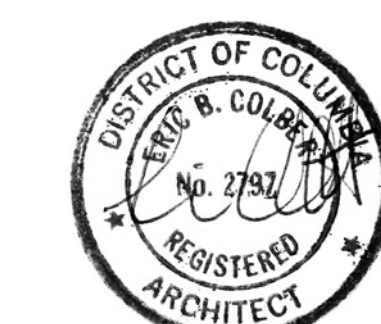
1 NORTH FACADE - BUILDING ELEVATION
A201 1/8" = 1'-0" REF: 2/A154



2 WEST FACADE - BUILDING ELEVATION
A201 1/8" = 1'-0"

ELEVATION NOTES

1. REFER TO THE A806 SERIES DRAWINGS FOR EXTERIOR MATERIAL SCHEDULE.
2. ALL WINDOW CONTROL HARDWARE TO BE MIN. 15" AFF AND MAX. 48" AFF.
3. TEMPERED GLASS TO BE PROVIDED IN ALL WINDOWS WHERE THE BOTTOM OF THE GLASS IS LESS THAN 18" ABOVE THE ADJACENT FLOOR, IN DOORS, ADJACENT TO DOORS AND ELSEWHERE AS REQUIRED BY THE BUILDING CODE. SEE D200 SEC. 2406.
4. PROVIDE LOUVERS WHERE SHOWN. LOUVERS SHALL BE 4" DEEP 50% FREE AREA. PROVIDE INSULATED BLANKING PANELS ON RETAIL FRONTAGE. GARAGE OUTSIDE AIR LOUVERS SHALL BE HAVE INSECT MESH. LOUVERS IN PLUNCHED OPENINGS ARE SHOWN IN THE LOUVER SCHEDULE ON DRAWING A8...
5. ROOF AND ACCESSORIES SHALL BE ASSEMBLED IN ACCORDANCE WITH SMCNACTR8 #5-09 AND #1-08 AND THE SMCNACTR MANUAL TO ES-1-2003 FOR THE WIND UPLIFTLLOADS INDICATED ON STRUCTURAL DRAWINGS.
6. PROVIDE EXPANSION JOINTS IN BRICKWORK AS FOLLOWS: INTERNAL CORNERS AND AT A MINIMUM OF 20' O.C. VERTICALLY. PROVIDE A VERTICAL EXPANSION JOINT ON AT LEAST ONE SIDE OF WINDOW/DOOR OPENINGS.
7. PROVIDE SCREENS AT ALL OPERABLE WINDOW UNITS.



BUILDING ELEVATIONS

DRAWING TITLE
SCALE: 1/8" = 1'-0"
A201

BEARINGS AND DISTANCES

LOT 65

- L1 EAST 58.00 (REC); S89°59'54"E 58.03 (MEAS)
- L2 SOUTH 100.00 (REC); S00°00'06"W 99.89 (MEAS)
- L3 WEST 57.93 (REC); S89°56'56"W 59.89 (MEAS)
- L4 NORTH 100.00 (REC); N00°03'W 99.94 (MEAS)

LOT 70

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- L6 SOUTH 120.00 (REC); S00°00'06"W 120.00 (MEAS)
- L7 EAST 20.18 (REC); S89°59'54"E 20.24 (MEAS)
- L8 SOUTH 10.08 (REC); S00°03'04"E 9.89 (MEAS)
- L9 WEST 62.18 (REC); S89°56'56"W 62.27 (MEAS)
- L10 NORTH 30.08 (REC); N00°00'06"W 30.06 (MEAS)

DEMOLITION CONTROL NARRATIVE:

INSTALL SEDIMENT AND EROSION CONTROL SILT FENCE AROUND BUILDING. LOADING OF DEBRIS WILL TAKE PLACE IN PARKING LOT SOUTH WEST OF THE OF THE EXISTING BUILDINGS. EXPOSED AREA TO BE COVERED WITH BRICKBAT AFTER DEMOLITION FOR GROUND COVER ONCE BUILDING SLAB HAS BEEN REMOVED. CONTROLS TO BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION AND REMOVED AFTER STABILIZATION. CONTACT DEPARTMENT OF ENERGY AND ENVIRONMENT, WATERSHED PROTECTION DIVISION AT 202-535-2240 TO SCHEDULE PRE-CONSTRUCTION MEETING.

DEMOLITION SEQUENCE:

1. CONTACT DC-WATERSHED PROTECTION DIVISION AT 202-535-2240 TO SCHEDULE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.
2. INSTALL SILT FENCE AND SAFETY FENCE AROUND PERIMETER OF PROPOSED WORK AS INDICATED.
3. INSTALL INLET AND TREE PROTECTION AS INDICATED. CONTRACTOR TO INSTALL INLET PROTECTION AT NEAREST DOWNSTREAM STORM INLET PRIOR TO THE LAND-DISTURBING ACTIVITY.
4. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
5. REMOVE OR ABANDON EXISTING UTILITY CONNECTIONS AND PIPES.
6. KNOCK DOWN TWO EXISTING BUILDINGS.
6. REMOVE DEBRIS FROM SITE BY TRUCK.
7. STABILIZE ALL DISTURBED AREAS WITH SEED AND STRAW AS TEMPORARY GROUND COVER.

NOTES:

1. EXISTING UTILITIES ON THE EXISTING BUILDING THAT ARE NOT SHOWN ON THIS PLAN TO BE REMOVED AT THE MAIN IF NOT REQUIRED FOR FUTURE SERVICE. COORDINATE REQUIREMENTS WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO REMOVAL.
2. EXISTING WATER SERVICE LATERAL, VALVES, AND TEES NOT SHOWN ON PLAN TO BE REMOVED AND CAPPED AT MAIN PER DC WATER STANDARDS AND SPECIFICATIONS.
3. EXISTING SEWER SERVICE LATERAL AND RELATED APPURTENANCES NOT SHOWN ON THIS PLAN TO BE REMOVED WITH BULKHEAD AT MAIN PER DC WATER STANDARDS AND SPECIFICATIONS.
4. CONTRACTOR TO INSTALL INLET PROTECTION AT THE NEAREST DOWNSTREAM STORM INLET PRIOR TO THE LAND-DISTURBING ACTIVITY. REFER TO SHEET CIV0520 FOR DETAILS.
5. SEDIMENT TRAPS OR BASINS AND OTHER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED NO LATER THAN THE FIRST PHASE OF LAND GRADING.
6. SEDIMENT TRAPS OR BASINS AND OTHER ESCS SHALL BE INSTALLED AS SOON AS NEW SITE-RELATED RUNOFF IS DETECTED AND EMPLOYED AT ALL TIMES TO PROTECT INLETS OR STORM SEWERS BELOW SILT-PRODUCING AREAS
7. NO LATER THAN THE FIRST DAY OF CONSTRUCTION, INSTALL SITE ACCESS MEASURES TO MINIMIZE OFF-SITE VEHICLE TRACKING OF SEDIMENTS. EACH CONSTRUCTION ENTRANCE MUST BE STABILIZED AND INCLUDE EACH ADDITIONAL MEASURE REQUIRED TO KEEP SEDIMENT FROM BEING CARRIED ONTO PUBLIC STREETS BY CONSTRUCTION VEHICLES AND WASHED INTO A STORM DRAIN OR WATERWAYS.
8. REMOVE OFF-SITE ACCUMULATION OF SEDIMENT DAILY DURING CONSTRUCTION AND IMMEDIATELY AT THE REQUEST OF A DOEE INSPECTOR.
9. IMMEDIATELY AFTER DEBRIS BASINS, DIVERSIONS, WATERWAYS, AND RELATED STRUCTURES ARE BUILT, SEED AND MULCH, OR INSTALL SOD & STABILIZATION BLANKET
10. PERFORM ROUTINE MAINTENANCE TO PREVENT ANY NEW DESTABILIZED AREAS.
11. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF GUTTERS AND DOWNSPOUTS AS SOON AS PRACTICABLE.
12. MEASURES SHALL BE TAKEN TO ACHIEVE A NON-ERODING VELOCITY FOR STORMWATER EXITING FROM A ROOF OR DOWNSPOUT OR TO TEMPORARILY PIPE THAT STORMWATER DIRECTLY TO A STORM DRAIN

SITE DISTURBANCE:

TOTAL SITE AREA: 11,450 OR 0.26 AC.
 LOT 65: 5,792 SF OR 0.13 AC.
 LOT 70: 5,658 SF OR 0.13 AC.

RAZE AREA OF DISTURBANCE: 8,465 SF OR 0.19 AC.
 TOTAL VOLUME OF BUILDING TO BE REMOVED: 5,299 CUBIC YARDS
 1101 H STREET: 1,071 CUBIC YARDS (2,225 SF BLDG FOOTPRINT TO BE REMOVED, 13' HEIGHT)
 1107 H STREET: 4,228 CUBIC YARDS (5,548 SF BLDG FOOTPRINT TO BE REMOVED; 874 SF OF 29' HEIGHT, 4674 SF OF 19' HEIGHT)

CHAPTER 21 DCMR § 517 STORMWATER MANAGEMENT EXEMPTIONS

THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORM WATER MANAGEMENT REQUIREMENTS:

- CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS
- REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL

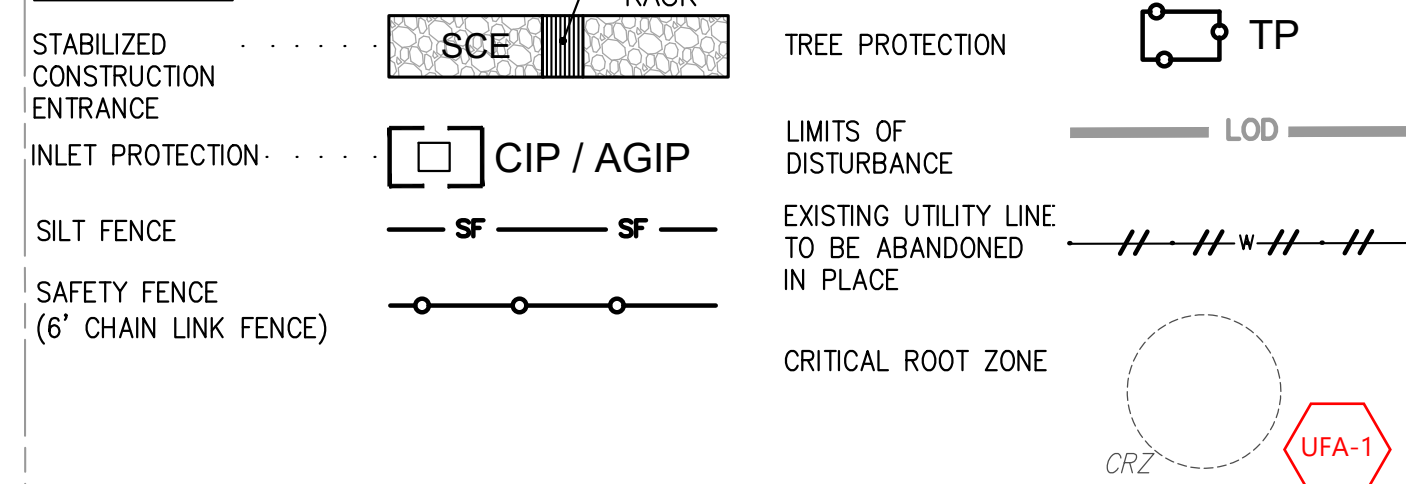
DUST CONTROL NOTES:

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
 - B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
 - C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
 - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

TREE AND ROOT PROTECTION NOTES:

ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) - SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE THE CONFLICTING WORK.

LEGEND

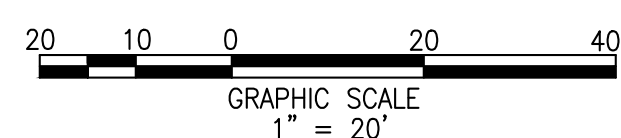


DEMOLITION NOTE:

CONTRACTOR TO BE COMPLIANT WITH BUILDING SITE WASTE MANAGEMENT DURING THE RAZING / SITE PREPARATION PER 2013 DCMR GREEN, 406 AND 503.

UNDERGROUND UTILITY WORK NOTES:

1. WHEN CONDUCTING UNDERGROUND UTILITY WORK DO NOT OPEN MORE THAN FIVE HUNDRED LINEAR FEET (500 FT) OF TRENCH AT ANY ONE TIME.
2. FILTER WATER PUMPED OUT OF TRENCH EXCAVATIONS PRIOR TO DISCHARGING TO THE STORM SYSTEM.
3. PLACE EXCAVATED MATERIAL FOR UTILITY WORK ON THE UPHILL SIDE OF A TRENCH.
4. INSTALL INTERIM OR PERMANENT STABILIZATION IMMEDIATELY AFTER A UTILITY TRENCH IS REFILLED.
5. STEEL PROTECTION PLATES SHALL BE USED BY CONTRACTOR TO PROTECT OPEN EXCAVATED AREAS. ALL OPEN TRENCHES IN THE PUBLIC SPACE WHICH ARE NOT BACKFILL AND COMPACTED BY THE END OF EACH WORK DAY SHALL BE PLATED.



CAUTION!!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

MISS UTILITY

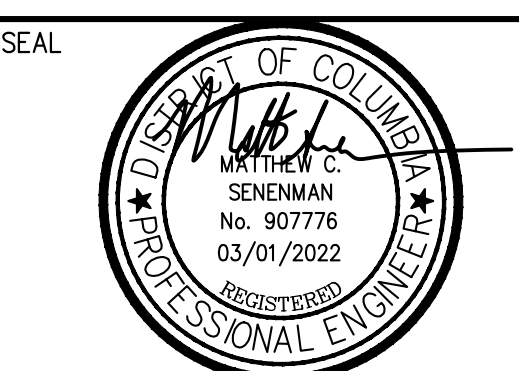
CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

Bowman

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 Washington, DC 20006
 Phone: (202) 750-2474
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EROSION AND SEDIMENT CONTROL PLAN - RAZE

1101 H ST. NE
 CONSTRUCTION DOCUMENTS
 WASHINGTON, DC



PLAN STATUS		
NO.	DATE	DESCRIPTION
2	9/22/21	PERMIT
1	2/24/21	DESIGN DEVELOPMENT
MCS DESIGN JNC DRAWN MCS CHKD		
SCALE		1" = 20'
JOB No.	130133-01-001	
DATE	SEPTEMBER, 2021	
FILE No.	CIV0131	
SHEET		

BEARINGS AND DISTANCES

LOT 65

- L1 EAST 58.00 (REC); S89°59'54"E 58.03 (MEAS)
- L2 SOUTH 100.00 (REC); S00°00'06"W 99.89 (MEAS)
- L3 WEST 57.93 (REC); S89°56'56"W 59.89 (MEAS)
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- L5 EAST 42.00 (REC); S89°59'54"E 42.02 (MEAS)
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- L9 WEST 62.18 (REC); S89°56'56"W 62.27 (MEAS)
- L10 NORTH 30.08 (REC); N00°00'06"W 30.06 (MEAS)

DEMOLITION CONTROL NARRATIVE:

INSTALL SEDIMENT AND EROSION CONTROL SILT FENCE AROUND BUILDING. LOADING OF DEBRIS WILL TAKE PLACE IN PARKING LOT SOUTH WEST OF THE OF THE EXISTING BUILDINGS. EXPOSED AREA TO BE COVERED WITH BRICKBAT AFTER DEMOLITION FOR GROUND COVER ONCE BUILDING SLAB HAS BEEN REMOVED. CONTROLS TO BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION AND REMOVED AFTER STABILIZATION. CONTACT DEPARTMENT OF ENERGY AND ENVIRONMENT, WATERSHED PROTECTION DIVISION AT 202-535-2240 TO SCHEDULE PRE-CONSTRUCTION MEETING.

DEMOLITION SEQUENCE:

1. CONTACT DC-WATERSHED PROTECTION DIVISION AT 202-535-2240 TO SCHEDULE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.
2. INSTALL SILT FENCE AND SAFETY FENCE AROUND PERIMETER OF PROPOSED WORK AS INDICATED.
3. INSTALL INLET AND TREE PROTECTION AS INDICATED. CONTRACTOR TO INSTALL INLET PROTECTION AT NEAREST DOWNSTREAM STORM INLET PRIOR TO THE LAND-DISTURBING ACTIVITY.
4. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
5. REMOVE OR ABANDON EXISTING UTILITY CONNECTIONS AND PIPES.
6. KNOCK DOWN TWO EXISTING BUILDINGS.
6. REMOVE DEBRIS FROM SITE BY TRUCK.
7. STABILIZE ALL DISTURBED AREAS WITH SEED AND STRAW AS TEMPORARY GROUND COVER.

NOTES:

1. EXISTING UTILITIES ON THE EXISTING BUILDING THAT ARE NOT SHOWN ON THIS PLAN TO BE REMOVED AT THE MAIN IF NOT REQUIRED FOR FUTURE SERVICE. COORDINATE REQUIREMENTS WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO REMOVAL.
2. EXISTING WATER SERVICE LATERAL, VALVES, AND TEES NOT SHOWN ON PLAN TO BE REMOVED AND CAPPED AT MAIN PER DC WATER STANDARDS AND SPECIFICATIONS.
3. EXISTING SEWER SERVICE LATERAL AND RELATED APPURTENANCES NOT SHOWN ON THIS PLAN TO BE REMOVED WITH BULKHEAD AT MAIN PER DC WATER STANDARDS AND SPECIFICATIONS.
4. CONTRACTOR TO INSTALL INLET PROTECTION AT THE NEAREST DOWNSTREAM STORM INLET PRIOR TO THE LAND-DISTURBING ACTIVITY. REFER TO SHEET CIV0520 FOR DETAILS.
5. SEDIMENT TRAPS OR BASINS AND OTHER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED NO LATER THAN THE FIRST PHASE OF LAND GRADING.
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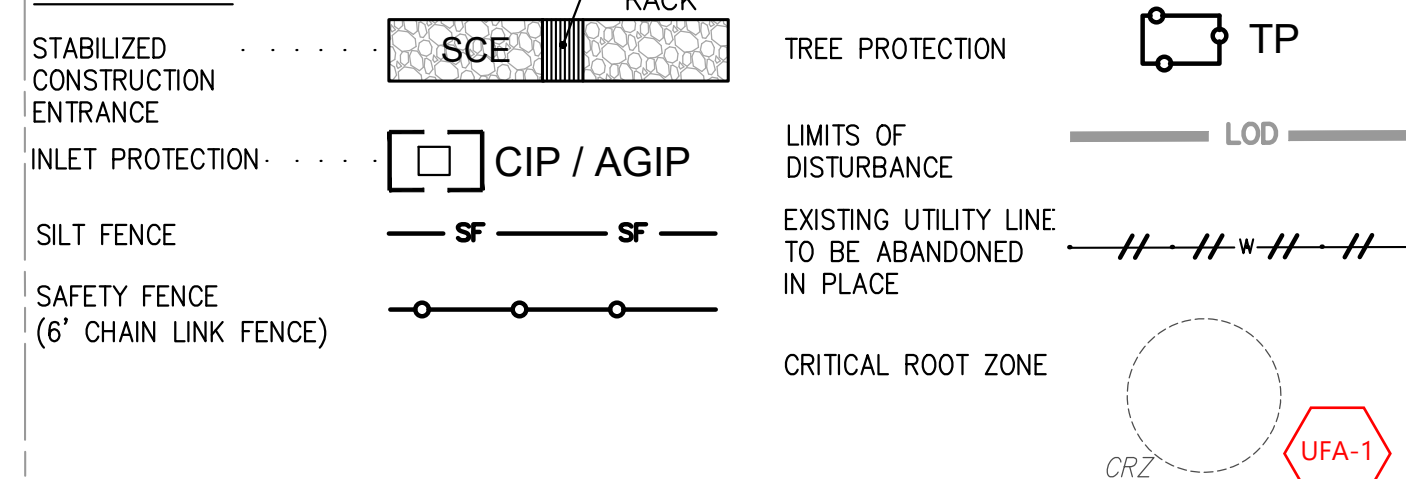
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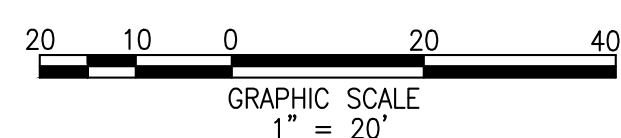


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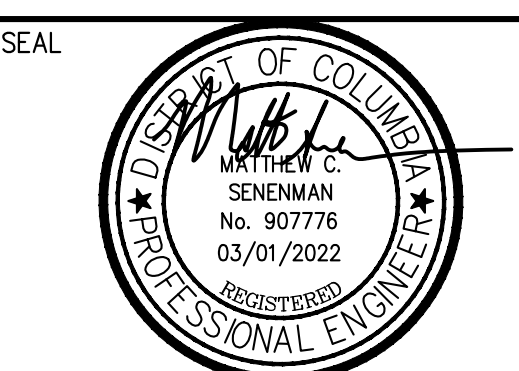
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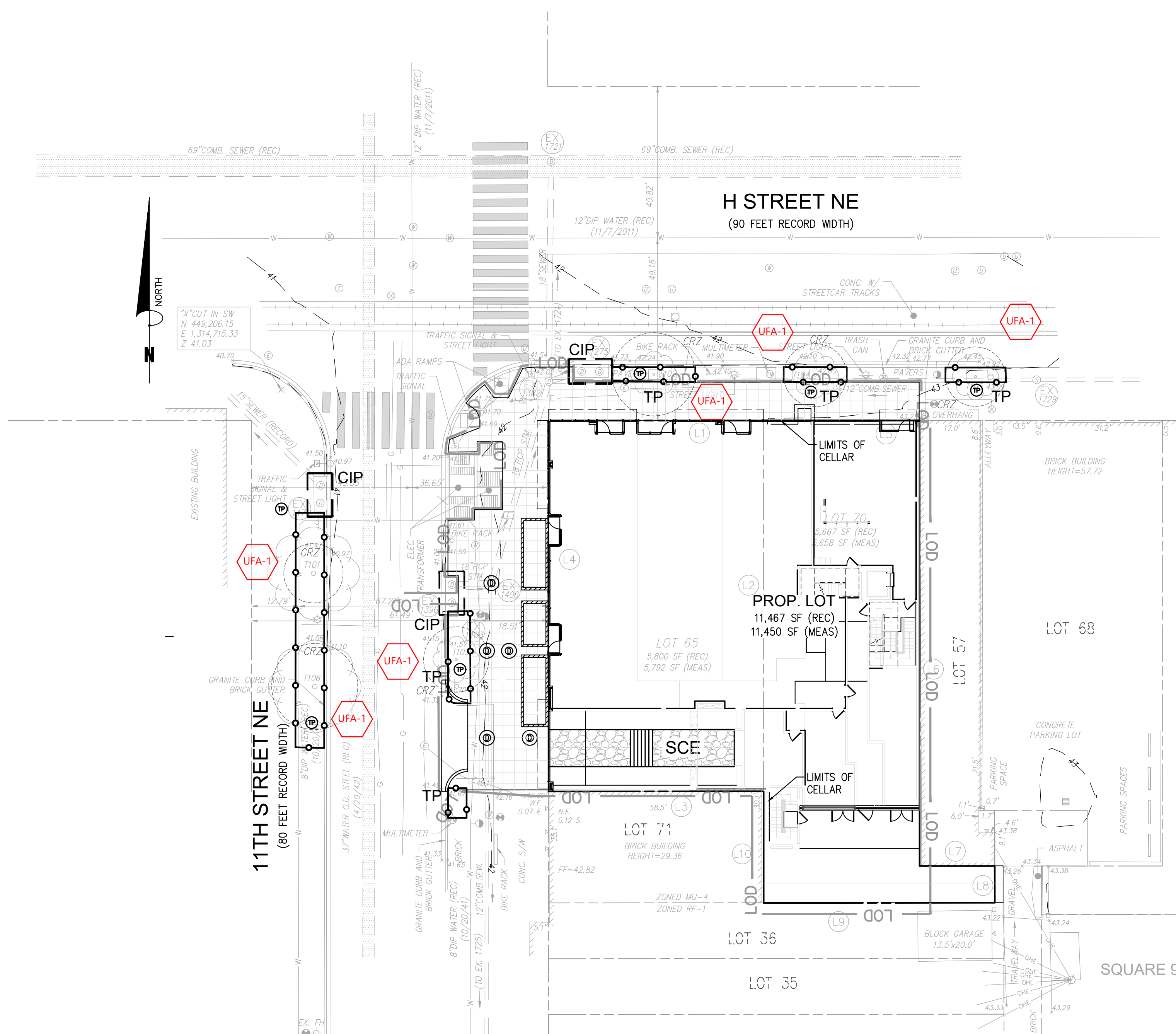
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EROSION AND SEDIMENT CONTROL PLAN - RAZE

1101 H ST. NE
 CONSTRUCTION DOCUMENTS
 WASHINGTON, DC



PLAN STATUS		
NO.	DATE	DESCRIPTION
2	9/22/21	PERMIT
1	2/24/21	DESIGN DEVELOPMENT
MCS DESIGN JNC DRAWN MCS CHKD		
SCALE		1" = 20'
JOB No.	130133-01-001	
DATE	SEPTEMBER, 2021	
FILE No.	CIV0131	
SHEET		



BEARINGS AND DISTANCES

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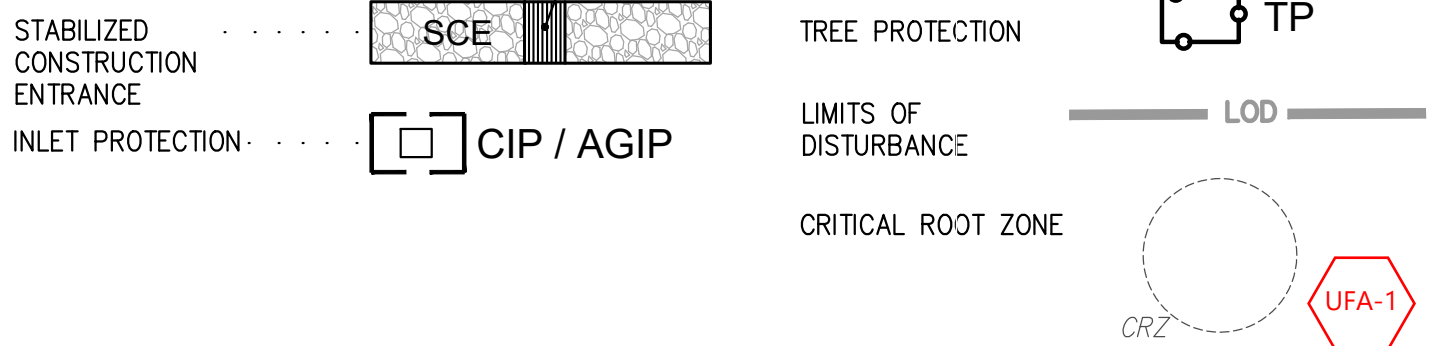
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 - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

EROSION AND SEDIMENT CONTROL NOTES:

1. FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACES OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1); AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC). [21 DCMR § 542.9 (0)]
2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE. [21 DCMR § 543.6]
3. CONTACT DOEE INSPECTION (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY. [21 DCMR § 503.7 (A)]
4. A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DOEE INSPECTORS. [21 DCMR § 542.15]
5. ESC MEASURES SHALL BE IN PLACE TO STABILIZE AN EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE. [21 DCMR § 543.7]
6. STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE. [21 DCMR § 543.16 (A)]
7. STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION. [21 DCMR § 543.16 (B)]
8. FILL MATERIAL MUST BE FREE OF CONTAMINATION LEVELS OF ANY POLLUTANT THAT IS, OR MAY BE CONSIDERED TO REPRESENT, A POSSIBLE HEALTH HAZARD TO THE PUBLIC OR MAY BE DETRIMENTAL TO SURFACE OR GROUND WATER QUALITY, OR WHICH MAY CAUSE DAMAGE TO PROPERTY OR THE DRAINAGE SYSTEM. ALL FILL MATERIAL MUST BE FREE OF HAZARDOUS MATERIALS AND COMPLY WITH ALL APPLICABLE DISTRICT AND FEDERAL REGULATIONS.
9. PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION. [21 DCMR § 543.5]
10. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. [21 DCMR § 542.12 (A)]
11. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OF EROSION AND SEDIMENT CONTROLS. [21 DCMR § 542.12 (B)]
12. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING TWO CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES). [21 DCMR § 542.12 (B.1,B.2)]
13. FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF THIS SWPPP ON SITE. [21 DCMR § 543.10 (B)]
14. POST A SIGN THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER POLLUTION. THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. EACH SIGN WILL BE NO LESS THAN 18 X 24 INCHES IN SIZE AND MADE OF MATERIALS THAT WILL WITHSTAND WEATHER FOR THE DURATION OF THE PROJECT. LETTERING WILL BE AT LEAST 1 INCH IN HEIGHT AND EASILY READABLE BY THE PUBLIC FROM A DISTANCE OF TWELVE FEET (12 FT). THE SIGN MUST DIRECT THE PUBLIC, IN SUBSTANTIALLY THE FOLLOWING FORM: "TO REPORT EROSION, RUNOFF, OR STORMWATER POLLUTION" AND WILL PROVIDE THE CONSTRUCTION SITE ADDRESS, DOEE'S TELEPHONE NUMBER (202-535-2977), DOEE'S E-MAIL ADDRESS (IEB.SCHEDULING@DC.GOV), AND THE 311 MOBILE APP HEADING ("CONSTRUCTION-EROSION RUNOFF"). [21 DCMR § 543.22]
15. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (A) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (C) SPEAK ON SITE WITH DOEE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (A) LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (B) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES, INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION DURING CONSTRUCTION. THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE-APPROVED TRAINING PROGRAM. [21 DCMR § 547]

LEGEND



CONSTRUCTION AND STABILIZATION SEQUENCE:

1. CONTACT DC WATERSHED PROTECTION DIVISION AT 202-535-1364 TO SCHEDULE THE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.
2. INSTALL SEDIMENT AND EROSION CONTROL MEASURES AS NEEDED INCLUDING STABILIZED CONSTRUCTION ENTRANCE, WASH RACK, INLET PROTECTION, AND SILT FENCE AS INDICATED ON THIS SHEET. SEE SHEET CIV502 FOR SEDIMENT AND EROSION CONTROL DETAILS.
3. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
4. INSTALL NEW UTILITIES. REMOVE ANY TEMPORARY BLOCKING FROM PREVIOUS CONSTRUCTION PHASES.
5. CONSTRUCT BUILDING AND ALL OTHER ABOVE GROUND UTILITIES.
6. FINAL GRADE THE SITE FOR SIDEWALK INSTALLATION.
7. FINAL GRADE LANDSCAPE AREAS AND STABILIZE.
8. AT THE COMPLETION OF THIS PHASE OF CONSTRUCTION, FOLLOWING SITE STABILIZATION AND UPON INSPECTOR'S APPROVAL, TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES CAN BE REMOVED.

CONSTRUCTION DATES:

THE PROPOSED WORK IS DUE TO COMMENCE IN Q4 2021 TO Q1 2023. EXACT BEGINNING AND END OF CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

SEDIMENT AND EROSION CONTROL NARRATIVE:

INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING SILT FENCE, INLET PROTECTION, TREE PROTECTION, AND STABILIZED CONSTRUCTION ENTRANCE AT SITE. FOLLOWING DISCONNECTION OF UTILITIES, BUILDING TO BE DEMOLISHED TO THE SURFACE USING DISTRICT APPROVED DEMOLITION METHODS. DURING DEMOLITION, DEBRIS WILL BE REMOVED FROM SITE BY TRUCK. CONTACT DC DEPARTMENT OF THE ENVIRONMENT, WATERSHED PROTECTION DIVISION AT 202-535-2250 TO SCHEDULE PRE-CONSTRUCTION MEETING.

TREE AND ROOT PROTECTION NOTES:

ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) - SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE THE CONFLICTING WORK.

UNDERGROUND UTILITY WORK NOTES:

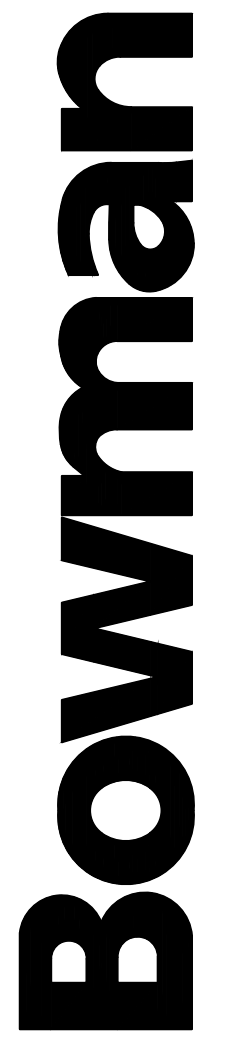
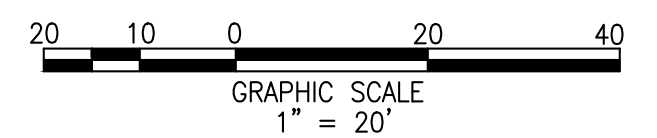
1. WHEN CONDUCTING UNDERGROUND UTILITY WORK DO NOT OPEN MORE THAN FIVE HUNDRED LINEAR FEET (500 FT) OF TRENCH AT ANY ONE TIME.
2. FILTER WATER PUMPED OUT OF TRENCH EXCAVATIONS PRIOR TO DISCHARGING TO THE STORM SYSTEM.
3. PLACE EXCAVATED MATERIAL FOR UTILITY WORK ON THE UPHILL SIDE OF A TRENCH.
4. INSTALL INTERIM OR PERMANENT STABILIZATION IMMEDIATELY AFTER A UTILITY TRENCH IS REFILLED.
5. STEEL PROTECTION PLATES SHALL BE USED BY CONTRACTOR TO PROTECT OPEN EXCAVATED AREAS. ALL OPEN TRENCHES IN THE PUBLIC SPACE WHICH ARE NOT BACKFILL AND COMPACTED BY THE END OF EACH WORK DAY SHALL BE PLATED.

CAUTION!!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

MISS UTILITY

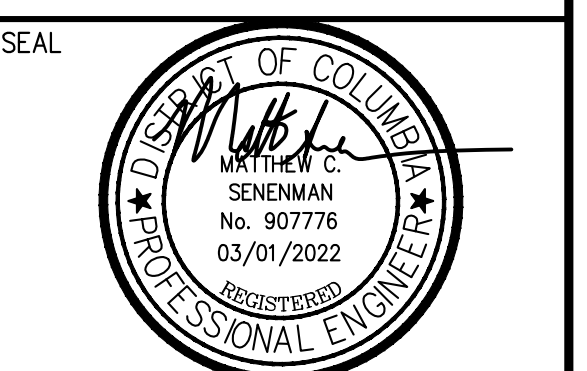
CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.



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EROSION AND SEDIMENT CONTROL PLAN - FINAL CONDITIONS

1101 H ST. NE
CONSTRUCTION DOCUMENTS
WASHINGTON, DC



PLAN STATUS		
NO.	DATE	DESCRIPTION
2	9/22/21	PERMIT
1	2/24/21	DESIGN DEVELOPMENT
MCS DESIGN JNC DRAWN MCS CHKD		
SCALE 1" = 20'		
JOB No.	130133-01-001	
DATE	SEPTEMBER, 2021	
FILE No.		
SHEET	CIV0133	

BEARINGS AND DISTANCES

LOT 65

- L1 EAST 58.00 (REC); S89°59'54"E 58.03 (MEAS)
- L2 SOUTH 100.00 (REC); S00°00'06"W 99.89 (MEAS)
- L3 WEST 57.93 (REC); S89°56'56"W 59.89 (MEAS)
- L4 NORTH 100.00 (REC); N00°03'W 99.94 (MEAS)

LOT 70

- L5 EAST 42.00 (REC); S89°59'54"E 42.02 (MEAS)
- L6 SOUTH 120.00 (REC); S00°00'06"W 120.00 (MEAS)
- L7 EAST 20.18 (REC); S89°59'54"E 20.24 (MEAS)
- L8 SOUTH 10.08 (REC); S00°03'04"E 9.89 (MEAS)
- L9 WEST 62.18 (REC); S89°56'56"W 62.27 (MEAS)
- L10 NORTH 30.08 (REC); N00°00'06"W 30.06 (MEAS)

DEMOLITION CONTROL NARRATIVE:

INSTALL SEDIMENT AND EROSION CONTROL SILT FENCE AROUND BUILDING. LOADING OF DEBRIS WILL TAKE PLACE IN PARKING LOT SOUTH WEST OF THE OF THE EXISTING BUILDINGS. EXPOSED AREA TO BE COVERED WITH BRICKBAT AFTER DEMOLITION FOR GROUND COVER ONCE BUILDING SLAB HAS BEEN REMOVED. CONTROLS TO BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION AND REMOVED AFTER STABILIZATION. CONTACT DEPARTMENT OF ENERGY AND ENVIRONMENT, WATERSHED PROTECTION DIVISION AT 202-535-2240 TO SCHEDULE PRE-CONSTRUCTION MEETING.

DEMOLITION SEQUENCE:

1. CONTACT DC-WATERSHED PROTECTION DIVISION AT 202-535-2240 TO SCHEDULE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.
2. INSTALL SILT FENCE AND SAFETY FENCE AROUND PERIMETER OF PROPOSED WORK AS INDICATED.
3. INSTALL INLET AND TREE PROTECTION AS INDICATED. CONTRACTOR TO INSTALL INLET PROTECTION AT NEAREST DOWNSTREAM STORM INLET PRIOR TO THE LAND-DISTURBING ACTIVITY.
4. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
5. REMOVE OR ABANDON EXISTING UTILITY CONNECTIONS AND PIPES.
6. KNOCK DOWN TWO EXISTING BUILDINGS.
6. REMOVE DEBRIS FROM SITE BY TRUCK.
7. STABILIZE ALL DISTURBED AREAS WITH SEED AND STRAW AS TEMPORARY GROUND COVER.

NOTES:

1. EXISTING UTILITIES ON THE EXISTING BUILDING THAT ARE NOT SHOWN ON THIS PLAN TO BE REMOVED AT THE MAIN IF NOT REQUIRED FOR FUTURE SERVICE. COORDINATE REQUIREMENTS WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO REMOVAL.
2. EXISTING WATER SERVICE LATERAL, VALVES, AND TEES NOT SHOWN ON PLAN TO BE REMOVED AND CAPPED AT MAIN PER DC WATER STANDARDS AND SPECIFICATIONS.
3. EXISTING SEWER SERVICE LATERAL AND RELATED APPURTENANCES NOT SHOWN ON THIS PLAN TO BE REMOVED WITH BULKHEAD AT MAIN PER DC WATER STANDARDS AND SPECIFICATIONS.
4. CONTRACTOR TO INSTALL INLET PROTECTION AT THE NEAREST DOWNSTREAM STORM INLET PRIOR TO THE LAND-DISTURBING ACTIVITY. REFER TO SHEET CIV0520 FOR DETAILS.
5. SEDIMENT TRAPS OR BASINS AND OTHER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED NO LATER THAN THE FIRST PHASE OF LAND GRADING.
6. SEDIMENT TRAPS OR BASINS AND OTHER ESCS SHALL BE INSTALLED AS SOON AS NEW SITE-RELATED RUNOFF IS DETECTED AND EMPLOYED AT ALL TIMES TO PROTECT INLETS OR STORM SEWERS BELOW SILT-PRODUCING AREAS
7. NO LATER THAN THE FIRST DAY OF CONSTRUCTION, INSTALL SITE ACCESS MEASURES TO MINIMIZE OFF-SITE VEHICLE TRACKING OF SEDIMENTS. EACH CONSTRUCTION ENTRANCE MUST BE STABILIZED AND INCLUDE EACH ADDITIONAL MEASURE REQUIRED TO KEEP SEDIMENT FROM BEING CARRIED ONTO PUBLIC STREETS BY CONSTRUCTION VEHICLES AND WASHED INTO A STORM DRAIN OR WATERWAYS.
8. REMOVE OFF-SITE ACCUMULATION OF SEDIMENT DAILY DURING CONSTRUCTION AND IMMEDIATELY AT THE REQUEST OF A DOEE INSPECTOR.
9. IMMEDIATELY AFTER DEBRIS BASINS, DIVERSIONS, WATERWAYS, AND RELATED STRUCTURES ARE BUILT, SEED AND MULCH, OR INSTALL SOD & STABILIZATION BLANKET
10. PERFORM ROUTINE MAINTENANCE TO PREVENT ANY NEW DESTABILIZED AREAS.
11. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF GUTTERS AND DOWNSPOUTS AS SOON AS PRACTICABLE.
12. MEASURES SHALL BE TAKEN TO ACHIEVE A NON-ERODING VELOCITY FOR STORMWATER EXITING FROM A ROOF OR DOWNSPOUT OR TO TEMPORARILY PIPE THAT STORMWATER DIRECTLY TO A STORM DRAIN

SITE DISTURBANCE:

TOTAL SITE AREA: 11,450 OR 0.26 AC.
 LOT 65: 5,792 SF OR 0.13 AC.
 LOT 70: 5,658 SF OR 0.13 AC.

RAZE AREA OF DISTURBANCE: 8,465 SF OR 0.19 AC.
 TOTAL VOLUME OF BUILDING TO BE REMOVED: 5,299 CUBIC YARDS
 1101 H STREET: 1,071 CUBIC YARDS (2,225 SF BLDG FOOTPRINT TO BE REMOVED, 13' HEIGHT)
 1107 H STREET: 4,228 CUBIC YARDS (5,548 SF BLDG FOOTPRINT TO BE REMOVED; 874 SF OF 29' HEIGHT, 4674 SF OF 19' HEIGHT)

CHAPTER 21 DCMR § 517 STORMWATER MANAGEMENT EXEMPTIONS

THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORM WATER MANAGEMENT REQUIREMENTS:

- CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS
- REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL

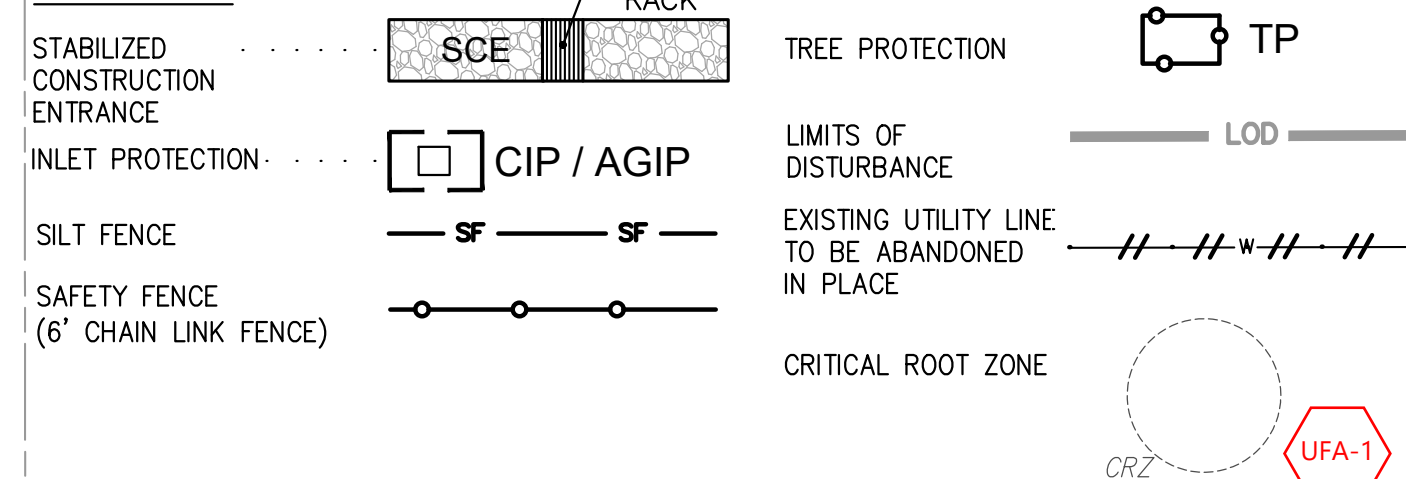
DUST CONTROL NOTES:

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
 - B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
 - C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
 - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

TREE AND ROOT PROTECTION NOTES:

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LEGEND



DEMOLITION NOTE:

CONTRACTOR TO BE COMPLIANT WITH BUILDING SITE WASTE MANAGEMENT DURING THE RAZING / SITE PREPARATION PER 2013 DCMR GREEN, 406 AND 503.

UNDERGROUND UTILITY WORK NOTES:

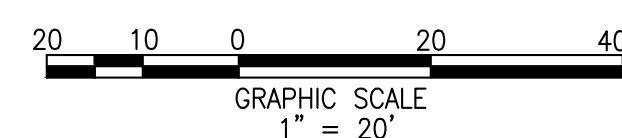
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3. PLACE EXCAVATED MATERIAL FOR UTILITY WORK ON THE UPHILL SIDE OF A TRENCH.
4. INSTALL INTERIM OR PERMANENT STABILIZATION IMMEDIATELY AFTER A UTILITY TRENCH IS REFILLED.
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CAUTION!!

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MISS UTILITY

CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

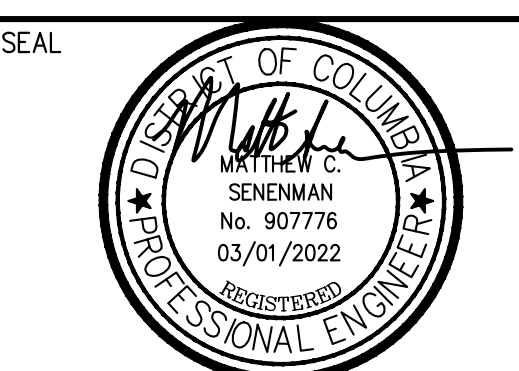


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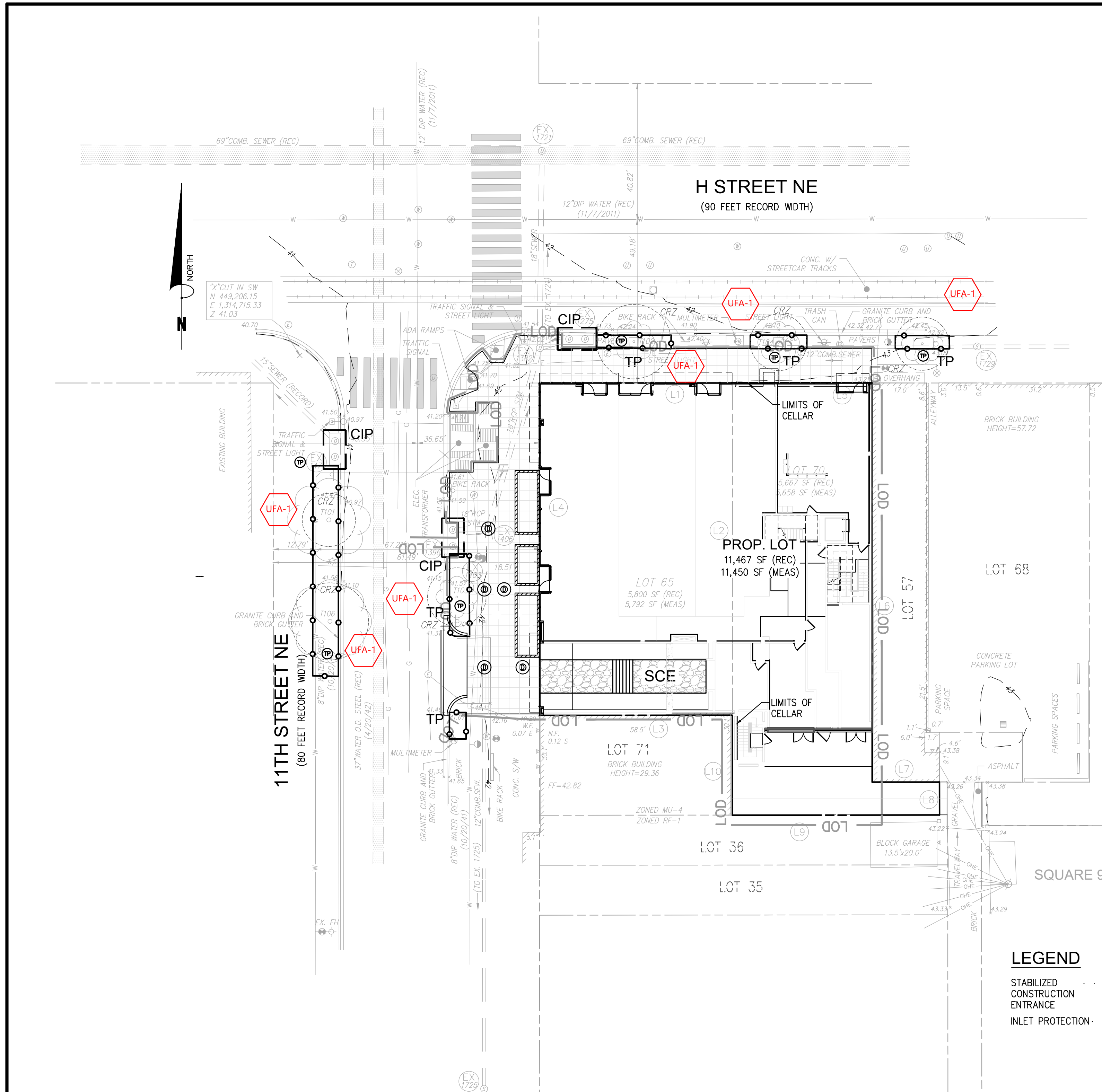
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EROSION AND SEDIMENT CONTROL PLAN - RAZE

1101 H ST. NE
 CONSTRUCTION DOCUMENTS
 WASHINGTON, DC



PLAN STATUS		
NO.	DATE	DESCRIPTION
2	9/22/21	PERMIT
1	2/24/21	DESIGN DEVELOPMENT
MCS DESIGN JNC DRAWN MCS CHKD		
SCALE		1" = 20'
JOB No.	130133-01-001	
DATE	SEPTEMBER, 2021	
FILE No.	CIV0131	
SHEET		



BEARINGS AND DISTANCES

- LOT 65**
- L1 EAST 58.00 (REC); S89°59'54"E 58.03 (MEAS)
 - L2 SOUTH 100.00 (REC); S00°00'06"W 99.89 (MEAS)
 - L3 WEST 57.93 (REC); S89°56'56"W (MEAS)
 - L4 NORTH 100.00 (REC); N00°03'W 99.94 (MEAS)
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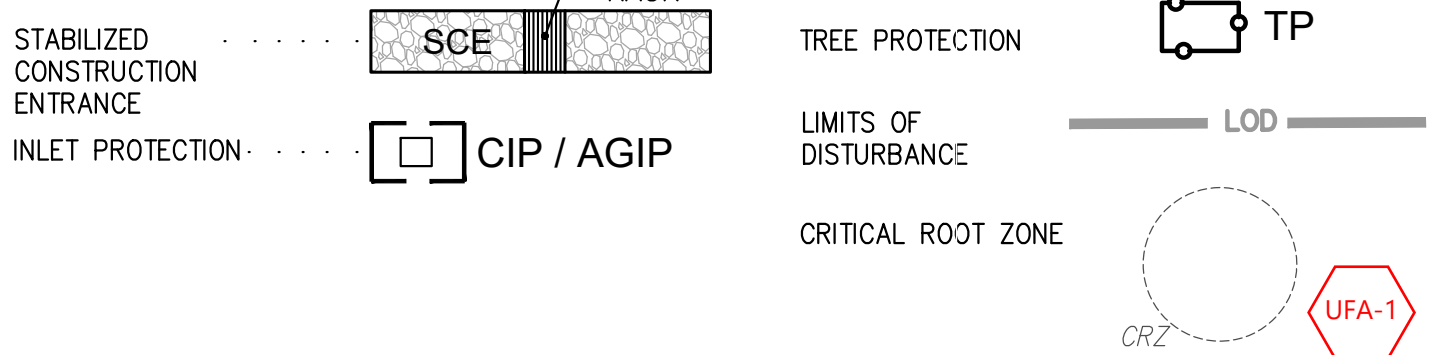
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- THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
- THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
- THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
- FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
 - ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
 - DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
- FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
 - LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 - APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

EROSION AND SEDIMENT CONTROL NOTES:

- FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACES OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1); AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC). [21 DCMR § 542.9 (0)]
- ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE. [21 DCMR § 543.6]
- CONTACT DOEE INSPECTION (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY. [21 DCMR § 503.7 (A)]
- A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DOEE INSPECTORS. [21 DCMR § 542.15]
- ESC MEASURES SHALL BE IN PLACE TO STABILIZE AN EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE. [21 DCMR § 543.7]
- STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE. [21 DCMR § 543.16 (A)]
- STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION. [21 DCMR § 543.16 (B)]
- FILL MATERIAL MUST BE FREE OF CONTAMINATION LEVELS OF ANY POLLUTANT THAT IS, OR MAY BE CONSIDERED TO REPRESENT, A POSSIBLE HEALTH HAZARD TO THE PUBLIC OR MAY BE DETRIMENTAL TO SURFACE OR GROUND WATER QUALITY, OR WHICH MAY CAUSE DAMAGE TO PROPERTY OR THE DRAINAGE SYSTEM. ALL FILL MATERIAL MUST BE FREE OF HAZARDOUS MATERIALS AND COMPLY WITH ALL APPLICABLE DISTRICT AND FEDERAL REGULATIONS.
- PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION. [21 DCMR § 543.5]
- REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. [21 DCMR § 542.12 (A)]
- REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OF EROSION AND SEDIMENT CONTROLS. [21 DCMR § 542.12 (B)]
- FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING TWO CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES). [21 DCMR § 542.12 (B), B.2)]
- FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF THIS SWPPP ON SITE. [21 DCMR § 543.10 (B)]
- POST A SIGN THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER POLLUTION. THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. EACH SIGN WILL BE NO LESS THAN 18 X 24 INCHES IN SIZE AND MADE OF MATERIALS THAT WILL WITHSTAND WEATHER FOR THE DURATION OF THE PROJECT. LETTERING WILL BE AT LEAST 1 INCH IN HEIGHT AND EASILY READABLE BY THE PUBLIC FROM A DISTANCE OF TWELVE FEET (12 FT). THE SIGN MUST DIRECT THE PUBLIC, IN SUBSTANTIALLY THE FOLLOWING FORM: "TO REPORT EROSION, RUNOFF, OR STORMWATER POLLUTION" AND WILL PROVIDE THE CONSTRUCTION SITE ADDRESS, DOEE'S TELEPHONE NUMBER (202-535-2977), DOEE'S E-MAIL ADDRESS (IEB.SCHEDULING@DC.GOV), AND THE 311 MOBILE APP HEADING ("CONSTRUCTION-EROSION RUNOFF"). [21 DCMR § 543.22]
- A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (A) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (C) SPEAK ON SITE WITH DOEE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (A) LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (B) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES, INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION DURING CONSTRUCTION. THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE-APPROVED TRAINING PROGRAM. [21 DCMR § 547]

LEGEND



CONSTRUCTION AND STABILIZATION SEQUENCE:

- CONTACT DC WATERSHED PROTECTION DIVISION AT 202-535-1364 TO SCHEDULE THE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.
- INSTALL SEDIMENT AND EROSION CONTROL MEASURES AS NEEDED INCLUDING STABILIZED CONSTRUCTION ENTRANCE, WASH RACK, INLET PROTECTION, AND SILT FENCE AS INDICATED ON THIS SHEET. SEE SHEET CIV502 FOR SEDIMENT AND EROSION CONTROL DETAILS.
- SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
- INSTALL NEW UTILITIES. REMOVE ANY TEMPORARY BLOCKING FROM PREVIOUS CONSTRUCTION PHASES.
- CONSTRUCT BUILDING AND ALL OTHER ABOVE GROUND UTILITIES.
- FINAL GRADE THE SITE FOR SIDEWALK INSTALLATION.
- FINAL GRADE LANDSCAPE AREAS AND STABILIZE.
- AT THE COMPLETION OF THIS PHASE OF CONSTRUCTION, FOLLOWING SITE STABILIZATION AND UPON INSPECTOR'S APPROVAL, TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES CAN BE REMOVED.

CONSTRUCTION DATES:

THE PROPOSED WORK IS DUE TO COMMENCE IN Q4 2021 TO Q1 2023. EXACT BEGINNING AND END OF CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

SEDIMENT AND EROSION CONTROL NARRATIVE:

INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING SILT FENCE, INLET PROTECTION, TREE PROTECTION, AND STABILIZED CONSTRUCTION ENTRANCE AT SITE. FOLLOWING DISCONNECTION OF UTILITIES, BUILDING TO BE DEMOLISHED TO THE SURFACE USING DISTRICT APPROVED DEMOLITION METHODS. DURING DEMOLITION, DEBRIS WILL BE REMOVED FROM SITE BY TRUCK. CONTACT DC DEPARTMENT OF THE ENVIRONMENT, WATERSHED PROTECTION DIVISION AT 202-535-2250 TO SCHEDULE PRE-CONSTRUCTION MEETING.

TREE AND ROOT PROTECTION NOTES:

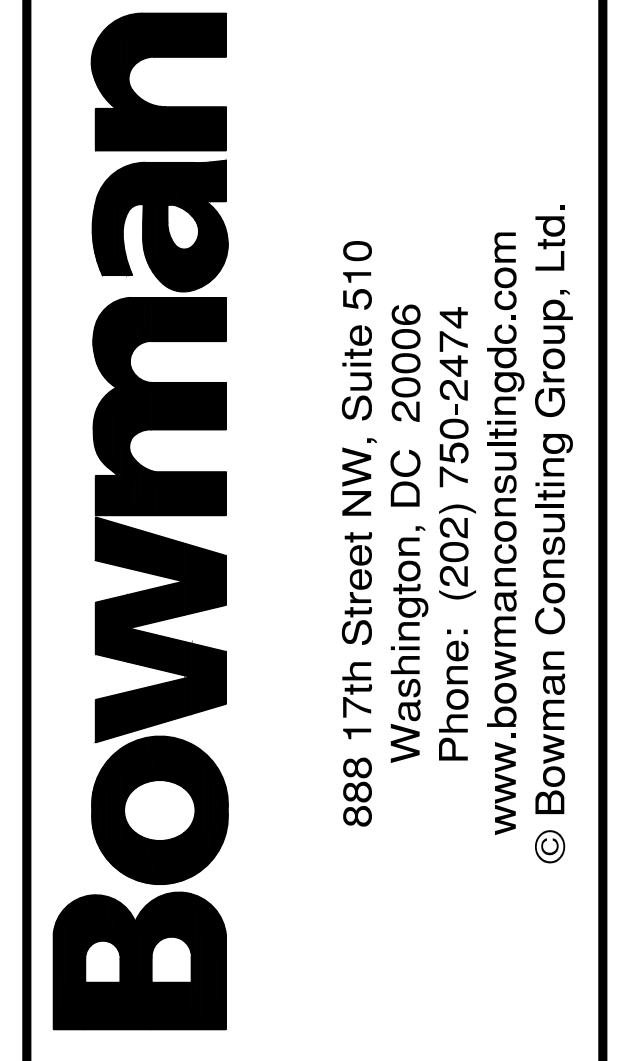
ALL STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' X 9') OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF A TREE. ALL PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) - SECTIONS 207.03, 608.07 AND 608.08. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB, SITE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT WARD ARBORIST OR CALL THE DDOT URBAN FORESTRY ADMINISTRATION AT 202-671-5133 TO RECEIVE CLEARANCE TO CONTINUE THE CONFLICTING WORK.

UNDERGROUND UTILITY WORK NOTES:

- WHEN CONDUCTING UNDERGROUND UTILITY WORK DO NOT OPEN MORE THAN FIVE HUNDRED LINEAR FEET (500 FT) OF TRENCH AT ANY ONE TIME.
- FILTER WATER PUMPED OUT OF TRENCH EXCAVATIONS PRIOR TO DISCHARGING TO THE STORM SYSTEM.
- PLACE EXCAVATED MATERIAL FOR UTILITY WORK ON THE UPHILL SIDE OF A TRENCH.
- INSTALL INTERIM OR PERMANENT STABILIZATION IMMEDIATELY AFTER A UTILITY TRENCH IS REFILLED.
- STEEL PROTECTION PLATES SHALL BE USED BY CONTRACTOR TO PROTECT OPEN EXCAVATED AREAS. ALL OPEN TRENCHES IN THE PUBLIC SPACE WHICH ARE NOT BACKFILL AND COMPACTED BY THE END OF EACH WORK DAY SHALL BE PLATED.

CAUTION!!
THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

MISS UTILITY
CALL DC ONE CALL "DOC" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.



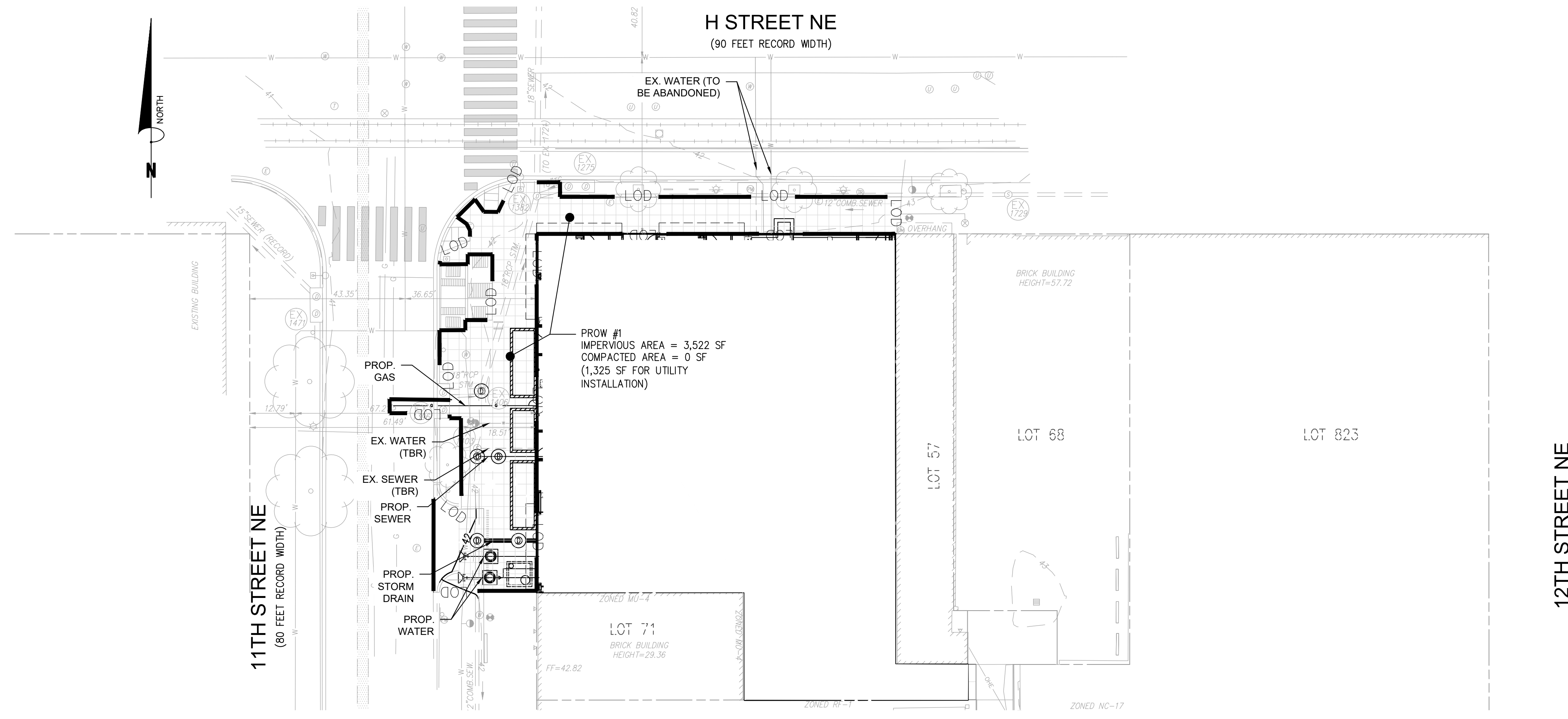
EROSION AND SEDIMENT CONTROL PLAN - FINAL CONDITIONS

1101 H ST. NE

CONSTRUCTION DOCUMENTS

WASHINGTON, DC

PLAN STATUS		
NO.	DATE	DESCRIPTION
2	9/22/21	PERMIT
1	2/24/21	DESIGN DEVELOPMENT
MCS DESIGN JNC DRAWN MCS CHKD		
SCALE 1" = 20'		
JOB No.	130133-01-001	
DATE	SEPTEMBER, 2021	
FILE No.		
SHEET	CIV0133	



LEGEND:
 — LOD — LIMITS OF DISTURBANCE IN PUBLIC SPACE

**CHAPTER 21 DCMR § 517
 STORMWATER MANAGEMENT EXEMPTIONS**

THE FOLLOWING DEVELOPMENT ACTIVITIES SHALL BE EXEMPT FROM THE PROVISIONS OF THE STORMWATER MANAGEMENT REQUIREMENTS:

- CUTTING A TRENCH FOR UTILITY WORK AND RELATED REPLACEMENT OF SIDEWALKS AND RAMPS.
- REPAVING OR REMILLING THAT DOES NOT EXPOSE THE UNDERLYING SOIL.

SW-1 MEP NARRATIVE FOR SWM IN PUBLIC SPACE:

- STEP 1: DRAINAGE AREA AND STORMWATER MANAGEMENT RETENTION VOLUME (SWRv)
- THE TOTAL LOD IN THE PUBLIC SPACE IS 3,673 SF
 - THE PROPOSED LAND COVER:
 - COMPACTED = 0 SF
 - IMPERVIOUS = 3,673 SF
 - BMP = 0 SF
 - SWRv REQUIRED = 340 CF
- STEP 2: INFILTRATION
- HISTORICAL DATA AND GENERAL KNOWLEDGE OF EXISTING SITE HAS DETERMINED THE TYPE OF SOIL TO NOT BE CONDUCTIVE OF INFILTRATION PRACTICES.
 - GEOTECHNICAL REPORT INDICATES FILL SOILS UP TO 15 FEET BELOW EXISTING SURFACE, CONCLUDING THAT INFILTRATION PRACTICES ARE NOT VIALB WITHIN THE PUBLIC RIGHT OF WAY.
- STEP 3: EXISTING INFRASTRUCTURE
- COMPLETE SURVEY OF EXISTING UTILITIES ARE SHOWN AND LABELED ON PLAN
 - EXISTING UTILITIES WITHIN PUBLIC RIGHT OF WAY HAVE BEEN IDENTIFIED
- STEP 4: LAND COVER CONVERSION
- NOT APPLICABLE TO TYPE 2 PROJECTS.
- STEP 5: BMPs
- NO BMPs ARE PROPOSED IN THE PUBLIC RIGHT-OF-WAY.
- STEP 6: ZERO-RETENTION PRACTICES
- SITE IS LOCATED IN THE CSS AND THEREFORE NOT REQUIRED TO ADDRESS WATER QUALITY

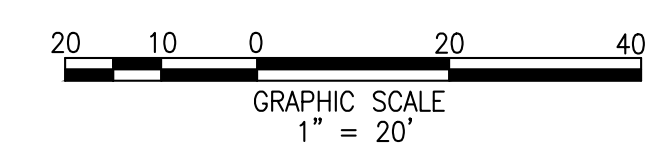
THE ABOVE INFORMATION OUTLINES EACH STEP IN FOLLOWING THE DISTRICT'S STORMWATER MANAGEMENT APPROACH FOR THE MAXIMUM EXTENT PRACTICABLE PROCESS WITHIN THE PUBLIC RIGHT OF WAY. DUE TO TOPOGRAPHICAL CHALLENGES, SOIL CONSTRAINTS AND UTILITY CONFLICTS, DESIGN OF VIALB STORMWATER MANAGEMENT PRACTICES IN THE PUBLIC RIGHT OF WAY HAVE BEEN IMPLEMENTED TO THE MAXIMUM EXTENT PRACTICABLE.

MEP Memo for PROW Type 2

Drainage Area #	Description	SWM Proposed	Stormwater Retention Volume (SWRv) Provided
PROW 1	Public space improvements associated with private parcel development in the road right-of-ways for 1101 H Street.	Tree Plantings	30 CF
BMP Group	Practice	Justification	
1	Green Roofs	Not applicable. No buildings. Proposed right-of-way is limited to sidewalk.	
2	Rainwater Harvesting	Not applicable. No buildings. Proposed right-of-way is limited to sidewalk.	
3	Impervious Surface Disconnection	Sidewalk right-of-way is too narrow to provide the minimum 10 feet disconnection and the pedestrian walkway.	
4	Permeable Pavement Systems	There is no room for permeable pavement systems on the PROW due to proximity to existing utilities.	
5	Bioretention	No room for bioretention or planter boxes in the PROW due to available sidewalk width and existing trees.	
7	Infiltration	Site and surrounding area soils consist of predominantly urban land, making infiltration practices unfeasible.	
8	Open Channel Systems	Many paved connections to the roadside eliminate any significant length to install effective swales. Furthermore, any potential area to install the swales is occupied by proposed tree planting areas and planting beds.	
13	Tree Planting	There is 1 new tree being planted and 1 existing tree being preserved in the PROW.	

CAUTION!!
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

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STORMWATER MANAGEMENT
 PUBLIC RIGHT OF WAY PLAN
 1101 H ST. NE
 CONSTRUCTION DOCUMENTS
 WASHINGTON, DC



PLAN STATUS		
NO.	DATE	DESCRIPTION
2	9/22/21	PERMIT
1	2/24/21	DESIGN DEVELOPMENT
MCS DESIGN JNC DRAWN MCS CHKD		
SCALE		1" = 20'
JOB No.	130133-01-001	
DATE	SEPTEMBER, 2021	
FILE No.	CIV0750	
SHEET		




March 3, 2022

DDOT
1100 4th Street, SW
Washington DC 20024

Re: Airdome – 1101 H Street NE
TOPS Comment/Response
Tracking Number 380565

This letter shall serve as the “comment/response” narrative relative to the design comments from DDOT for the public space improvements under DDOT TOPS Tracking number 380565. The provided comments and their associated responses are as follows:

IPMA/Stormwater – Julie Pike

Comment:  Provide the limits of disturbance and the area disturbed by this project. As the disturbance is over 5000 SF, please provide stormwater management plans and calculations including an MEP memo for the work in the public right of way. Please also provide drainage information, including grading, drainage areas, inlets, and downspout locations to demonstrate that no impervious areas drain to the public space and the site complies with DC Plumbing Code. Please also provide drainage and spread information for the catch basins on 11th Street and H Street.

Response: Please refer to sheet CIV0750 [CIV0750 SWM PROW (2022-03-01).pdf], which shows the stormwater management plan within the limits of the public right-of-way. The latest grading plan is found on sheet CIV0160 [AirDome Site Plan (2022-03-01).pdf]. We have developed a new sheet CIV0200 [CIV0200 DA Map and Computations.pdf] to clearly demonstrate the flow of runoff within the private property, public property, and the existing inlet capacity.

Refer to sheet A102, which shows 2nd floor indicates terrace drainage is internal to property and no impervious areas spill to public way. Refer to sheet A104 which indicates roof drainage is internal to property and no impervious areas spill to public way. Downspouts from Penthouse roof to penthouse interior drains are indicated. Refer to sheet A501, which indicates impervious canopy drainage is directed to interior of building rather than public way.

UFA – Sharon Dendy

Comment 1: Show the critical and structural root zones of the adjacent street trees so that Urban Forestry can assess any negative impacts in relation to the proposed projections. Refer to the uploaded diagram for CRZ-SRZ layout. Response may require additional revisions. DDOT-UFD Street Tree Inventory can be found at the following link under Services & Plantings; scroll down to OPEN STREET TREE MAP - <https://ddot-urban-forestry-dcgis.hub.arcgis.com/>



Response: The critical root zone limits have been revised on our Erosion and Sediment Control plan. We've verified the tree size from the open street tree map and revised our tree protection limits. Refer to sheets CIV0130, CIV0131, and CIV0132 within the uploaded PDF [Erosion and Sediment Control Sheets (2022-03-01).pdf]

Comment 2: Show distance between the existing street tree on 11th Street and the driveway/curb cut. Minimum 10 ft. distance must be maintained between the near side of the existing street tree (Overcup Oak) on 11th Street (and edge line of the driveway.



Response: We've added a dimension showing the driveway is greater than 10 feet away from the existing tree on 11th Street. Refer to CIV0140 [AirDome Site Plan (2022-03-01).pdf].

Comment 3: Add the uploaded DDOT Standard Drawings 608.10, 608.11, and 608.12 for tree protection.



Response: These tree protection details have been included in our landscape plans on L0420 [L0420 Landscape Details (2022-03-01).pdf].

Comment 4: Upload the following DDOT Tree Protection Notes The contractor must adhere to the following tree protection conditions. All protection measures and excavation operations shall comply with the 2013 District Department of Transportation Standard Specifications for Highways and Structures (Gold Book) – Sections 207.03, 608.07 and 608.08 and DDOT Standard Drawings 608.10, 608.11, and 608.12 * Trees within or directly adjacent to the limits of work must be protected with 6 ft. tall chain link fence to the extent of the tree box (minimum 4 ft. x 9 ft.) or to the critical root zone in a planting strip/open space; refer to the uploaded diagram. If the tree is on a slope, multi-stemmed and/or splits below 4.5 feet, please refer to the following link for measuring DBH -



<http://www.phytosphere.com/treeord/measuringdbh.htm> * None of the following shall occur within the critical root zone of a tree: alteration or disturbance to existing grade, staging/storage of construction materials, equipment, soil, or debris; disposal of any liquids e.g. concrete, gas, oil, paint; and blacktop, and trenching. * Install only trenchless silt/super silt fence methods within the critical root zone of a tree; trenchless methods such as Filter logs, Silt Soxx, straw bales, or an approved equivalent shall be used. * No heavy equipment shall be used to excavate within the critical root zone. Excavations shall proceed with care by use of hand tools or equipment that will not cause injury to tree trunks, branches, and roots. * No roots greater than two (2) inches in diameter shall be cut without an Arborists permission. Exposed roots 2 inches and larger in diameter shall be wrapped in burlap or other approved material and kept moist at all times. * If for any

reason the scope of the project requires work to be performed within the fenced protection zone, the permit holder must call the District Department of Transportation's Urban Forestry Division (UFD) at 202-671-5133 to receive clearance to continue the conflicting work. DDOT Arborist Alex Grieve, alexander.grieve@dc.gov Feb 25 2022 3:51PM sdendy wrote - Applicant has not addressed comments from October 2021.

Response: **We've updated the Tree Protection Notes on our Erosion and Sediment Control plan. Refer to sheets CIV0130, CIV0131, and CIV0132 within the uploaded PDF [Erosion and Sediment Control Sheets (2022-03-01).pdf]**

Streetcar – Ulysses Johnson

Comment 1: Please reach out to Ulysses Johnson at 202-763-4630. There are no traffic control plans attached and a further discussion is needed to determine the impact on Streetcar Operations and Safety.



Response: **We've provided traffic control plans in this submission. Refer to the file "AirDome TCP PS (2022-03-01).pdf".**

Comment 2: APPLICATION WILL BE APPROVED ONCE THE APPLICANT ATTENDS A WEEKLY TRACK ALLOCATION MEETING. THE NEXT MEETING IS 2/17/2022 AT 12:00 PM [NOON] AT 2550 BENNING RD NE. CONTACT STREETCAR.PERMITTING@DC.GOV FOR MORE INFORMATION. - - - Track Allocation Meetings occur weekly on Thursdays at 12:00pm [Noon] EST at the RDMT office at 2550 Benning Rd NE (Benning Rd and 26th St NE; enter from the Benning Rd side and identify with the guard at the guard desk.) - - IF YOU DO NOT ATTEND A TRACK ALLOCATION MEETING BY _____, YOUR PERMIT REQUEST WILL BE DENIED.



Response: **Steve Baikness with Holladay Corporation attended a meeting held on February 24, 2022.**

OP-Urban Design – Timothy Maher

Comment 1: Please submit elevations, sections, and other relevant details regarding the proposed building projections and overhangs. - Submit details for the surface treatment of the proposed utility vaults within the 11th Street right-of-way. OP may only support closed-top vaults at this location within the sidewalk, designed to match the adjacent sidewalk color, material and scoring pattern. - Provide additional floor plans that show parking locations and access route, so OP can fully review the location and design of the proposed curb cut. - Curb cut must be located a minimum of 10 feet away from any existing, healthy street trees. - Curb returns for the driveway must remain within the lot line extended to the curb. Curb returns may not cross over into the public space that is in front of an adjacent property.



Response: **Refer to sheet 003 which indicates dimensions from curb to projecting bay at H Street NE provided as 12'-0 3/8" minimum, and 24'-10 1/8" at 11th Street NE. Replacement driveway curb cut is with lot line when projected to the curb. Sheet 010 indicates the extent and locations of projecting bays. Sheet A101 shows**

parking locations and access route. Sheet A102 shows dimensions for the projecting bays. Sheets A201, A204, and A208 indicate the extent of projecting bays.

We're proposing the utility vaults as closed top matching the adjacent sidewalk with DDOT standards. The curb cut is proposed at a distance greater than 10 feet away from the existing street tree. The curb returns have been adjusted to the north so as to not cross over into the public space in front of the adjacent property. Refer to CIV0140 for the dimensions of the curb cut [AirDome Site Plan (2022-03-01).pdf].

Comment 2:



Please submit elevations, sections, and other relevant details regarding the proposed building projections and overhangs. Per the DCMR Title 12A Construction Code, Section 3202.7.1.1, building projections must maintain a minimum 12' offset from streets with a right-of-way width of 90', such as H Street NE. Please reduce the projecting distance of the proposed bay windows on H Street to maintain a minimum 12' distance from the curb line. - OP can support the proposed bay window projection on 11th Street NE.

Response: Refer to sheet 003 which indicates dimensions from curb to projecting bay at H Street NE provided as 12'-0 3/8" minimum, and 24'-10 1/8" at 11th Street NE. Sheet 010 indicates the extent and locations of projecting bays. Sheet A102 shows dimensions for the projecting bays. Sheets A201, A204, and A208 indicate the extent of projecting bays.

The curb cut is proposed at a distance greater than 10 feet away from the existing street tree. The curb returns have been adjusted to the north so as to not cross over into the public space in front of the adjacent property. Refer to CIV0140 for the dimensions of the curb cut [AirDome Site Plan (2022-03-01).pdf].

Planning and Sustainability Division – Kimberly Vacca

Comment: Please revise the site plan to provide 8 short-term bicycle spaces (only 6 spaces are shown). Please submit the Architectural Plans to confirm the building projection dimensions in public space. Please submit a curbside management signage plan for the curbs adjacent to the development.



Response: We've identified the location of the bike racks on CIV0140 [AirDome Site Plan (2022-03-01).pdf]. These are existing double bike racks which will remain. Two racks located along H Street NE account for four (4) spaces and two racks are located along 11th Street NE account for four (4) spaces, which total the required eight (8) short-term bicycle spaces.

Sheet 003 indicates (4) short term bike spaces on H Street and (4) short term bike spaces on 11th Street. Street. Dimensions from curb to projecting bay at H Street NE provided as 12'-0 3/8" minimum, and 24'-10 1/8" at 11th Street NE. Sheet 010 indicates extent and locations of projecting bays.

In closing, this letter is meant to address the comments for the above referenced project. Any questions or comments please call (202) 750-2474 or e-mail msenenman@bowman.com.

Best,

A handwritten signature in blue ink, appearing to read 'M. Senenman', with a long horizontal flourish extending to the right.

Matthew C. Senenman, PE
Bowman Consulting